



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1203 Forrest Avenue
April 18, 2012

Application: New construction—addition
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08309009400
Applicant: David Baird, architect
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to demolish existing, non-historic rear additions and rear accessory structures and to construct a new rear addition.</p> <p>Recommendation Summary: Staff recommends approval of the application with condition that staff review and approve the roof color, front and rear porch railing material and design, and window and door materials and specifications.</p> <p>With this condition, staff finds the project to meet Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 1203 Forrest Avenue is a one-story Victorian house built c. 1905. The East Nashville National Register Historic District nomination form considers the house to be contributing to the district.

Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

10. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.*

- c. Additions must not imitate earlier styles or periods of architecture.

Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

IV. B. Demolition

1. Demolition is inappropriate:
 - a. if a building is of such architectural or historical interest and value that its removal would be detrimental to the public interest;
 - b. if a building is of such old or unusual or uncommon design and materials that it could not be reproduced without great difficulty or expense; or
 - c. if its proposed replacement would make a less positive visual contribution to the district, would disrupt the character of the district, or would be visually incompatible.
2. Demolition is appropriate:
 - c. if a building has lost its architectural and historical integrity and importance and its removal will not result in a more negative, less appropriate visual effect on the district;
 - d. if a building does not contribute to the historical or architectural character and importance of the district and its removal will result in a more positive, appropriate visual effect on the district; or
 - e. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 91.65 of the historic zoning ordinance.

Analysis and Findings:

Application is to demolish existing, non-historic rear additions and rear accessory structures and to construct a new rear addition.

Demolition. The project involves removing non-original and non-historic additions to the house and two rear accessory structures. Staff finds that the additions and the accessory

structures do not have any architectural or historic integrity and therefore finds their removal to meet Section IV.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Location and Setback: The proposed addition is located entirely behind the existing historic house and meets all base zoning requirements for setbacks. On the left side, the addition steps in one-foot (1') from the side wall of the historic house. On the right side, the addition steps in approximately two feet, three inches (2'3") from the sidewall of the house, with the exception of a master bath portion, which is inset just three inches (3") from the sidewall of the historic house. Staff finds this master bath inset appropriate because it does not occur until more than seventeen feet (17') behind the rear wall of the historic house and only occurs for a length of approximately sixteen feet, three inches (16'3").

Staff finds the location and setbacks of the proposed addition to meet Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The maximum ridge height of the addition will match the maximum height of the historic house, which is approximately twenty-six feet (26'). In addition, the addition's ridge height is separated from the ridge height of the house by approximately twenty-nine feet, eight inches (29'8") of linear space, helping to preserve the historic house's roof form and distinguishing the old from the new. The addition's eave height and foundation height will also match that of the historic house.

The existing house has a maximum width of approximately thirty-seven feet, nine inches (37'9"). The existing depth of the house is approximately sixty feet (60'), including the non-historic additions that are to be removed. Once the non-historic additions are removed, the historic house will have a maximum depth of approximately fifty-seven feet, ten inches (57'10"). The proposed addition will have a maximum width of thirty-five feet, eight inches (35'8"). The addition's maximum depth will be forty-nine feet, eight inches (49'8").

The existing footprint of the house, with the non-historic additions is one thousand, eight hundred and seventy-three square feet (1,873 sq. ft.). Once the non-historic additions are removed and the new addition is constructed, the new footprint of the house will be two thousand, eight hundred and fifty-three square feet (2,853 sq. ft.).

The existing percentage of open space on the lot is seventy-five percent (75%). Once the non-historic additions and the accessory structures are demolished and the new addition is constructed, the percentage of open space on the lot will be approximately sixty-nine percent (69%). Staff finds this decrease in percentage of open space appropriate because the percentages of open space in the immediate vicinity vary from as little as fifty to sixty percent (50-60%) open space to as much as eighty percent (80%) open space.

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The historic house has a complicated Victorian roof form. The front and the side facades have cross-gables with a roof slope of 10/12. The main portion of the roof is a hipped roof form with a slope of 10/12, and at the rear is a historic addition with a 10/12 gabled form. The front porch's slope is 2/12. The applicant's design preserves the majority of the historic roof form and ties into it appropriately. The only portion of the existing roof that will be lost once the new addition is built is the interior slope of the historic addition, which staff finds appropriate.

The main roof form of the addition is a hipped roof with a 10/12 slope. A cricket with a slope of 2/12 will be inserted where the addition ties into the back of a historic roof and will help separate the addition from the historic house. A lower portion of the addition with a slope of 1/12 will encircle the right and rear facades of the addition. On the left façade, the bay will have a roof slope of 7/12.

Staff finds the addition's roof to meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: No changes will be made to the window openings on the historic house. On the addition, staff finds that there are no large expanses of wall space without a door or window opening and that the window sizes and proportions are appropriate for an addition. Staff therefore finds the project's proportion and rhythm of openings to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The applicant will be removing the existing vinyl siding from the historic house, and will be restoring the wood siding underneath, if possible. If repairing the siding is not possible, then the siding will be replaced with cement fiberboard siding. The addition will be clad in cement fiberboard with a five inch (5") reveal.

The existing metal roof on the historic house will be removed. The historic house and the addition will be re-roofed with either asphalt shingle or standing seam metal. The front porch, the addition's bay, and the addition's lower 1/12 roof form will all have standing seam metal roofs. The windows on the historic house will be replaced with windows of the same size. (Roof material and window replacement on existing buildings is not reviewed in Neighborhood Conservation Zoning Overlays.) The materials for the windows on the addition were not specified, and staff asks to review and approve the window and door materials and specifications prior to purchase and installation. The rear porch columns will be wood posts. Staff asks to review and approve the front and rear porch railings' design and materials. The foundation will be split face concrete block.

With the staff's final approval of the roof color, railing design and materials, and window and door specifications, staff finds the location and setbacks of the proposed additions to meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Staff recommends approval of the application with condition that staff review and approve the roof color, front and rear porch railing material and design, and window and door materials and specifications.

With this condition, staff finds the project to meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



1203 Forrest Avenue, front facade



1203 Forrest Avenue, rear façade. The porch and addition to the left will be demolished.



1203 Forrest Avenue, accessory structure to be demolished.



1203 Forrest Avenue, accessory structures to be demolished.

1203 FORREST AVENUE RENOVATION AND ADDITION

ADDRESS:
1203 Forrest Avenue
Nashville, TN 37206

Lockeland Springs - East End
Neighborhood Conservation
Zoning Overlay

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REVISIONS		
NUM.	DESCRIPTION	DATE

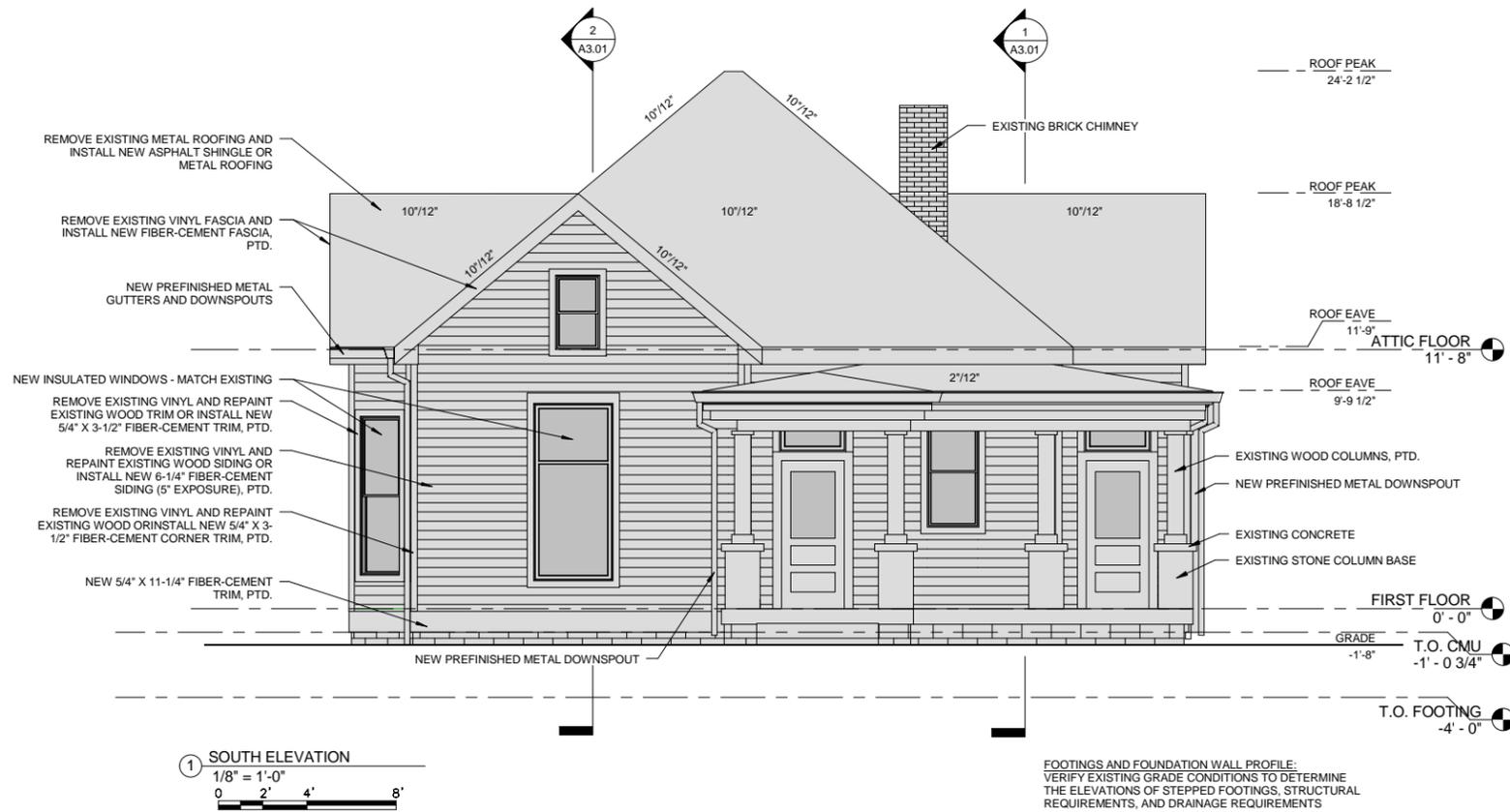
Project Number: 1203

Project Phase: MHZC SUBMITTAL

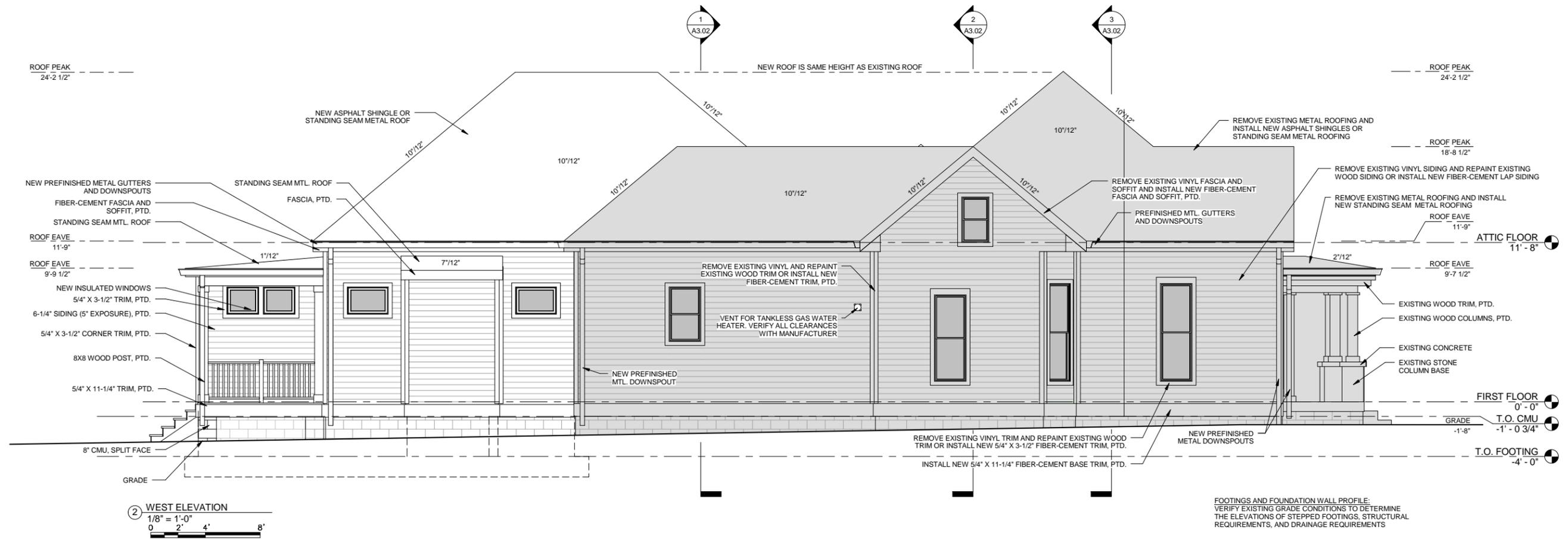
Date: 4/6/2012

NEW CONSTRUCTION
ELEVATIONS

A2.01



EXISTING HOUSE NEW ADDITION



FOOTINGS AND FOUNDATION WALL PROFILE:
VERIFY EXISTING GRADE CONDITIONS TO DETERMINE
THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL
REQUIREMENTS, AND DRAINAGE REQUIREMENTS

