



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1809 Sweetbriar Avenue

August 15, 2012

Application: New construction – primary building and accessory building

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 11704006000

Applicant: Brent Craig, Rigid Development

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is proposing to construct a new one and one-half story house and a two-story accessory structure on a vacant lot. The primary structure will resemble a side-gabled Craftsman with a ridge height of twenty-six feet (26') and an eave height of thirteen feet, six inches (13' 6"). The accessory structure will have an eave height of sixteen feet (16') and a ridge height of twenty-three feet, six inches (23' 6"). Both structures will be clad with cement-fiber siding with a fiberglass-asphalt shingle roof and Marvin Integrity windows.

Recommendation Summary: Staff recommends approval of the construction of the primary building and accessory building with the conditions that:

1. Staff shall review any grading changes greater than eighteen inches (18"), including retaining walls, excavation, and fill.
2. Staff shall approve brick samples, front door specifications, and any changes from the materials indicated on the drawings.
3. The driveway, walkways, appurtenances and HVAC location shall be approved by Staff.
4. The ridge height of the accessory building shall be reduced to twenty feet (20') and the eaves should be lowered by at least two feet (2').

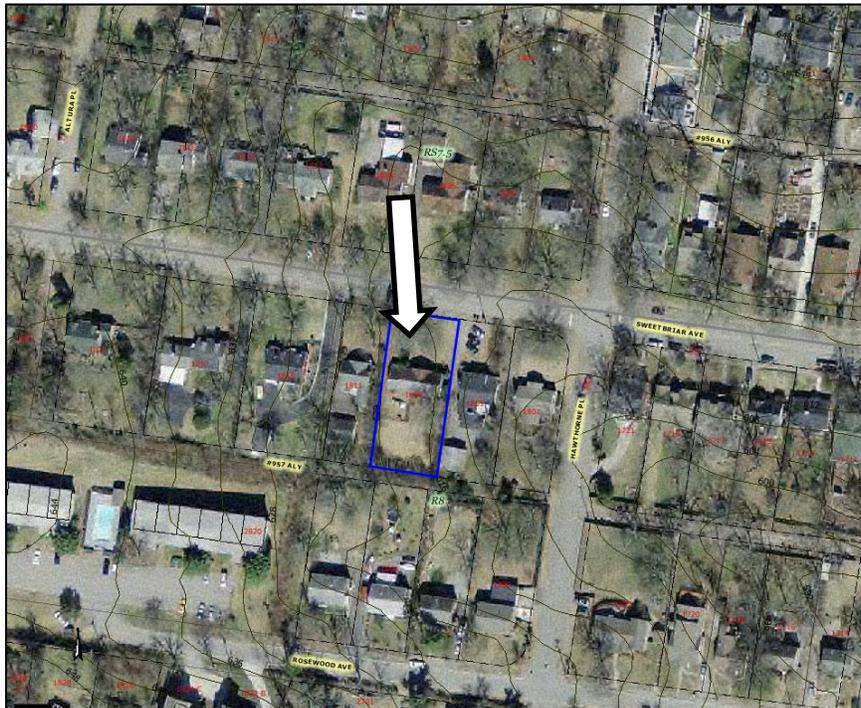
With these conditions, staff finds that the project meets the applicable sections of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

- a. **Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- b. **Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.
- c. **Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
- d. **Materials, Texture, and Details, and Material Color**

The materials, texture, and details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate. MHZC does not review the painting of structures.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.
- e. **Roofs**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.
- f. **Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings shall incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than those that front the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

Shared driveways should be a single lane, not just two driveways next to each other.

Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Generally, curb cuts should not be added.

g. **Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

h. **Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

i. **Outbuildings**

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Roof

- *Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*
- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*
- *The front face of any dormer must be set back at least 2' from the wall of the floor below.*

Windows and Doors

- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

Siding and Trim

- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4") (nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4") (nominal) casings are required around doors, windows, and vents within clapboard walls. (Brick molding is not appropriate on non-masonry clad buildings.)*
- *Brick molding is required around doors, windows, and vents within masonry walls.*

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

1. *where they are a typical feature of the neighborhood*
2. *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Background: 1809 Sweetbriar Avenue is currently a vacant lot, with grade that falls approximately six feet (6') from the rear right corner to the front left. The property is seventy-five feet (75') wide, which is twenty-five feet (25') wider than most lots in the vicinity. MHZC approved the demolition of a non-contributing structure on the property in April, 2012. In May 2012, MHZC voted to disapprove an application for a two-story infill structure in the form of a four-square house, finding the height to be inappropriate. An application to construct a one and one-half story house was disapproved in June 2012 because of an incomplete application.



Current photo of 1809 Sweetbriar.

Analysis and Findings:

The applicant is proposing to construct a new one and one-half story house and a two-story accessory building on the vacant lot.

Height:

The proposed one and one-half story structure would have a maximum height of twenty-six feet (31') from existing grade, with a finished floor height of three feet, six inches (3'-6") from grade. The building's primary eave height at the front elevation will be thirteen feet, six inches (13'6") from grade.

Many of the houses on the 1800 and 1900 blocks of Sweetbriar represent the post-war development of the neighborhood and are unusually small compared to even modest homes of today's standards. They are primarily one to one and one-half stories with heights ranging from eighteen feet to twenty-four feet (18'-24') from grade. Because the massing of the structure will be primarily in the lower story with its bulk diminishing as the height increases because of the gabled roof, staff finds this height to be appropriate.

Staff would recommend a condition that it shall review any grading changes greater than eighteen inches (18") including retaining walls, excavation, and fill. With those conditions, staff finds the application to meet guidelines II.B.1.a. and II.B.1.b.

Scale:

The front façade of the new building will be thirty-eight feet (38') wide, with a depth of sixty-eight feet (68') on the sides. By comparison, the historic houses in the immediate context have widths ranging from thirty-three feet to fifty-one feet (33' – 51'), with the average width being approximately forty feet (40'). Their depths range from twenty-nine feet to sixty-eight feet (29'-68'), with the average depth being about forty-eight feet (48'). Although the proposed house is deeper than the average of other houses in the immediate context, the width of the lot will help lessen the impact of the extra depth of the proposed house on the surrounding historic context. Staff therefore finds that the house's dimensions are compatible with the historic context.

The footprint of the house is two thousand, six hundred, ninety-three square feet (2,693 sq. ft.). The project includes a detached accessory structure that is twenty-one feet by twenty-four feet (21' x 24'), or five hundred, four square feet (504 sq. ft.). (The accessory structure will be reviewed under the "Outbuilding" section below). With the construction of the house and the accessory structure, the property will have approximately seventy-six percent (76%) open space. Properties in the immediate vicinity have open space ratios ranging between approximately seventy percent and ninety-three percent (70%-93%). Staff therefore finds that the site's ratio of open space will meet the historic context.

Staff finds that the proposed infill meets Sections II.B.1.a. and II.B.1.b. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Location and Setback:

The proposal meets all bulk zoning setback requirements. The primary building is generally centered on the lot, similar to other historic buildings found in the district. It will be eighteen feet, five inches (18'-5") from each of the side property lines, and more than sixty feet (60') from the rear property line. The house's front porch will be approximately forty-five feet, five inches (45'-5") from the front property line. This front setback is similar to the setbacks of the houses on either side of the property, which are approximately the same. Staff finds that the infill meets Section II.B.1.c. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Materials:

The primary cladding material will be smooth cement fiberboard with a four inch (4") reveal, which is appropriate. The foundation will be split face concrete block. The roof will be "weathered wood gray" asphalt shingles. The front porch will have square composite columns and brick bases, for which staff asks to approve a brick sample. The front door is proposed to be wood, and staff asks to approve the door specifications prior

to purchase and installation. Windows will be Marvin Integrity windows, which have been approved in the past for new construction. The rear porch will be screened. With the above-mentioned staff reviews, staff finds that the materials meet Section II.B.1.d. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Roof:

The roof will be a gable with the ridge running parallel to the street, with a shed-dormer on the front slope. The primary roof pitch will be 6:12 and the dormer pitch will be 2.5:12. Portions of the rear roof that will not be greatly visible from the street will have pitches similar to the front. These roof forms and pitches are compatible with those found on surrounding historic houses and meet guideline II.B.1.e.

Orientation:

The proposed infill has a full width front porch and centered primary entrance. The infill faces Sweetbriar Avenue, as do all the other buildings on this block. Staff finds the orientation to meet Section II.B.1.f of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Proportion and Rhythm of Openings:

The primary windows on the infill are approximately twice as tall as they are wide and so meet the historic ratio of windows in the neighborhood. The front and side elevations have multiple window and door openings with no section of unpunctuated wallspace greater than ten feet (10'). Staff therefore finds that the window proportions and rhythm of openings meets Section II.B.1.g. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Utilities:

The location of the HVAC system is unknown at this time. Staff recommends that it be located at the rear of the home or on the side, beyond the mid-point of the house, as stated in Section II.B.1.h. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Appurtenances:

The existing driveway and parking pad is shown as being replaced with only a driveway. Staff recommends that the dimensions and materials of the driveway shall be approved. No appurtenances were indicated on the drawings. Staff asks to review and approve all appurtenances, including, but not limited to walkways, lighting fixtures, and other landscape features prior to purchase and installation.

Outbuilding:

The project includes a detached accessory structure that is twenty feet by twenty-four feet (20' x 24'). This footprint is subordinate to the primary house. The structure meets all base zoning requirements for setbacks, and will be accessed from the front by an existing driveway. The materials for the structure will be cement fiberboard siding and composite shingle roof. The windows will be Marvin Integrity windows and the doors will be steel.

Because the building will face Sweetbriar Avenue, staff recommends that the building have two vehicle door bays instead of one large garage bay door.

The accessory structure is proposed to have an eave height of sixteen feet (16') and a ridge height of twenty-three feet, six inches (23'6"). Staff finds that the height of the accessory structure is not subordinate to the proposed new house, which will have an eave height of thirteen feet, six inches (13'6"). Moreover, the accessory building is not subordinate to the immediate historic context, where the primary structures range in height from eighteen feet to twenty-four feet (18'24'). Staff asks that the ridge height be lowered to approximately twenty feet (20') from grade and that the eave height be lowered by a minimum of two feet (2') so as to be subordinate to the infill and to the neighborhood context.

The building will have electrical and water service, but does not meet the design standards for a detached accessory dwelling, so staff will require that a restrictive covenant declaring that the structure is not to be used for living quarters or commercial activity is filed with the Davidson County Register of Deeds, prior to issuing a permit.

With the reduction of the ridge height to a maximum of twenty feet (20'), the lowering of the eave height by a minimum of two feet (2'), staff finds that the proposed accessory building meets Section II.B.1.i. of the design guidelines.

Recommendation: Staff recommends approval of the construction of the infill building and accessory structure with the conditions that:

1. Staff shall review any grading changes greater than eighteen inches (18"), including retaining walls, excavation, and fill.
2. Staff shall approve brick samples, front door specifications, and any changes from the materials indicated on the drawings.
3. The driveway, walkways, appurtenances and HVAC location shall be approved by Staff.
4. The ridge height of the accessory building shall be reduced to twenty feet (20') and the eaves should be lowered by at least two feet (2').

With these conditions, staff finds that the project meets the applicable sections of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Surrounding Context



1800 Sweetbriar Avenue.



1801 Sweetbriar Avenue.



1806 Sweetbriar Avenue.



1807 and 1809 Sweetbriar Avenue.



1814 Sweetbriar Avenue.

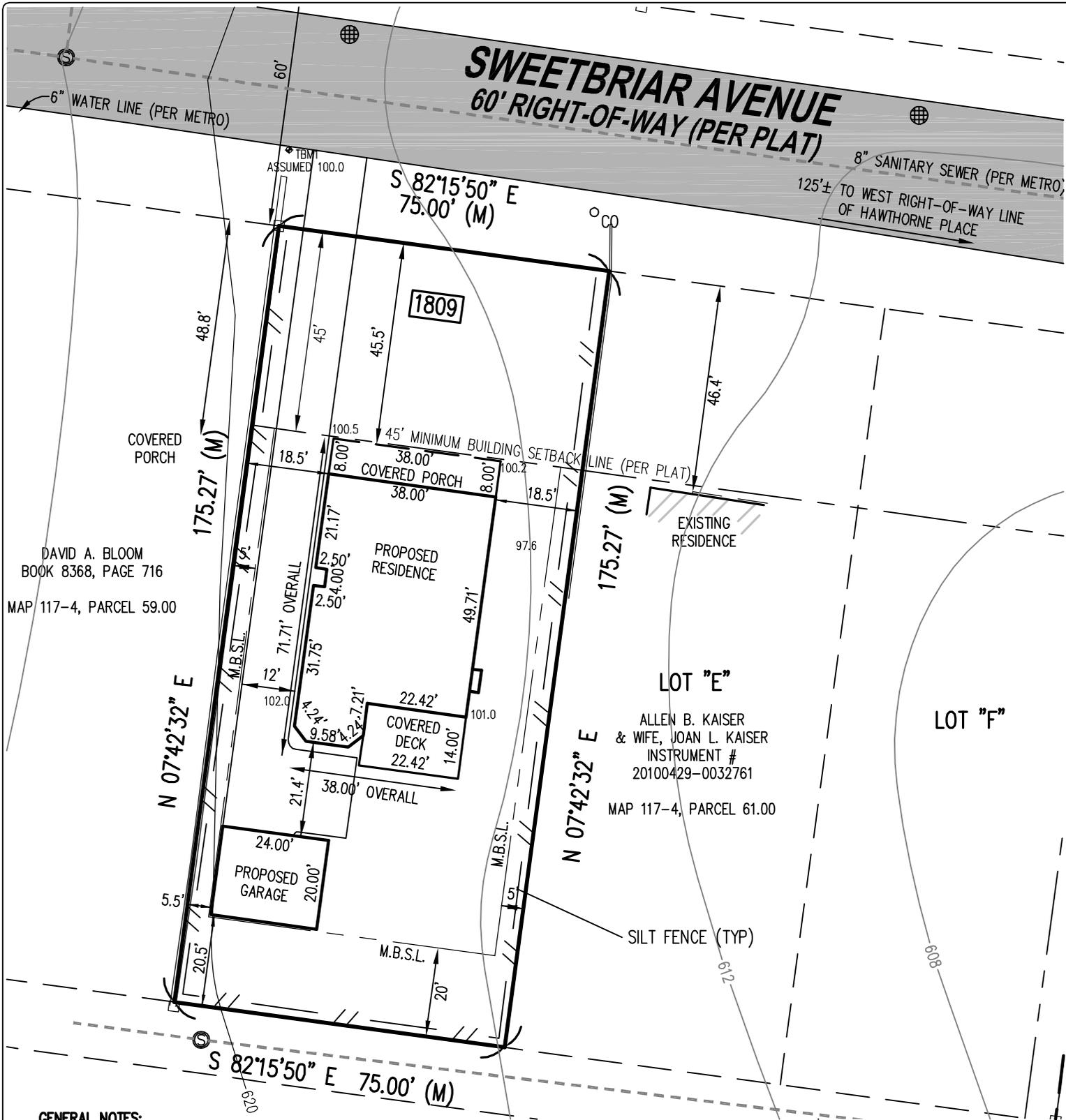


1815 Sweetbriar Avenue.

Elite Surveying Services, LLC

4036 Elizabeth Drive
 Hermitage, TN 37076
 Cell: (615) 636-7738
 Fax: (615) 444-9229
 Email: jfisher@elitesurveying.com
 Website: www.elitesurveying.com

"SUBJECT PROPERTY"
 MAP 117-4, PARCEL 60.00



DAVID A. BLOOM
 BOOK 8368, PAGE 716
 MAP 117-4, PARCEL 59.00

LOT "E"
 ALLEN B. KAISER
 & WIFE, JOAN L. KAISER
 INSTRUMENT #
 20100429-0032761
 MAP 117-4, PARCEL 61.00

LOT "F"

GENERAL NOTES:

1. The within plat and survey were prepared without benefit of current evidence of source of title for the subject tract or adjoiners and are therefore subject to any statement of facts revealed by examination of such documents.
2. In Tennessee it is a requirement of the "Underground Utility Damage Prevent Act" that anyone who engages in excavation must notify all known underground utility owner(s) no less than three nor more than ten working days prior to the date of their intent to excavate and also to avoid any hazard or conflict. The Tennessee One Call telephone number is 1-800-351-1111.
3. The surveyor's liability for this document shall be limited to those parties identified in the certification and does not extend to any unnamed party.
4. Contours shown are taken from Metro GIS website, no field work was performed.
5. All setbacks are shown per Metro Codes Department.
 Front - 20' Min.-40' Max. /Average
 Side - 5'
 Rear - 20'

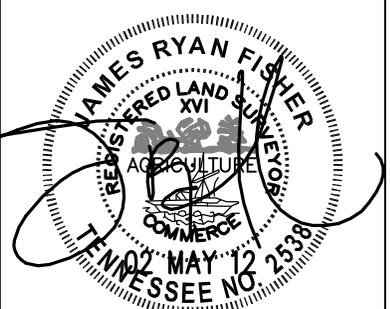
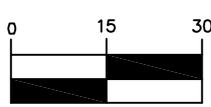
OWNER-LAND AREA FOR SUBJECT TRACT

AREA
 13,145 Sq. Ft.
 0.30 Acres
 LOT "D"

NOBLE PROPERTIES, INC.
 INSTRUMENT #20120413-0031564
 MAP 117-4, PARCEL 60.00

This PLOT PLAN is not a general property survey as defined under Rule 0820-3-07. This document represents a limited accuracy non-monumented survey of the property described hereon performed under the authority of TCA 62-18-126. It should not be relied upon for the construction of fences or other improvements or for establishing the location of property lines. No boundary corners were set with this work.

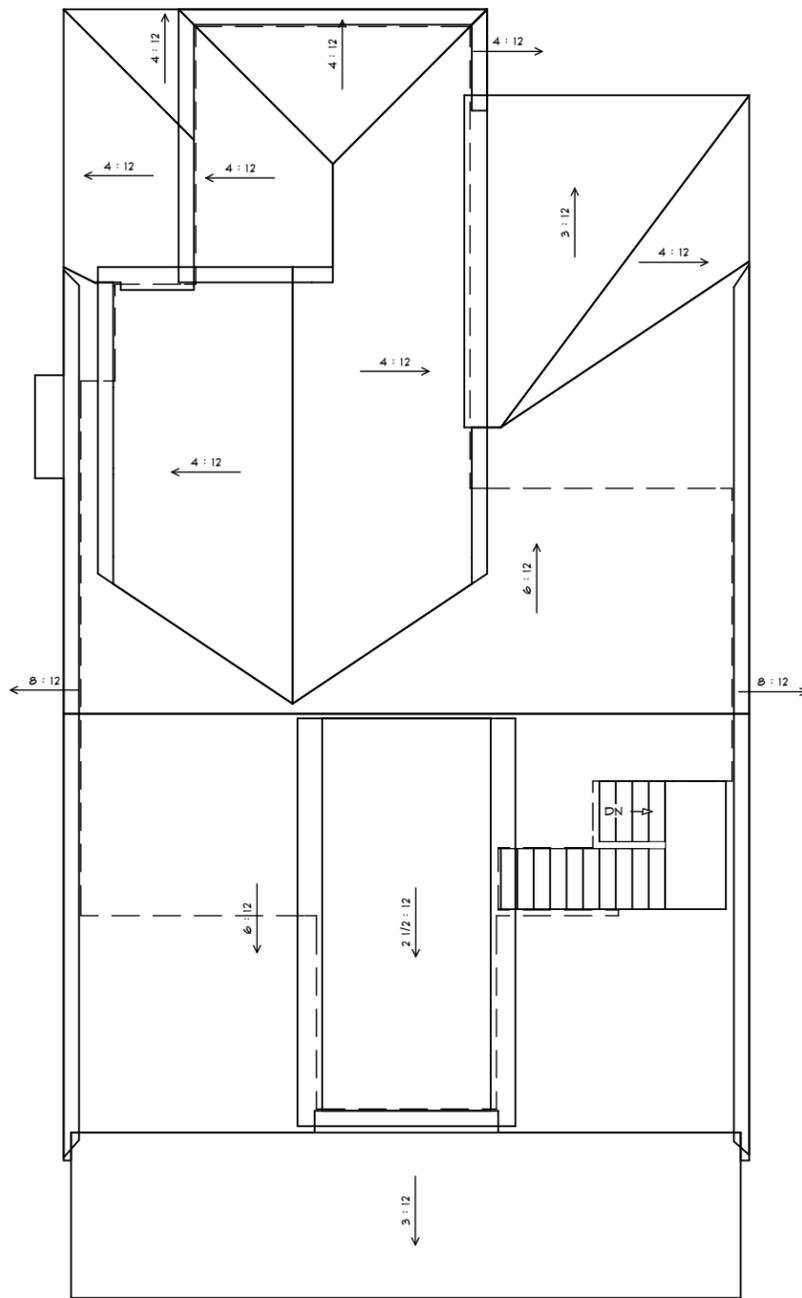
PLOT PLAN Job# 0920.64 SCALE: 1" = 30'
 Prepared For: BRENT CRAIG CONSTRUCTION
 Subdivision: PLAN OF SWEETBRIAR LOT# "D"
 Recording Info: PLAT BOOK 1835, PAGE 18
 County: DAVIDSON State: TN
 Street Address: 1809 SWEETBRIAR AVENUE
 Buyer/owner: NOBLE PROPERTIES, INC.
 Prepared By: JRF DATE: 02 MAY 12 M:\2009\20\64\DWGS\092064BDRY.DWG JRF 05\02\12



REVISED JRF 06\05\12

SQUARE FOOTAGE:

1ST FLOOR:	2106
2ND FLOOR:	1479
TOTAL LIVING:	3585
FRONT PORCH:	304
REAR SCREENED PORCH:	253
REAR PORCH:	30
TOTAL COVERED:	4172

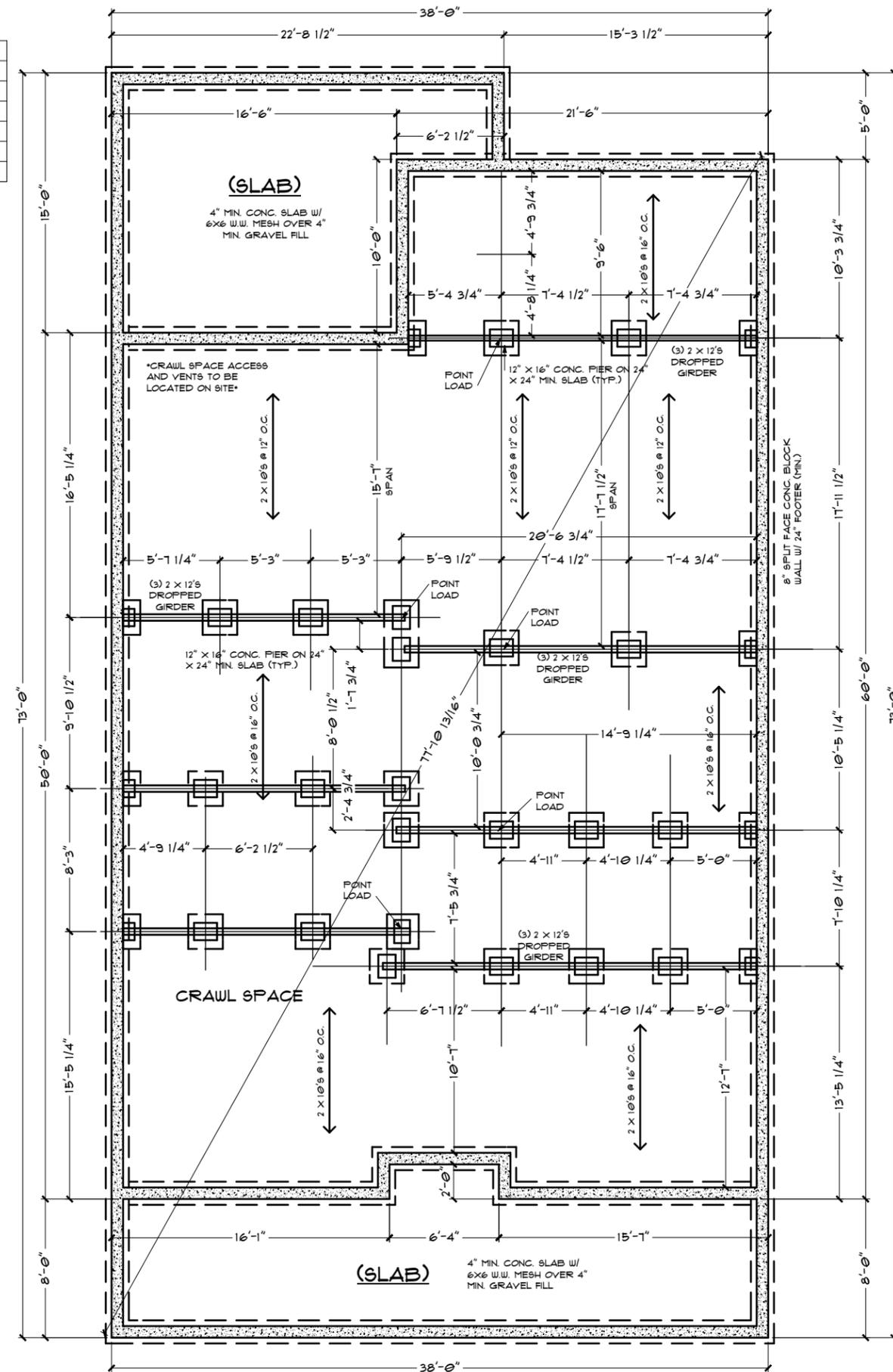


ROOF PLAN

SCALE: 3/32" = 1'-0"

FOUNDATION PLAN NOTES:

1. CRAWL SPACE ACCESS AND VENTS TO BE LOCATED ON SITE.
2. PIERS ARE 12" X 16" CONCRETE BLOCK W/ 24" X 24" SLAB FOOTER (MIN).
NUMBER OF PIERS FOR THIS PLAN = 22, AND 8 HALF PIERS.
3. TYPICAL BEAMS USED ARE (3) 2 X 12'S, DROPPED GIRDERS 9 1/2"
4. FLOOR SYSTEM SPACING AND JOIST DIRECTIONS ARE NOTED ON PLAN.
5. FLOOR SYSTEM TYPICALLY DESIGNED W/ 11 7/8" I-JOISTS @ 16" O.C. UNLESS OTHERWISE NOTED.
6. DIAGONAL DIMENSIONS ARE FROM CORNER OF BLOCK TO CORNER OF BLOCK.



CRAWL FOUNDATION PLAN

TODAY'S DATE:
8 AUG 12

ORIG. DATE:
7/6/12

MOD. DATES:
8/8/12:
ROOF FITCH

THESE PLANS ARE PROTECTED FROM FLAUIARISM ANY USE, REUSE, REPRODUCTION OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY: **SANDI**

PREPARED FOR: **RIGID DEVELOPMENT**

SCALE: **11 X 17 PRINT: 1/8" = 1'-0"**
24 X 36 PRINT: 1/4" = 1'-0"

SITE ADDRESS: **1809 SWEETBRIAR**



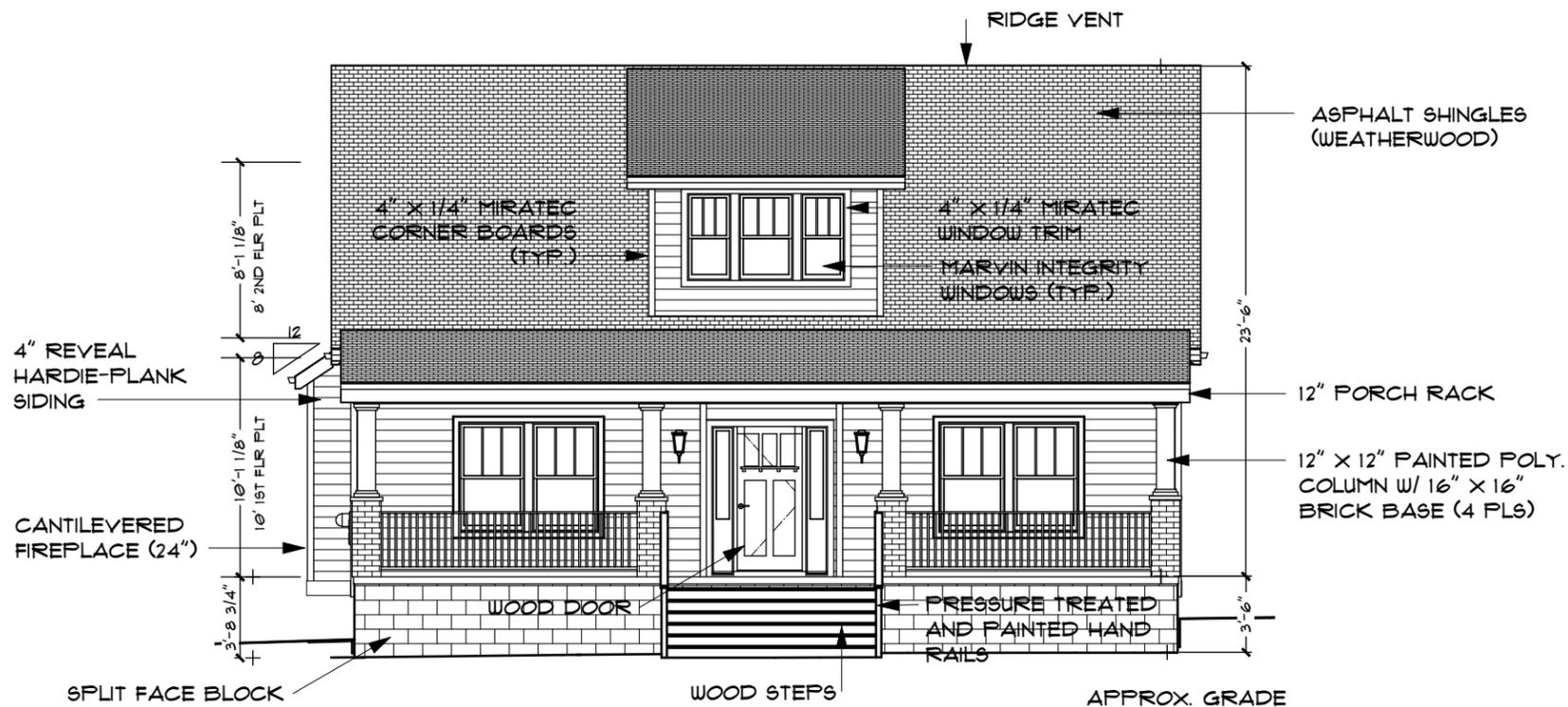
FOUNDATION

SHEET NO.:

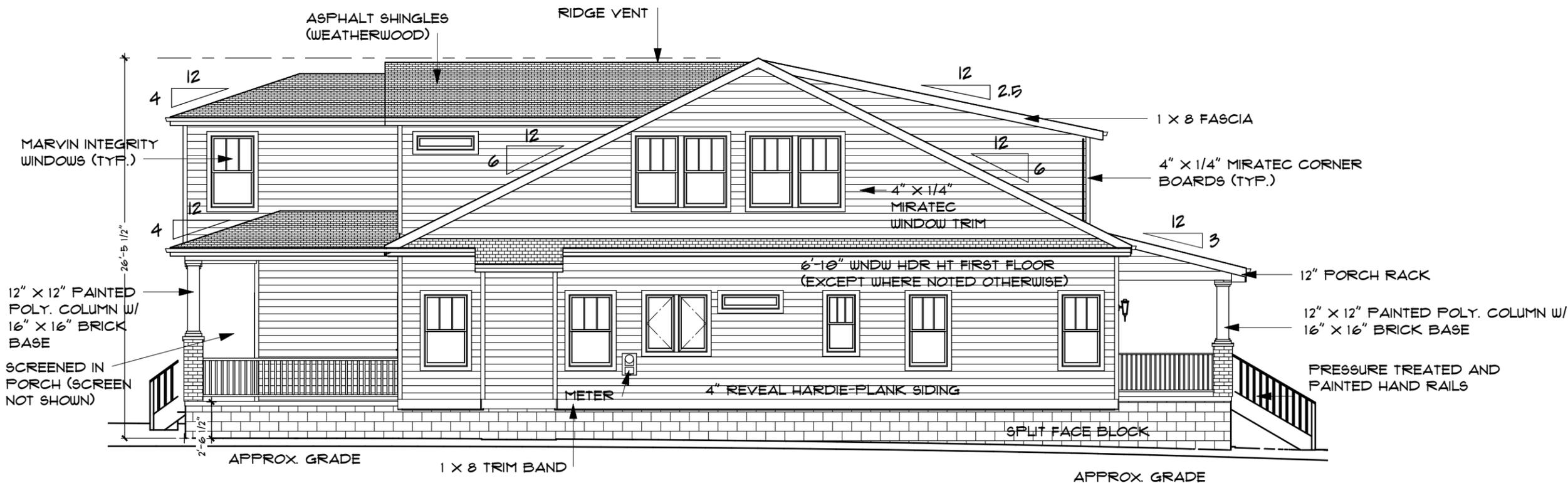
3 OF 5

SQUARE FOOTAGE:

1ST FLOOR:	2106
2ND FLOOR:	1479
TOTAL LIVING:	3585
FRONT PORCH:	304
REAR SCREENED PORCH:	253
REAR PORCH:	30
TOTAL COVERED:	4112



FRONT ELEVATION



LEFT SIDE ELEVATION

TODAY'S DATE:
8 AUG 12

ORIG. DATE:
7/6/12
MOD. DATES:
8/8/12:
ROOF FITCH

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DRAWN BY: SANDI

PREPARED FOR: RIGID DEVELOPMENT

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

SITE ADDRESS: 1809 SWEETBRIAR



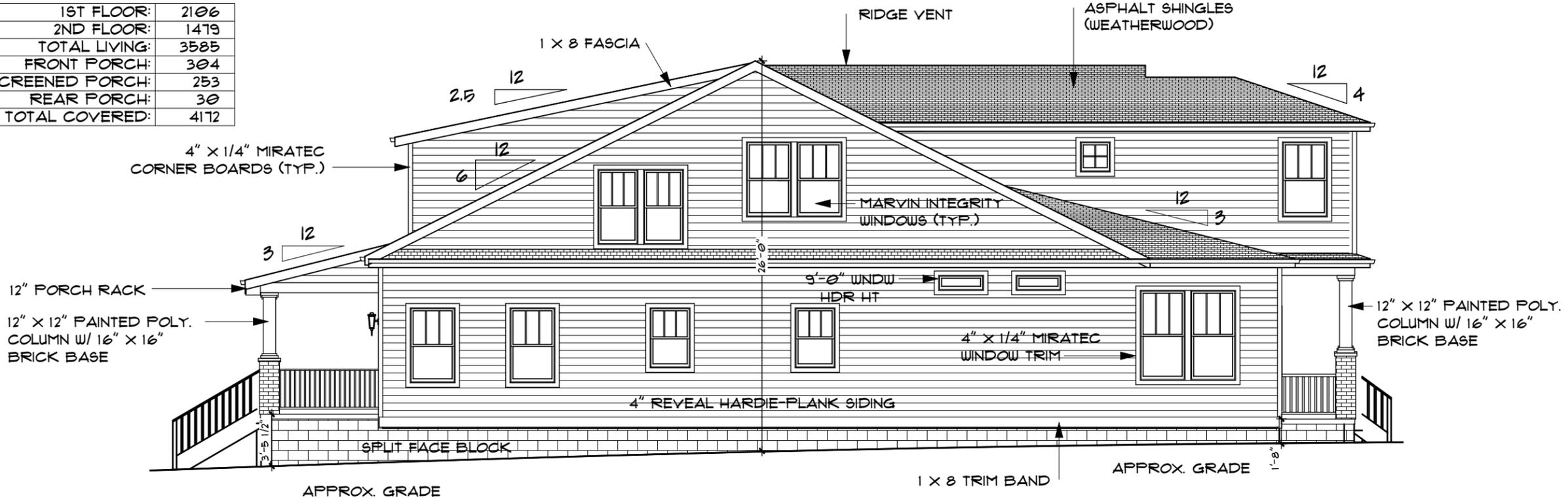
ELEVATIONS 1

SHEET NO.:

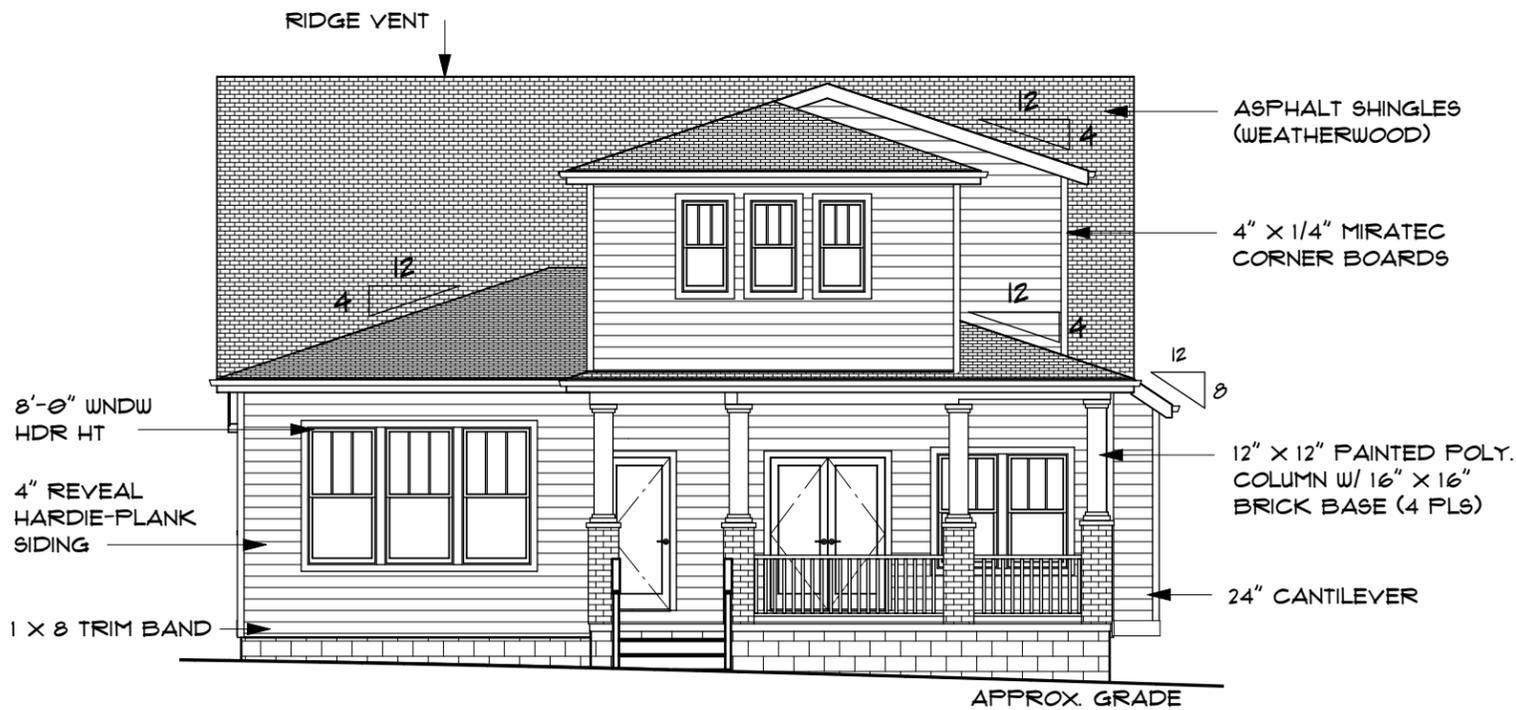
4 OF 5

SQUARE FOOTAGE:

1ST FLOOR:	2106
2ND FLOOR:	1479
TOTAL LIVING:	3585
FRONT PORCH:	304
REAR SCREENED PORCH:	253
REAR PORCH:	30
TOTAL COVERED:	4172



RIGHT SIDE ELEVATION



REAR ELEVATION

TODAY'S DATE:
8 AUG 12

ORIG. DATE:
7/6/12

MOD. DATES:
8/8/12:
ROOF FITCH

THESE PLANS ARE PROTECTED FROM FLAGIARISM BY ANY USE, REUSE, REPRODUCTION, OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS. WILL BE PROSECUTED.

DRAWN BY: **SANDI**

PREPARED FOR: **RIGID DEVELOPMENT**

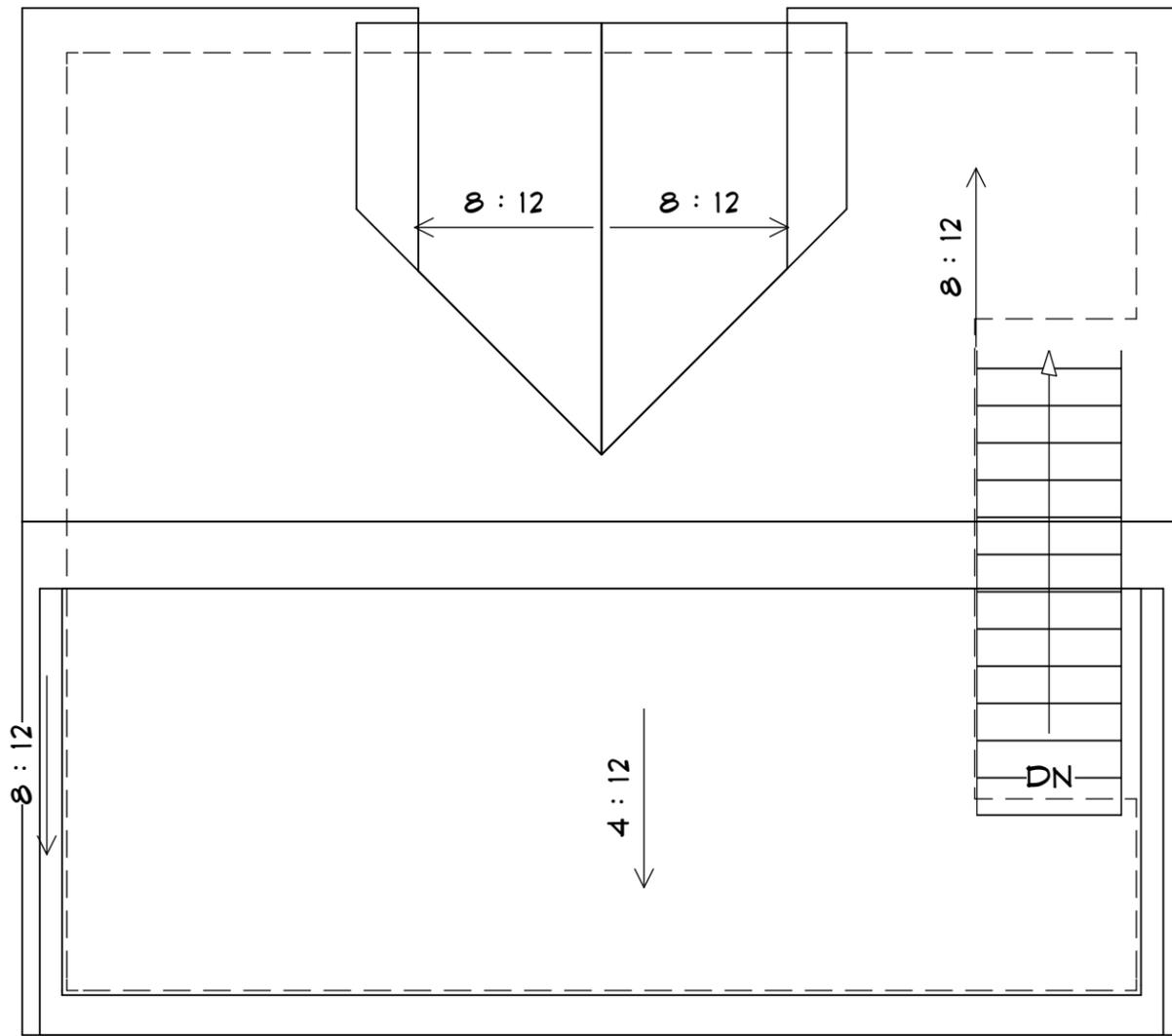
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24 X 36 PRINT: 1/4" = 1'-0"

SITE ADDRESS: **1809 SWEETBRIAR**



ELEVATIONS 2

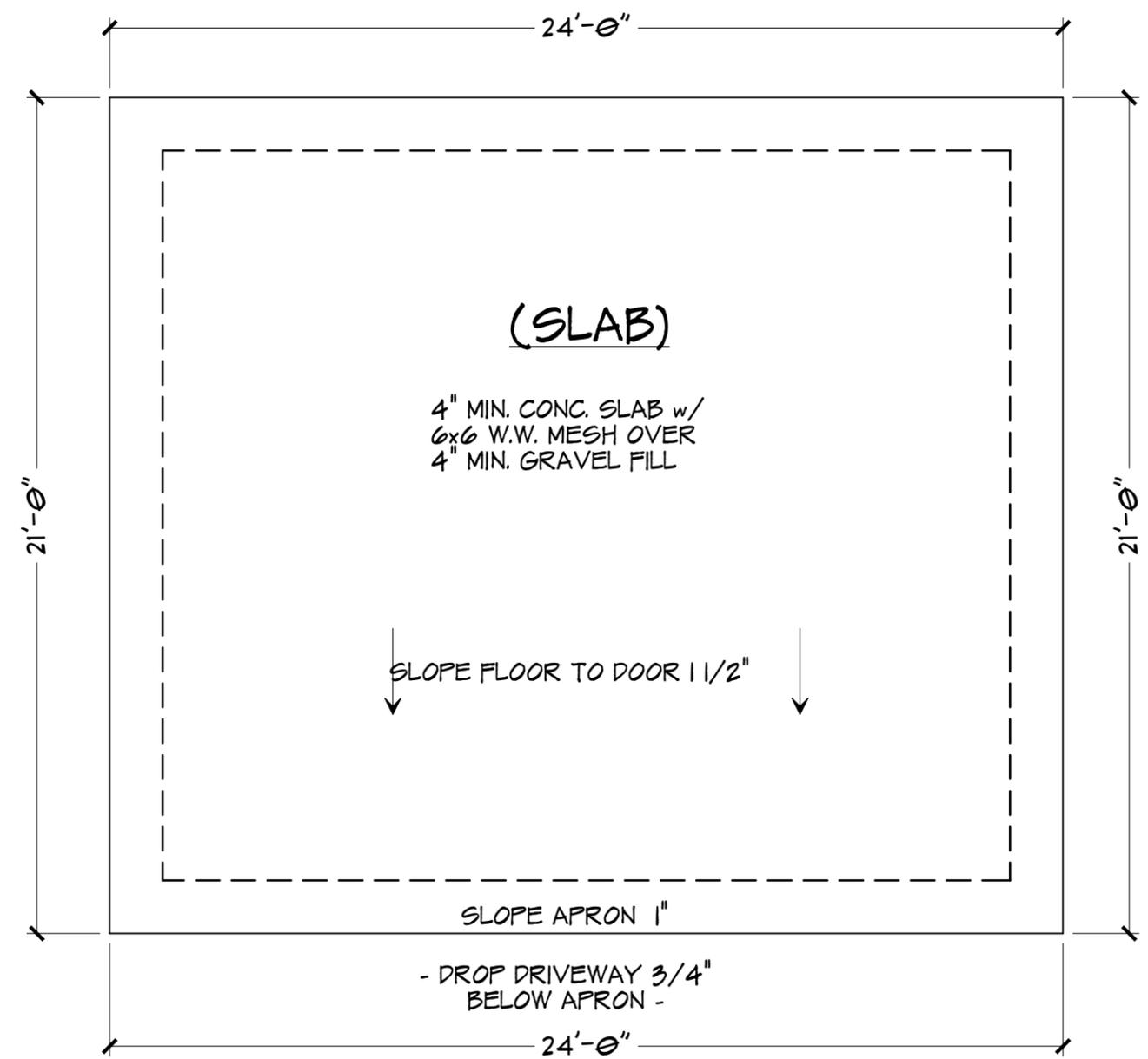
SHEET NO.:
5 OF 5



ROOF PLAN

SQUARE FOOTAGE:

GARAGE:	504
2ND FLOOR:	465
TOTAL LIVING:	465
TOTAL COVERED:	969



SLAB FOUNDATION PLAN

TODAY'S DATE:
6 JULY 12

ORIG. DATE:
7/6/12
MOD. DATES:

THESE PLANS ARE PROTECTED FROM FLAUIARISM ANY USE, REUSE, REPRODUCTION OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY: SANDI

PREPARED FOR: DETACHED GARAGE

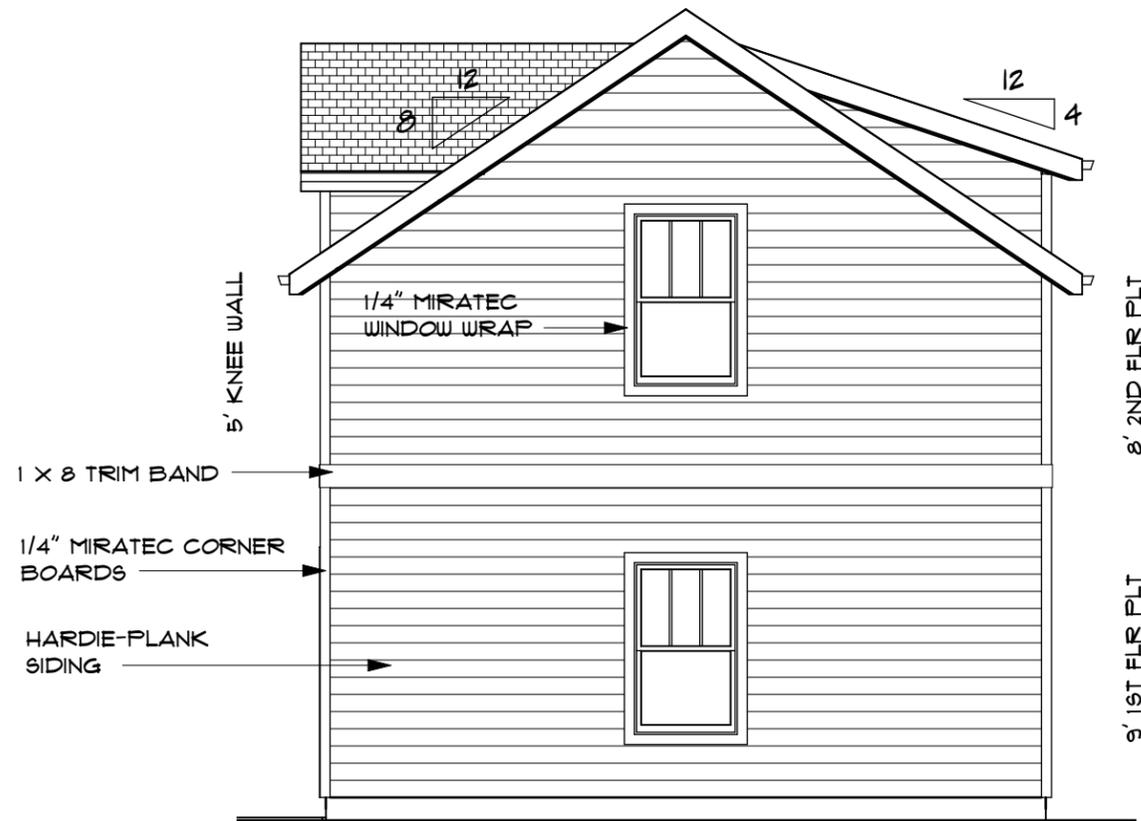
SCALE: 1/4" = 1'-0"

SITE ADDRESS: 1809 SWEETBRIAR AVE.

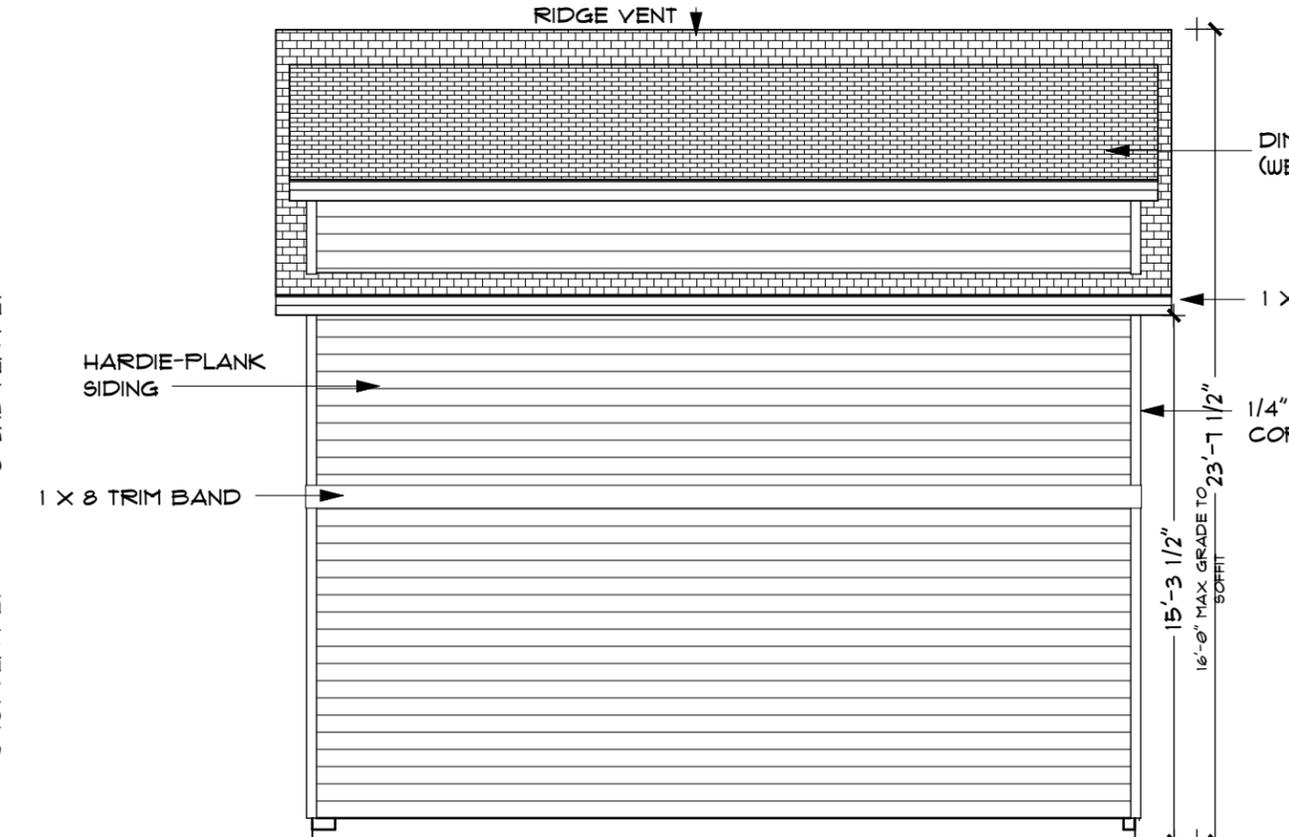


FOUNDATION

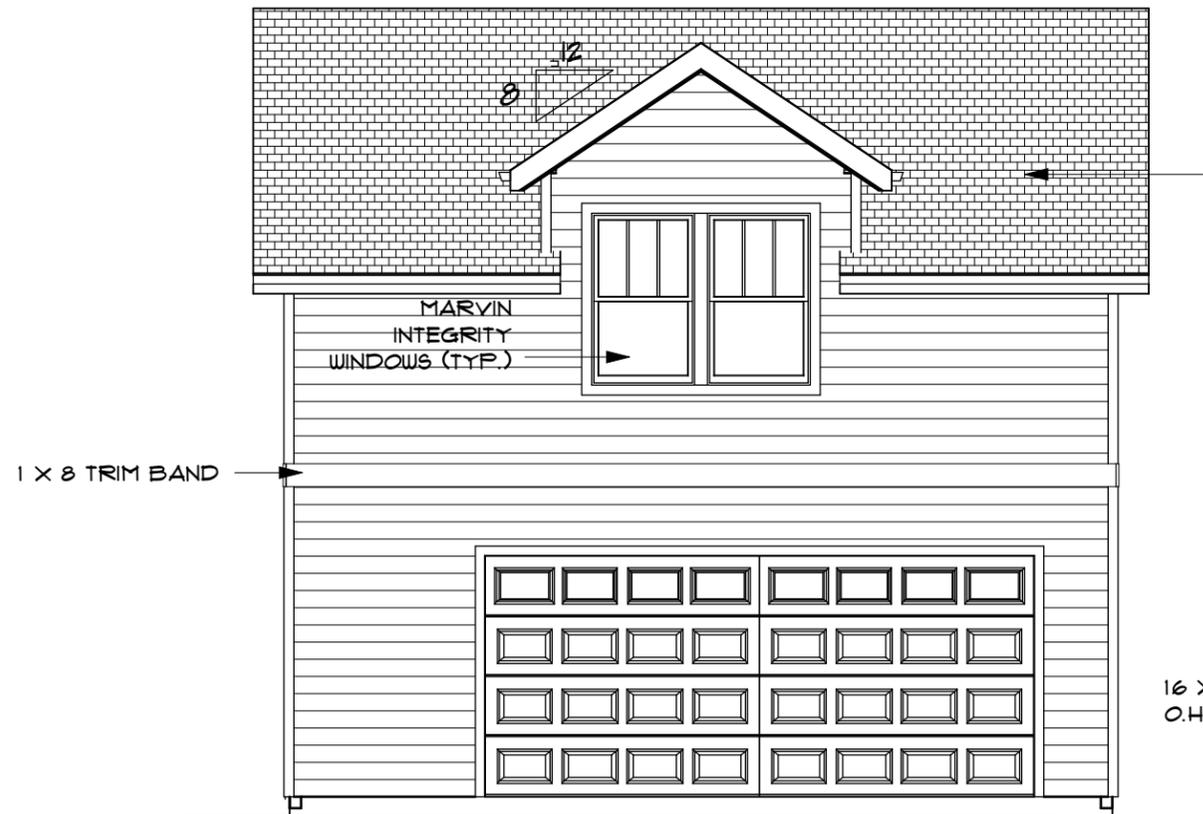
SHEET NO:
3 OF 4



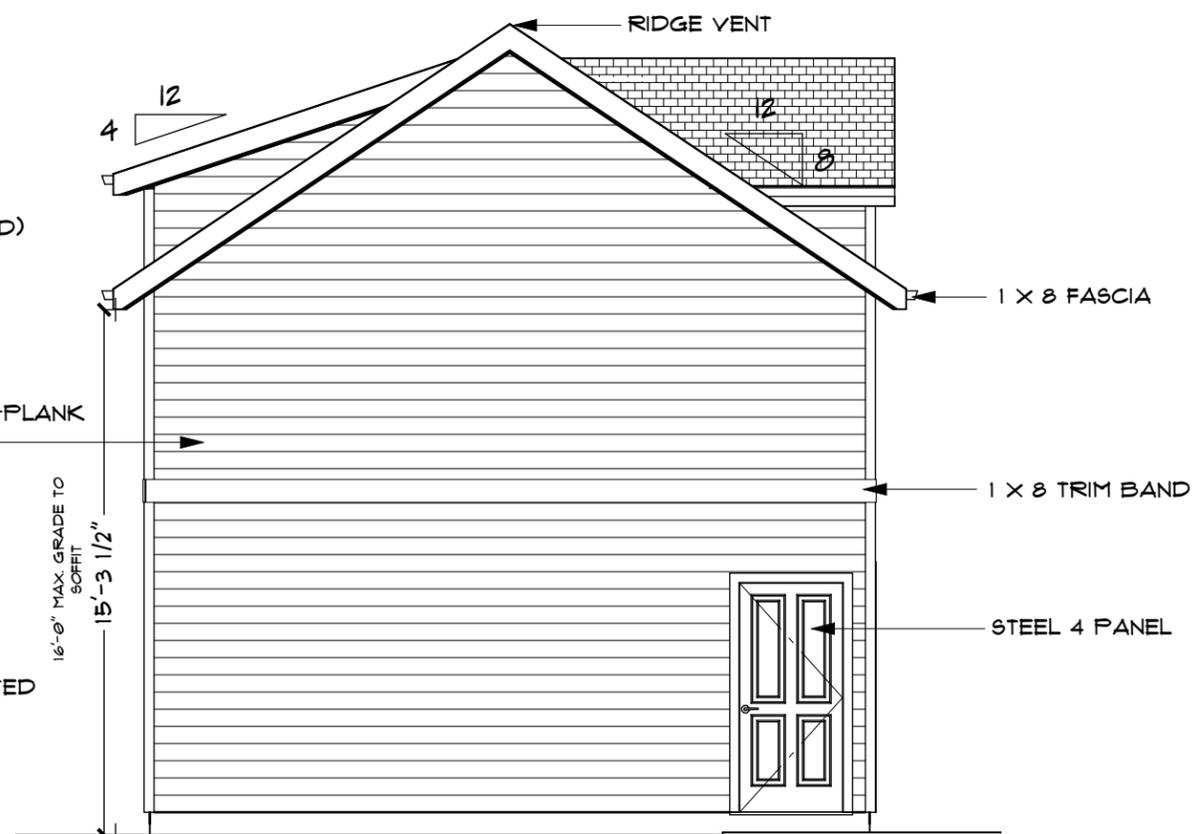
LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

APPROX. GRADE (WILL VARY)

16 X 1 NON-INSULATED O.H.D. W/ OPENER

TODAY'S DATE:
6 JULY 12

ORIG. DATE:
7/6/12
MOD. DATES:

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DRAWN BY: SANDI

SCALE: 3/16" = 1'-0"

PREPARED FOR: DETACHED GARAGE

SCALE: 11 X 17 PRINT: 1/4" = 1'-0"

SITE ADDRESS: 1809 SWEETBRIAR AVE.



ELEVATIONS 1

SHEET NO.:

4 OF 4