



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1217 5th Avenue North
Date of Public Hearing

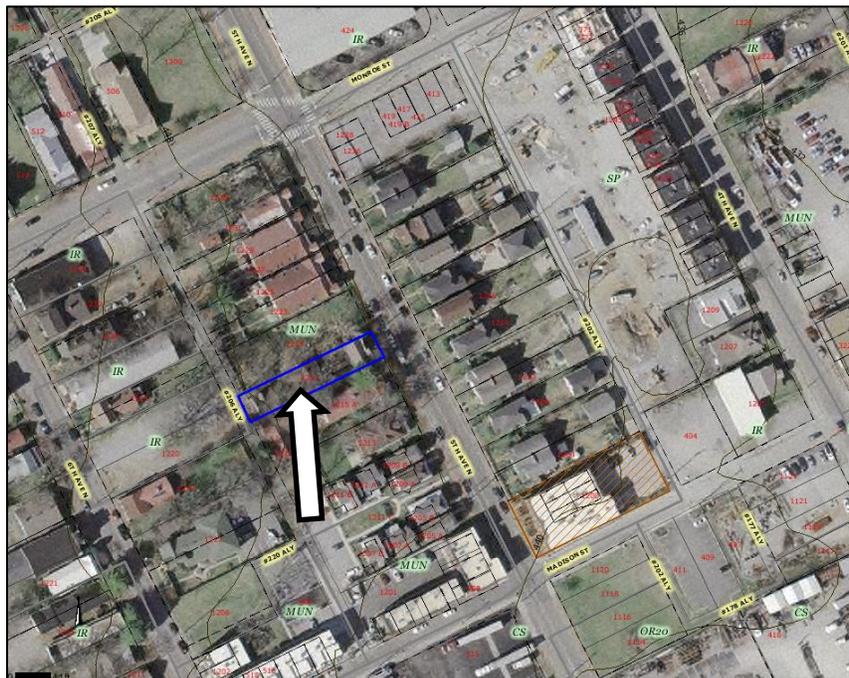
Application: New Construction – Rear addition
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209028700
Applicant: Berdelle T. Campbell, Owner
Project Lead: Sean Alexander, sean.alexander@nashville.gov

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| <p>Description of Project: The applicant is proposing to construct a one-story addition at the rear of the house, attached to the rear of an earlier “sunroom” addition. The materials of the new addition will match the earlier addition. A reduction of the side setback from three feet (3’) to one foot (1’) is also requested.</p> <p>Recommendation Summary: Staff recommends approval of the proposed addition and setback reduction, finding it to be compatible with the historic context and to meet the Germantown Historic Preservation Zoning Overlay design guidelines.</p> | <p>Attachments A: Photographs B: Site Plan C: Elevations</p> |
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Vicinity Map:



Aerial Map:



Background: The house at 1217 5th Avenue north is a two-story brick Italianate style house, believed to have been built in the 1860s. The house has had rear additions added over time, but the historic character of the historic house has been well preserved.

Applicable Design Guidelines:

2.0 New Construction within historic context

2.1 General Principles

2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.

2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.

2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.

2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.

2.1.7 The MHZC does not review paint colors on wood or metal surfaces.

2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.

3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
 4. Corner Lots: New construction should appropriately address setbacks on both streets.
 5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
 6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.
- 2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.
- 2.2.3 Massing and Scale
1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
 2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
 3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.
- 2.2.4 Height
1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings.
*Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.
 Generally, historic single-family residential structures are one or two stories in height.*

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they

possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.

- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements

of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).

2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).

2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.

2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

4.0 Additions

An ADDITION consists of an extension to an existing structure that increases the floor area or height of that structure.

4.1 General Principles

4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets – Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*

4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

- 4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.
- 4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.
- 4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding.
- 4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- 4.2.5 contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

Analysis and Findings:

The applicant is proposing to construct a new one-story rear addition, off the rear-left corner of an earlier “sunroom” addition.

Height, Massing, Roof

The new addition will have a four hundred, fifty square foot (450 sq. ft.) in footprint, stepping out to the left of the outside edge of the earlier addition by four feet, six inches (4’-6”). This location will not negatively impact the appearance of the original structure because it will be attached to an earlier “sunroom” addition, which extends more than twenty-five feet (25’) behind the rear wall of the original structure.

The roof of the new addition will be a shed-roof, matching the pitch of the earlier addition, but meeting the side wall one foot (1’) below the eave. The eave line will terminate eight feet (8’) above grade. Staff finds the height and massing of the addition to be subordinate to and compatible with the historic house, and to meet guidelines 2.2.3 and 2.2.4, and the roof to meet guideline 2.2.7.

Setbacks

Under the current Zoning regulations, single family dwelling on this lot is required to meet a three foot (3’) side setback, although historically structures in Germantown were built with little or no setback buffers. The proposed addition would sit one foot from the

left property boundary. Because the reduced setback would be in keeping with the historic pattern of development in the neighborhood, staff finds it to be appropriate and to meet guideline 22.1.

Materials

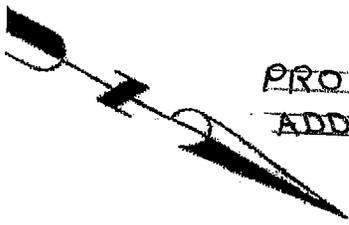
The exterior of the addition will be clad with wood and trim, with a fiberglass-asphalt shingle roof to match the materials of the earlier addition. In the small front-facing wall of the addition will be a wooden double-hung window. These materials are compatible with the historic house and meet guideline 2.2.4 and 2.2.6.

Recommendation:

Staff recommends approval of the proposed addition and setback reduction, finding it to be compatible with the historic context and to meet the Germantown Historic Preservation Zoning Overlay design guidelines.



1217 5th Avenue North, showing earlier “sunroom” addition.



PROPOSED
ADDITION

AREA:
5717 SQ. FT.
0.13 ACRES

4

(286)

(288)

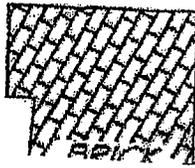
3

S 62°54'35" W 170.91'

N 63°08'40" E 176'

0.3±

ULCA



14' 6"

18.6'

9.6'

10.4'

61.4'

11.1'

22±

33.10'

22±

11.1'

17'

13.9'

18'

72.3'

14'

14' 6"

A/C

DECK &
STEPS

SET
I.P.

SET
I.P.

242.8' TO
MONROE ST

IRON FENCE

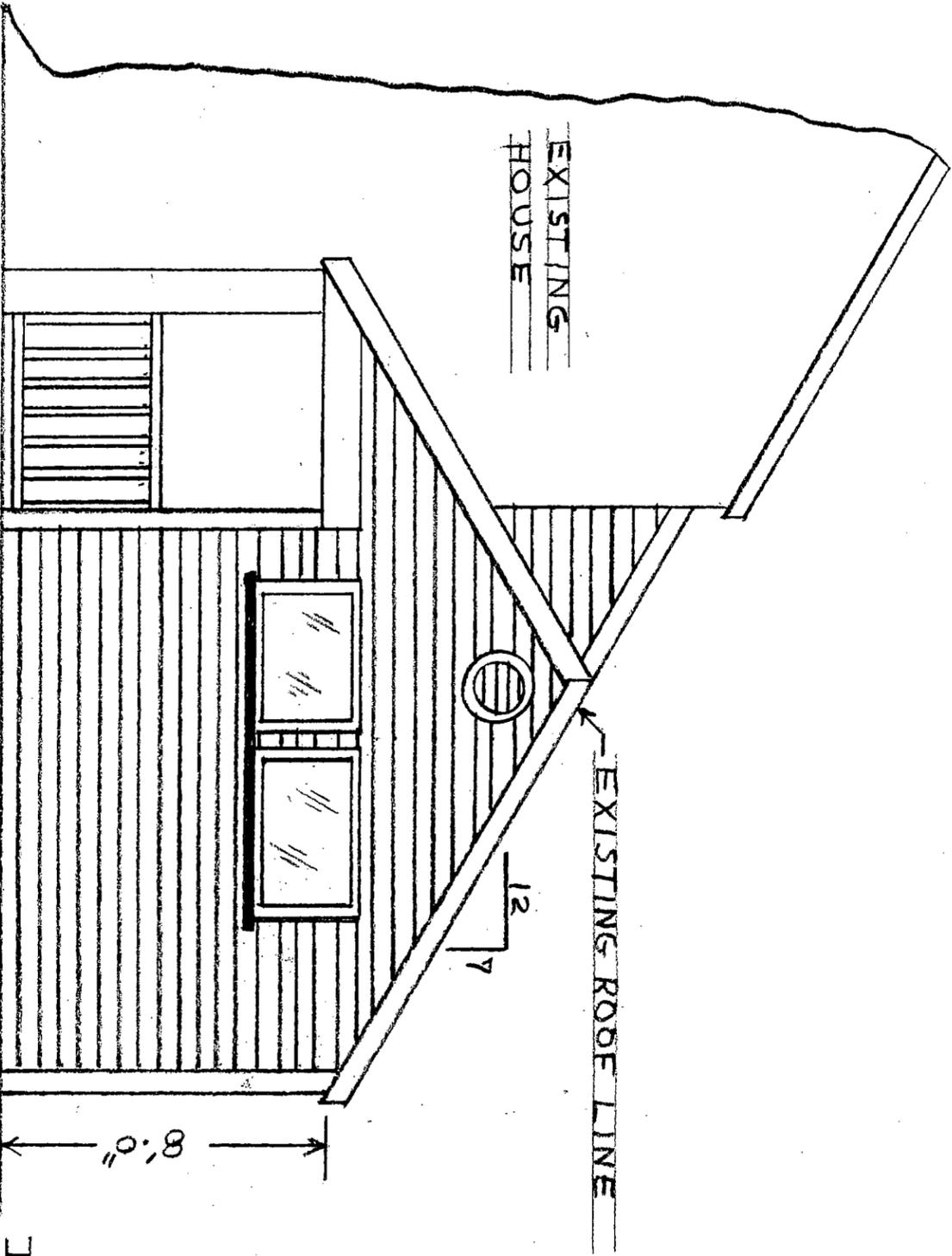
SIDEWALK

S 37°07'24" E 31.1'

PIP W/M

5TH AVENUE NORTH

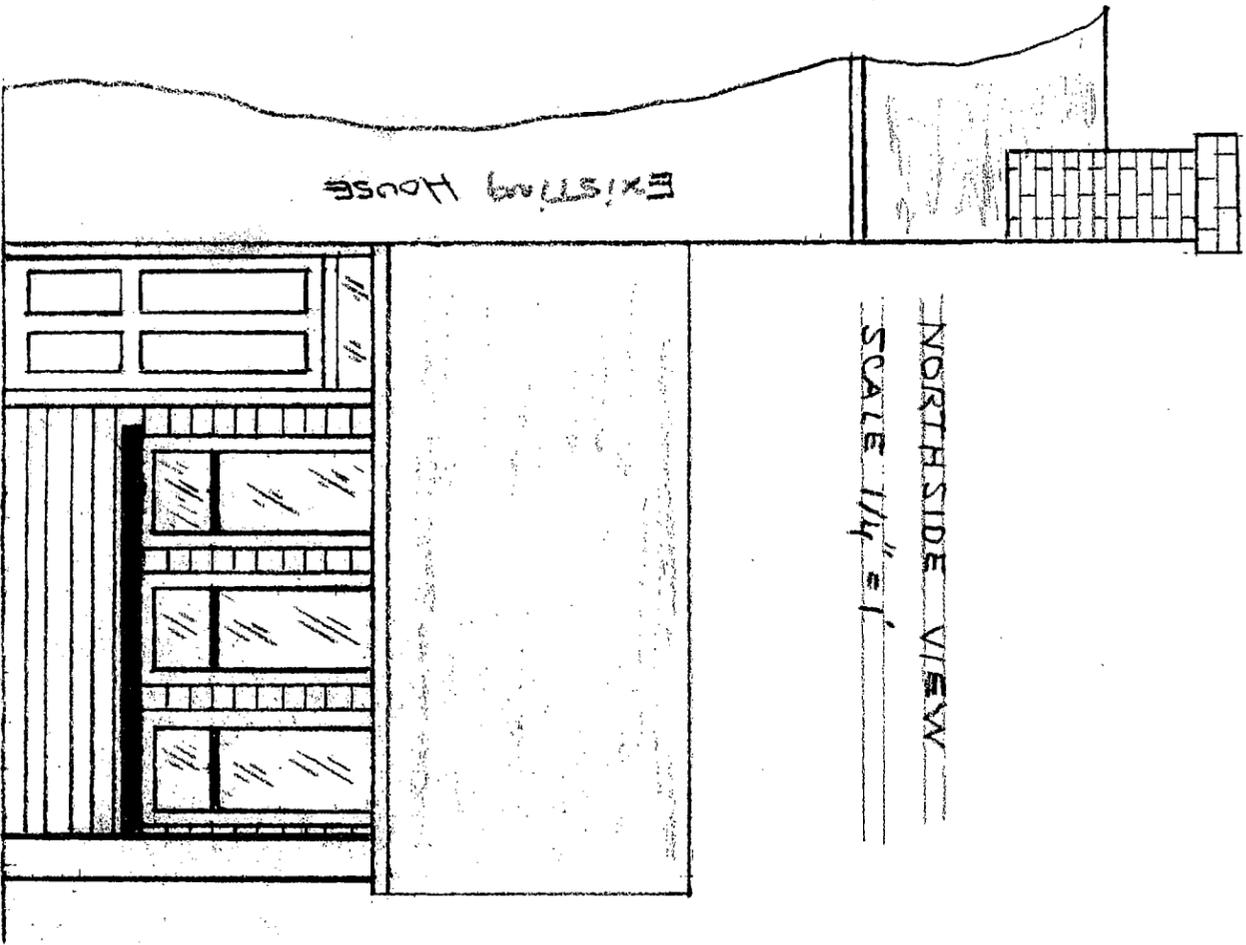
(49.5' R.O.W.)



REAR VIEW
SCALE 1/4" = 1'

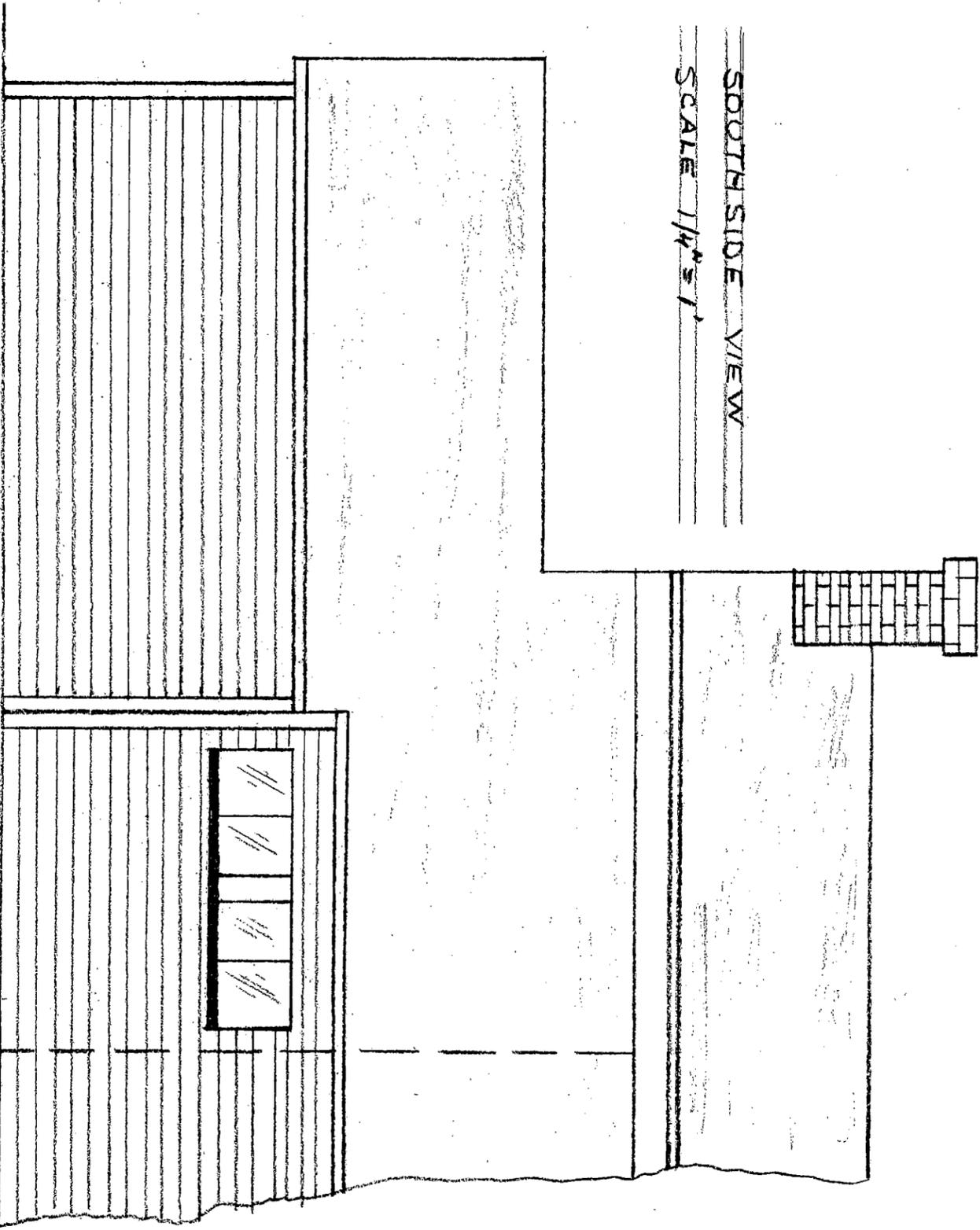
FINISH GRADE

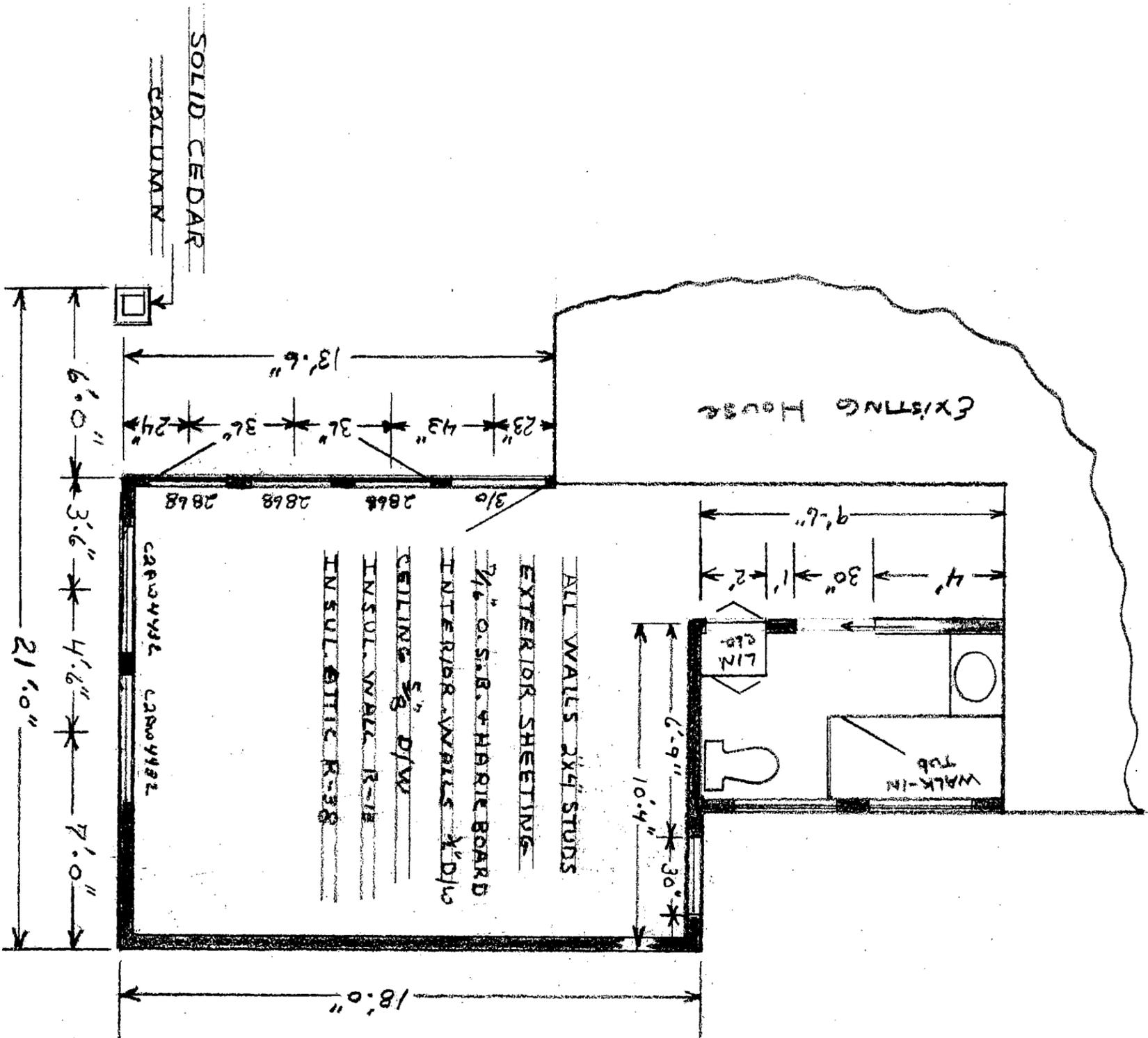
EXISTING HOUSE



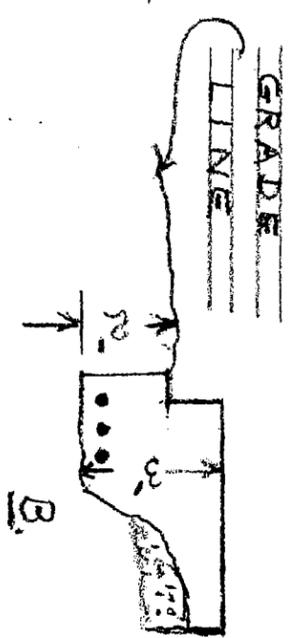
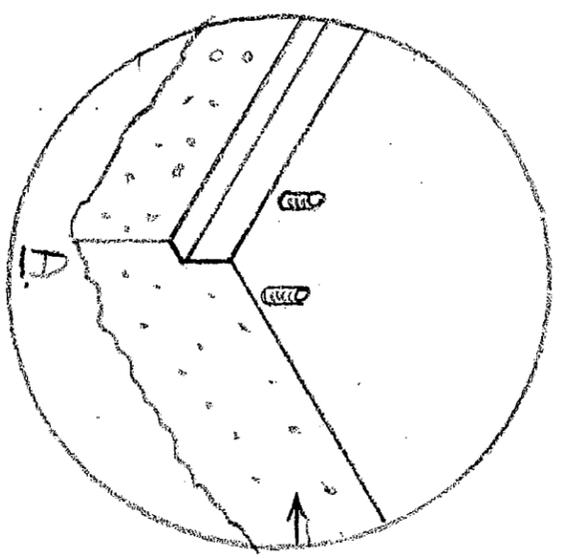
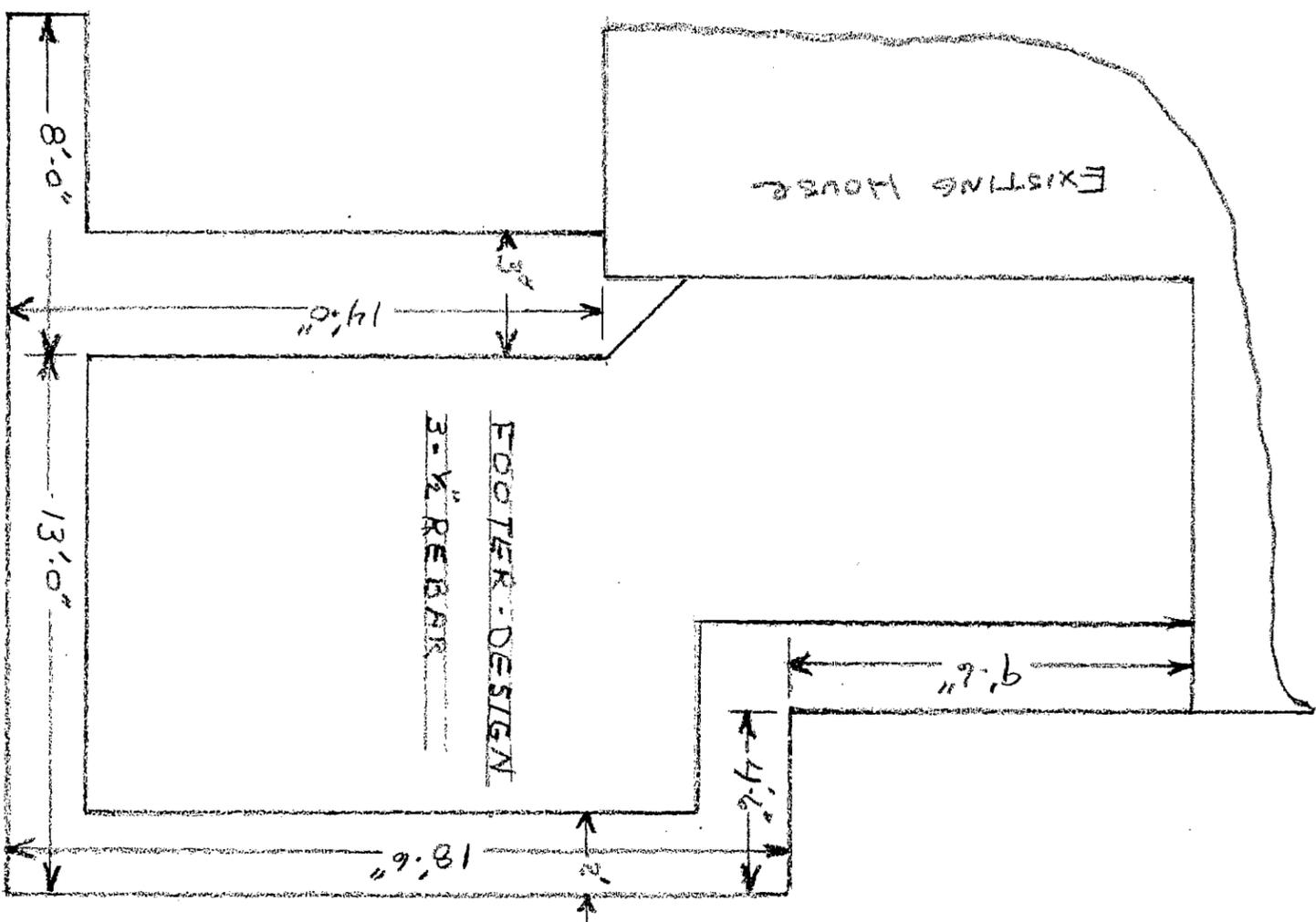
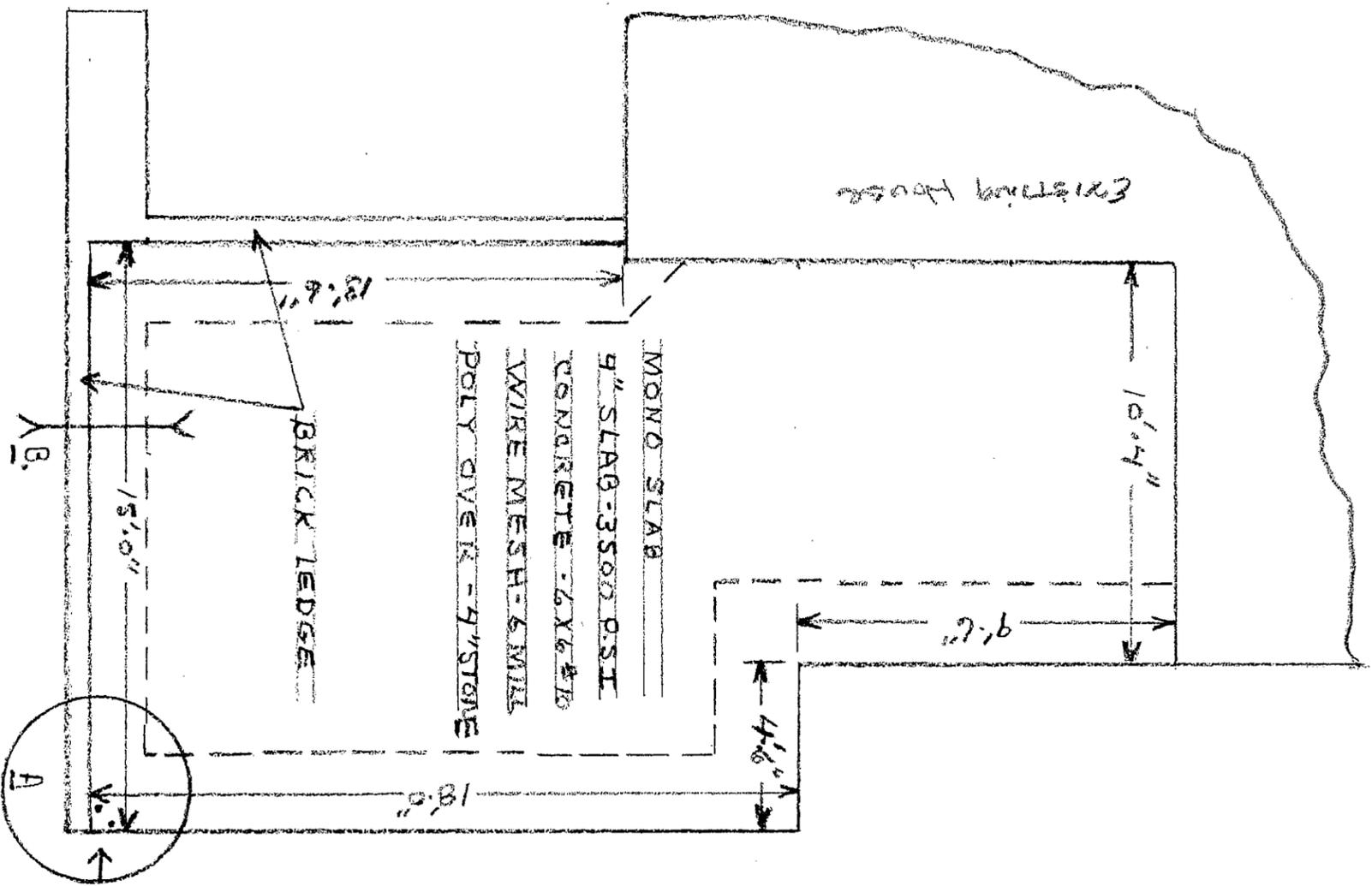
NORTHSIDE VIEW
SCALE 1/4" = 1'

SOUTHSIDE VIEW
SCALE 1/4" = 1'





CAMPBELL RESIDENCE
 BEDROOM + BATH - ADDITION
 SCALE 1/4" = 1' / DATE 3-8-2012



FOUNDATION - PLAN

1/4" = 1' SCALE

CAMPBELL RESIDENCE