



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

## STAFF RECOMMENDATION

905 B Boscobel Street

August 15, 2012

**Application:** New construction – primary building

**District:** Edgefield Historic Preservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08216044100

**Applicant:** Rebecca White, Owner

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant is proposing to construct a new two-story single family dwelling on a vacant, recently divided lot. The building will have a clipped-gable roof with a ridge height of twenty-nine feet (29’), and will be thirty-two feet (32’) wide across the front. The materials of the new building will be: fiberglass-asphalt shingle roof, wood-composite siding, and a parged concrete block foundation. The materials of the windows, stone porch column pedestals, fences, and other appurtenances are not known.

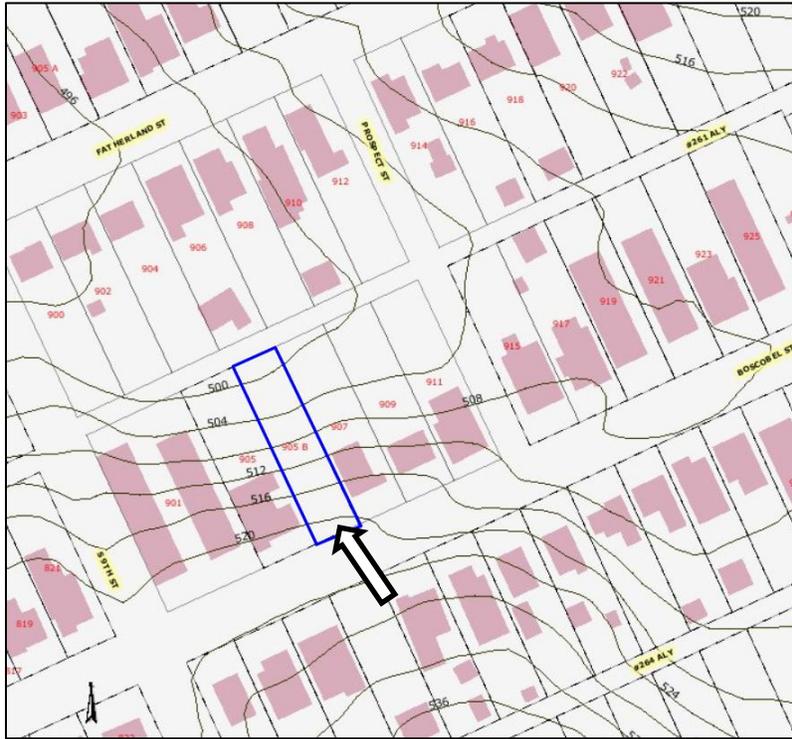
**Recommendation Summary:** Staff recommends approval of the new construction, with the conditions that:

1. The roof shall be hipped in order to be more compatible with surrounding two-story historic houses.
2. Additional windows shall be added to the left and right elevations.
3. Staff shall approve the color of the roof material administratively.
4. Staff shall approve windows prior to purchase.
5. Windows and doors shall have four inch (4” nominal) flat casings.
6. The eaves shall be extended to overhang at least eighteen inches (18”)
7. Staff shall approve stone and any other exterior material not specified in the drawings.
8. Staff shall approve exterior appurtenances, light fixtures, landscape features, fences, and the location of outdoor mechanical units.

Staff otherwise finds the proposal to meet the applicable sections of the design guidelines for the Edgefield Historic Preservation Zoning Overlay district.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.  
*Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.*  
*The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*

### IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height.

*A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*

- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

#### **IV.B.2 Permanent Built Landscape Features**

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

**Background:** 905 B Boscobel is currently a vacant lot. It was recently subdivided from 905 Boscobel Street. The surrounding historic context comprises mainly one-story Folk Victorian Houses and one and one-half story Craftsman bungalows, with a few two-story Victorians throughout the district.

**Analysis and Findings:** The applicant is proposing to construct a new single-family dwelling on the property.

#### Setback and Rhythm of Spacing

The new building will match the front setbacks of the adjacent historic house and will be centered on the forty-seven foot (47') wide lot. This location will maintain the rhythm established by historic houses on the street.

#### Height, Scale, Building Shape

The new building will be two stories tall, with a maximum roof height of twenty-nine feet (29') above grade. The building will have a foundation height of approximately two feet (2') and a primary eave height of eighteen feet (18'). This is compatible with surrounding two-story houses, including 902 Boscobel Street which is thirty-four feet (34') tall.

The footprint of the structure will be roughly square, with a thirty-two foot (32') wide front façade and thirty-four feet (34') on the left and right sides. Historic houses nearby typically vary in width between thirty-one (31') feet to thirty-nine feet (39'), although the

adjacent house at 905 Boscobel Street is forty-three feet (43') wide. Also, the remaining front yard and the amount of space between buildings will be compatible with the surrounding context.

Staff finds the height and scale of the proposed new building does not contrast greatly with the scale of adjacent historic structures and meets guidelines III.B.2.a., III.B.2.c., and III.B.2.c.

#### Roof Form, Roof Shape

The roof of the new building would be a “jerkinhead” or clipped gable, with a ridge running parallel to the street. The pitch of the primary slopes of the roof would be 6:12, with a steeper 12:12 pitch on the sides. An ornamental gable on the front will also have a 6:12 roof. These pitches are comparable to roofs of historic houses nearby.

Staff surveyed the area and found that there were many roof forms on historic houses, but none have clipped gables. All of the two-story historic structures were found to have hipped roofs. To be more compatible with surrounding historic houses and meet guideline III.B.2.d., staff recommends that the new building have a hipped roof. This would also help to reduce the perceived massing of the structure. Additionally, the proposed eaves are proposed to project only nine inches, which staff finds to be too shallow in proportion to the overall massing of the roof. Staff recommends extending the eaves to at least eighteen inches (18”).

#### Orientation

The front façade of the new building will be parallel to Boscobel Street, matching the orientation of surrounding historic houses. The directional expression of the exterior architectural elements of the structure such as the projecting front porch, continuous eave line, and weatherboard siding, will be primarily horizontal. This is compatible with surrounding historic houses and meets guideline III.B.2.e.

#### Fenestration (Window Pattern)

The front façade of the structure will have three evenly spaced bays on each story. This is similar to the window pattern exhibited on many Craftsman style houses nearby. The side facades of the proposed new building would both have large sections of wall-space without any openings. The guidelines require new construction to have a rhythm of solids-to-voids compatible with surrounding historic houses, which typically have a window or door at every ten to twelve feet (10'-12'). Staff recommends that one additional window be added to the left elevation and two on the right in order to meet guideline III.B.2.f.

#### Materials

The applicant proposes to have a fiberglass-asphalt shingles on the primary and porch roof, LP-brand “SmartSide Foundations Series” composite siding and shakes, and a parged concrete block foundation. The color of the roof material will need to be approved administratively. Although this siding has not yet been approved by the Commission, staff has reviewed a sample of the material and finds it to be comparable to

cement-fiber siding that has been approved in many cases. The Commission has reviewed LP-brand “SmartSide Precision Series” and found it to be its texture to be too coarse and reveal to be inappropriate. For this reason, staff recommends approving the LP-brand “SmartSide Foundation Series” siding for new construction only. The cornerboards, trim, and columns will be wood or LP.

The front door will be fiberglass. Fiberglass doors have not been approved in the Edgefield Historic Preservation zoning overlay, but staff has reviewed a sample and determined that it would look similar to wood from the right-of-way. For this reason, staff recommends approving the fiberglass door for new construction only. Because the material of the windows has not been indicated, staff recommends administrative approval of the windows prior to purchase. Staff recommends that the windows and doors have four inch (4”) flat casings. The porch floor and stairs will be concrete. The front porch columns will be on three foot (3’) tall stone pedestals, and will address the street with a stone walkway. Staff recommends that samples of the stone material be approved administratively prior to purchase.

#### Appurtenances, Permanent Landscape Features

Additional information is needed on exterior appurtenances, light fixtures, landscape features, fences, and the location of outdoor mechanical units. Staff recommends that that information be approved administratively prior to purchase or installation.

**Recommendation:** Staff recommends approval of the new construction, with the conditions that:

1. The roof shall be hipped in order to more compatible with surrounding two-story historic houses.
2. Additional windows shall be added to the left and right elevations.
3. Staff shall approve the color of the roof material administratively.
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905 Boscobel Street

905 'B' Boscobel Street



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905 'B' Boscobel Street



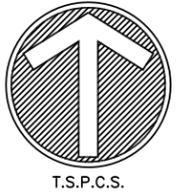
904-            902-            900 Boscobel Street



902 Boscobel Street.

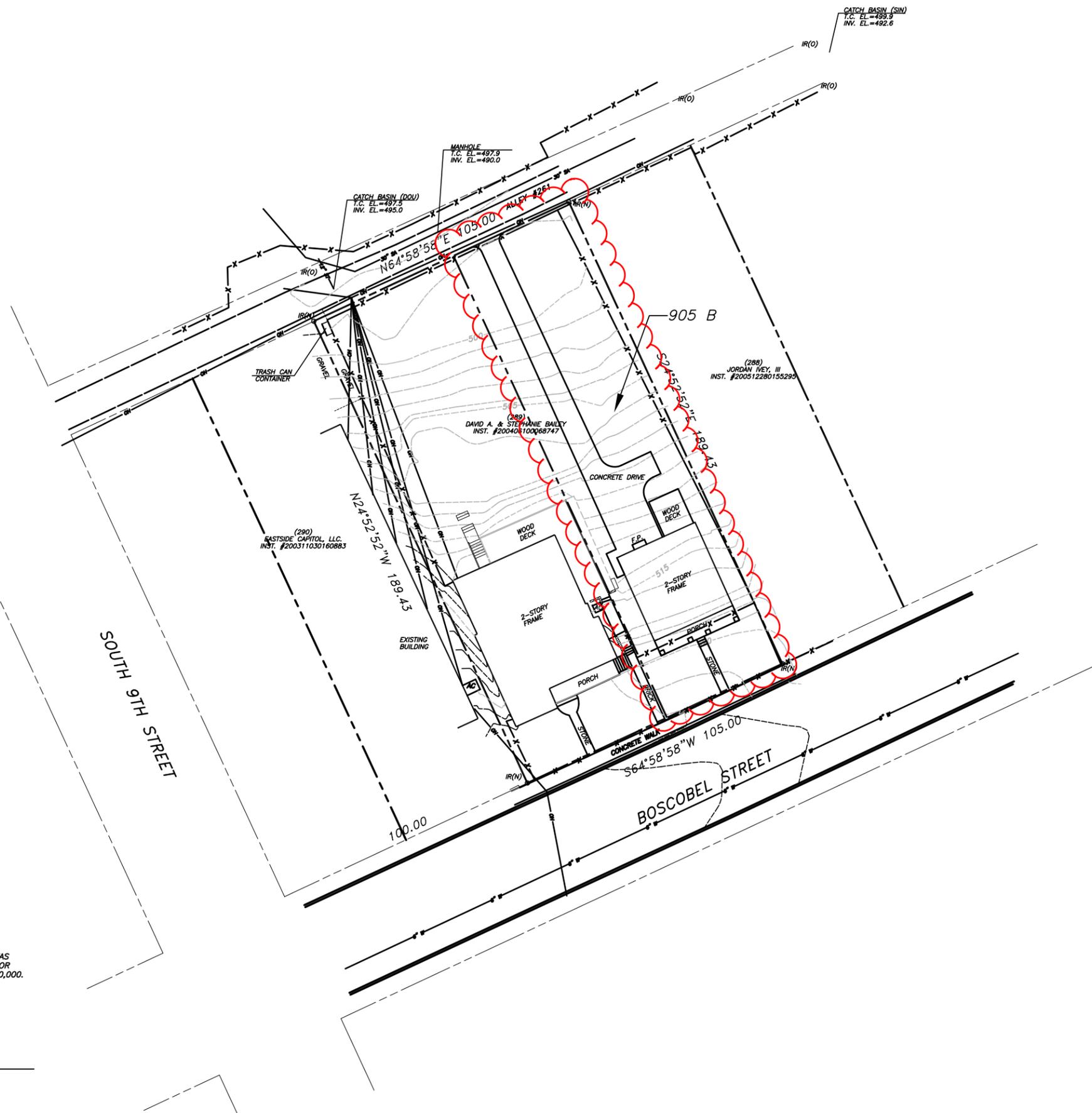
**NOTES**

- 1) THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111.
- 2) PARCEL NUMBERS SHOWN THUS ( ) REFER TO TAX MAP 82-16.
- 3) BY MEANS OF GRAPHIC PLOTTING UPON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, 47037C0217 F, DATED: 04-20-01, IT HAS BEEN DETERMINED THAT THE PARCEL DESCRIBED HEREON DOES NOT LIE WITHIN A FLOOD HAZARD AREA. FLOOD ZONE: X
- 4) THIS SURVEY PREPARED FROM CURRENT DEED OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WILL REVEAL.
- 5) THIS PROPERTY IS CURRENTLY ZONED: R8
- 6) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.



**LEGEND**

WATER VALVE	☒
WATER METER	⊕
FIRE HYDRANT	⊕
GAS METER	⊕
IRON ROD NEW	○ IR(N)
IRON ROD OLD	● IR(O)
SIGN POST	⊙
CATCH BASIN	■
MANHOLE	⊙
UTILITY POLE	⊕
LIGHT POLE	⊕
TREE	⊗
PROPERTY LINE	— — — — —
EDGE OF PAVEMENT	— — — — —
EDGE OF CONC.	— — — — —
WALL	▬▬▬▬▬▬▬▬▬▬
CURB	▬▬▬▬▬▬▬▬▬▬
OVERHEAD	OH ——— OH
WATER LINE	W ——— 6"
SEWER LINE	SA ——— 8"
STORM SEWER/CULVERT	ST ——— 12"
CONTOUR LINE	— — — — — 650
FENCE LINE	X ——— X



**DEED REFERENCE**

INSTRUMENT #200406100068747  
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TN  
 OWNER OF RECORD: DAVID A. AND STEPHANIE BAILEY

**TOTAL AREA**

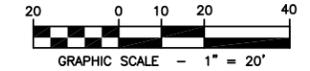
19,890 Sq. Ft. (0.46 ACRES ±)

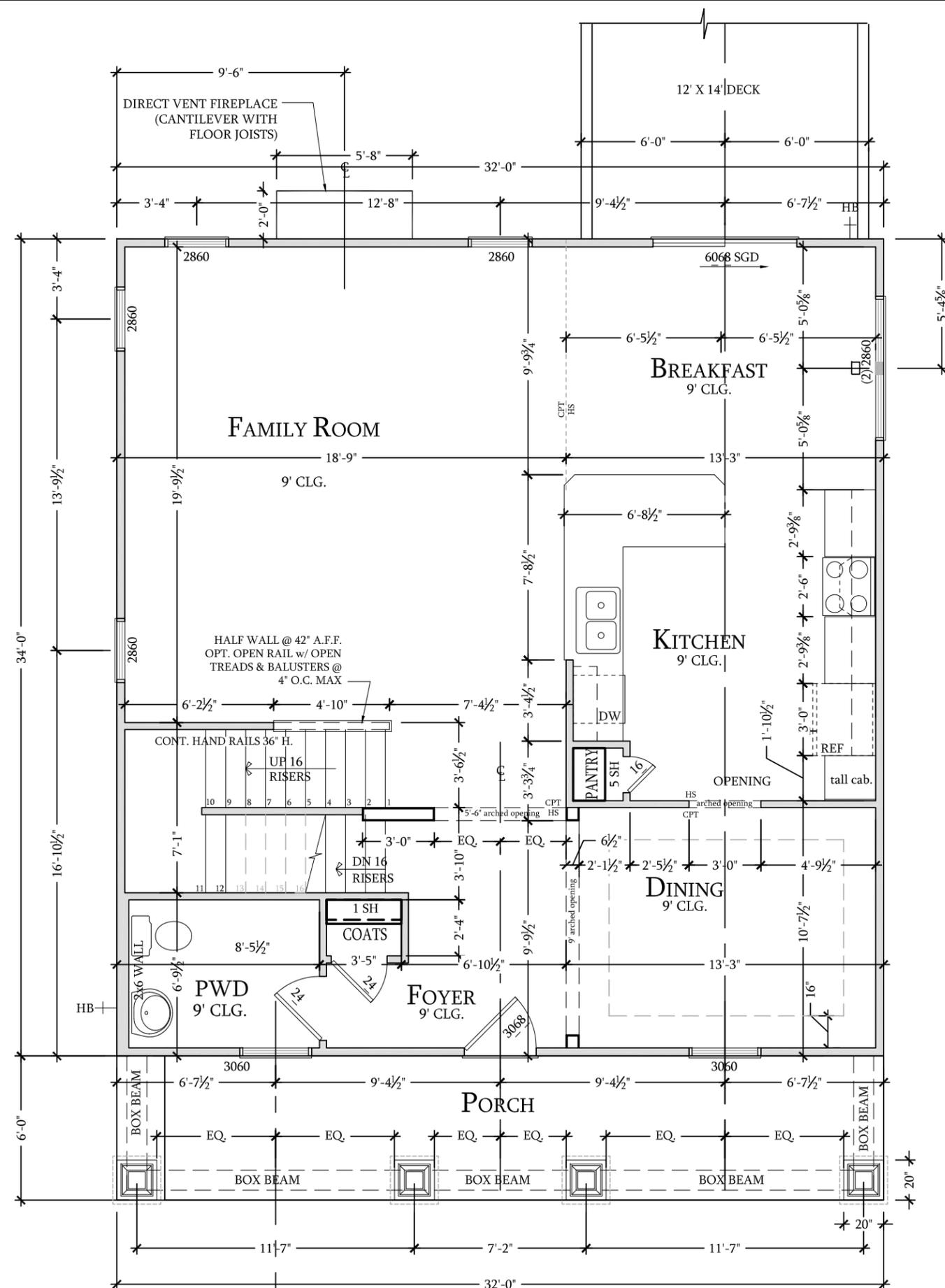
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF PRACTICE FOR SURVEYORS IN TENNESSEE AND THE UNADJUSTED CLOSURE IS AT LEAST 1:10,000.

PREPARED BY:  
 CHERRY LAND SURVEYING  
 622 WEST IRIS  
 NASHVILLE, TN, 37204  
 (615) 269-3972  
 FAX: (615) 269-9345  
 EMAIL: cheryls@comcast.net

BOUNDARY AND TOPOGRAPHIC  
 SURVEY OF  
**905 BOSCOBEL STREET**  
**PARCEL 289**  
**MAP 82-16**

NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 SCALE: 1" = 20' - DATE: JANUARY 03, 2007





DO NOT SCALE DRAWINGS		revisions:	
For Dimensions not shown contact plan coordinator for clarification		date:	revised by:
		3-15-11	FDI

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS.
  - DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
  - GRADE ELEVATIONS MAY VARY DUE TO THE TYPE OF FOUNDATION AND OTHER ON SITE FACTORS.
  - SEE ELEVATION SHEETS FOR WINDOW HEADER HEIGHT.
  - ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.
  - WALL OPENINGS TO BE GYP. BOARD RETURN UNLESS NOTED OTHERWISE.
  - SEE DETAIL SHEET FOR ARCHED & SHEET ROCK OPENING DETAILS.
  - SEE FIRST FLOOR FRAMING AND/OR ROOF FRAMING SHEETS FOR BEAM SIZE/LOCATION AND HEADER SCHEDULE.
  - VERIFY INTERIOR BEARING WALL LOCATION WITH TRUSS ENGINEERING PROVIDED BY TRUSS MANUFACTURER.

**WALL & SYMBOL LEGEND**

	- TYP. FRAME WALL
	- HALF WALL
	- EXTERIOR WALL w/ BRICK VENEER
	- EXTERIOR WALL w/ STONE VENEER

**SQUARE FOOTAGE TABLE**

BASE PLAN	
FIRST FL. LIVING:	1,088 s.f.
SECOND FL. LIVING:	1,088 s.f.
TOTAL LIVING:	2,176 s.f.
FRONT PORCH/COVERED ENTRY:	192 s.f.

**2176 REBECCA**

P.O. Box 91747  
Raleigh, NC 27675  
Phone: (919) 899-9393

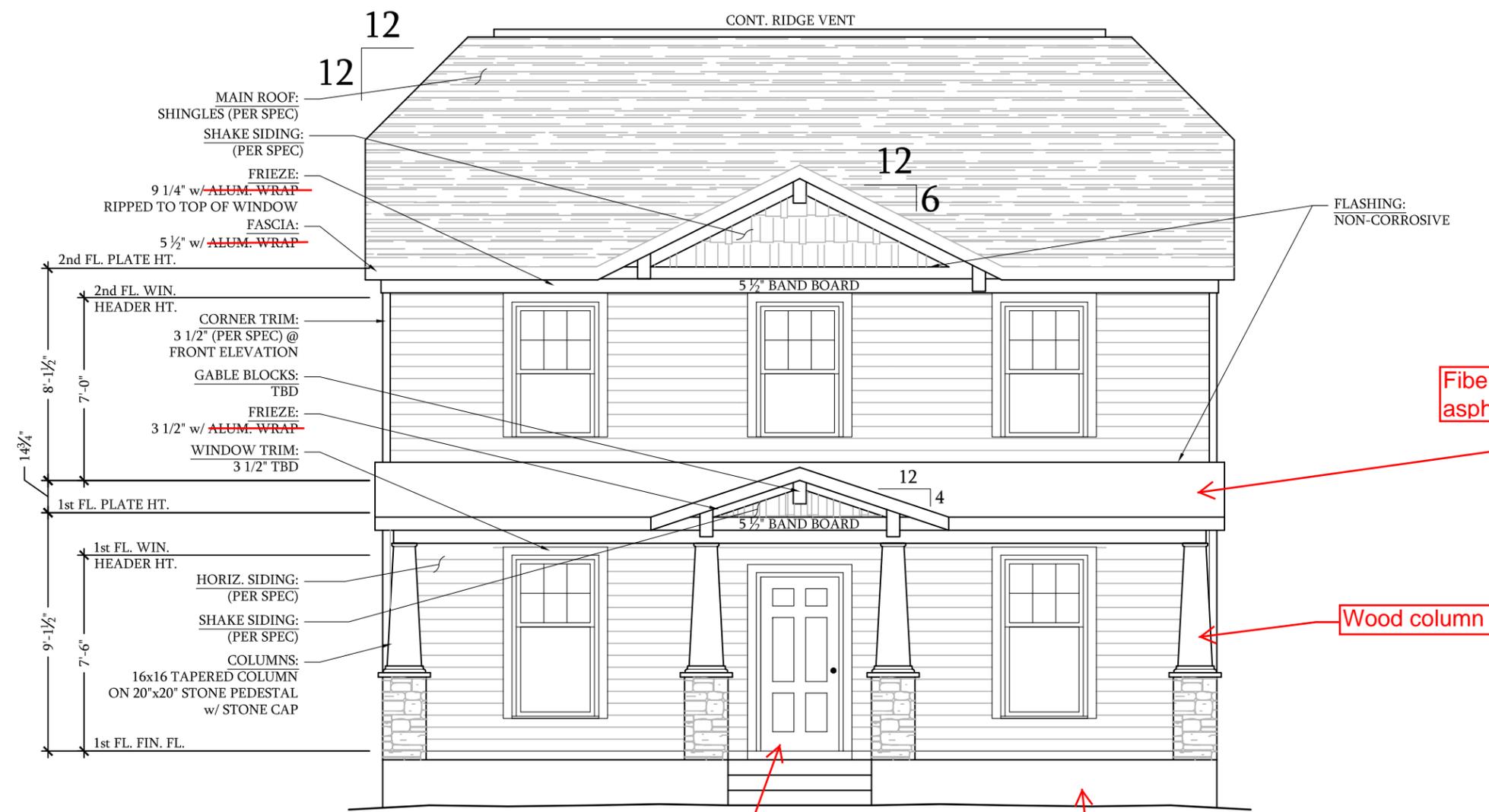
designed by:	-
drawn by:	FDI
checked by:	FDI
date:	07-31-2012

**A-3.0b**  
FIRST FLOOR PLAN

**FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

DO NOT SCALE DRAWINGS		revisions:	
For Dimensions not shown contact plan coordinator for clarification		date:	revised by:
THESE PLANS ARE THE PROPERTY OF CITIZEN HOMES, INC. AND MAY NOT BE REPRODUCED, CHANGED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF CITIZEN HOMES, INC., NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT OBTAINING SAID WRITTEN CONSENT.		3-15-11	FDI

ELEVATION NOTES	
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2. GRADE ELEVATIONS MAY VARY DUE TO THE TYPE OF FOUNDATION AND OTHER ON SITE FACTORS.	
3. CEILING HEIGHTS VARY PER PLAN. SEE FLOOR PLANS FOR CEILING HEIGHT PER ROOM.	
SEE FLOOR PLAN SHEETS FOR SIDE AND REAR WINDOW/DOOR SIZE AND LOCATIONS	



Fiberglass asphalt shingle

Wood column

Fiberglass door to be approved by staff

Parged concrete block, concrete slab floor.

FRONT ELEVATION "B"  
SCALE: 3/16"=1'-0"

**2176 REBECCA**

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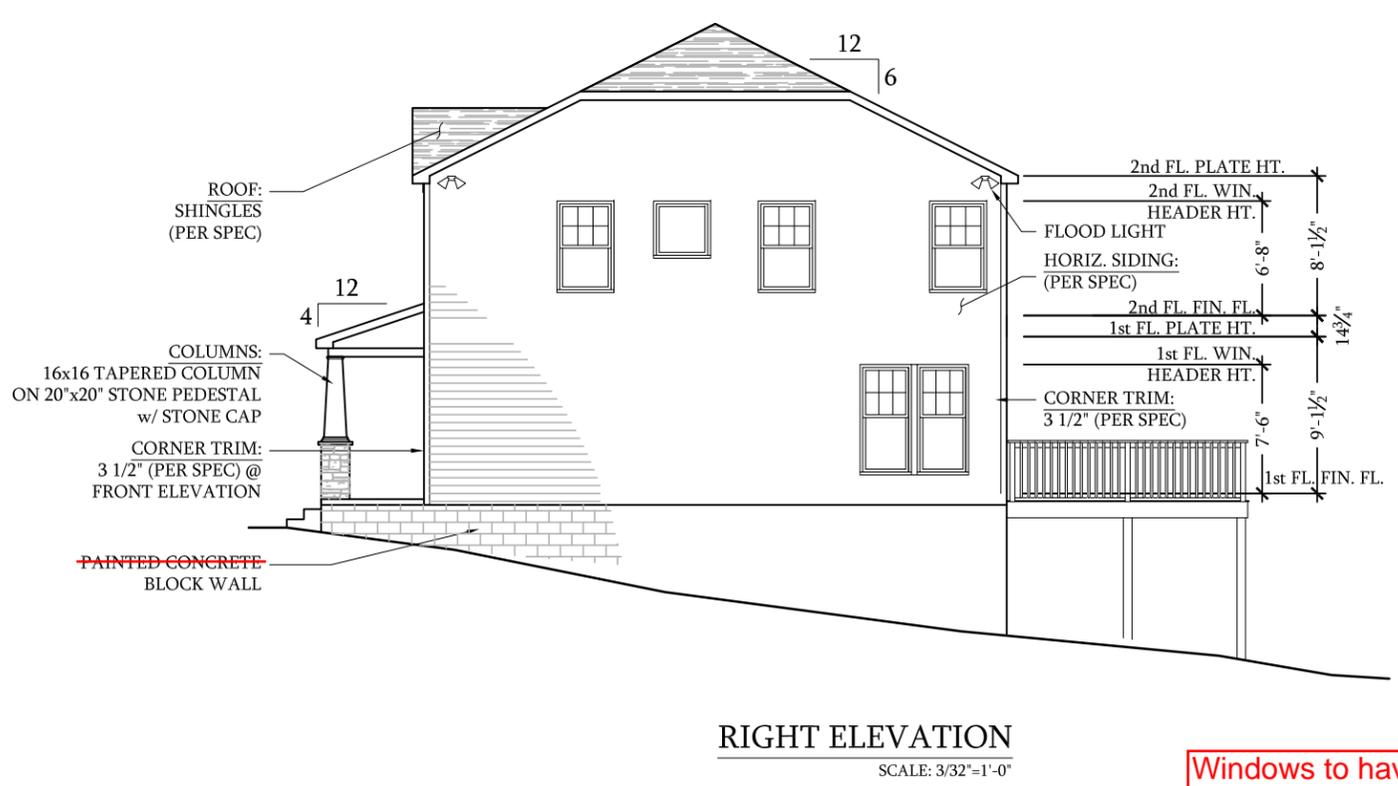
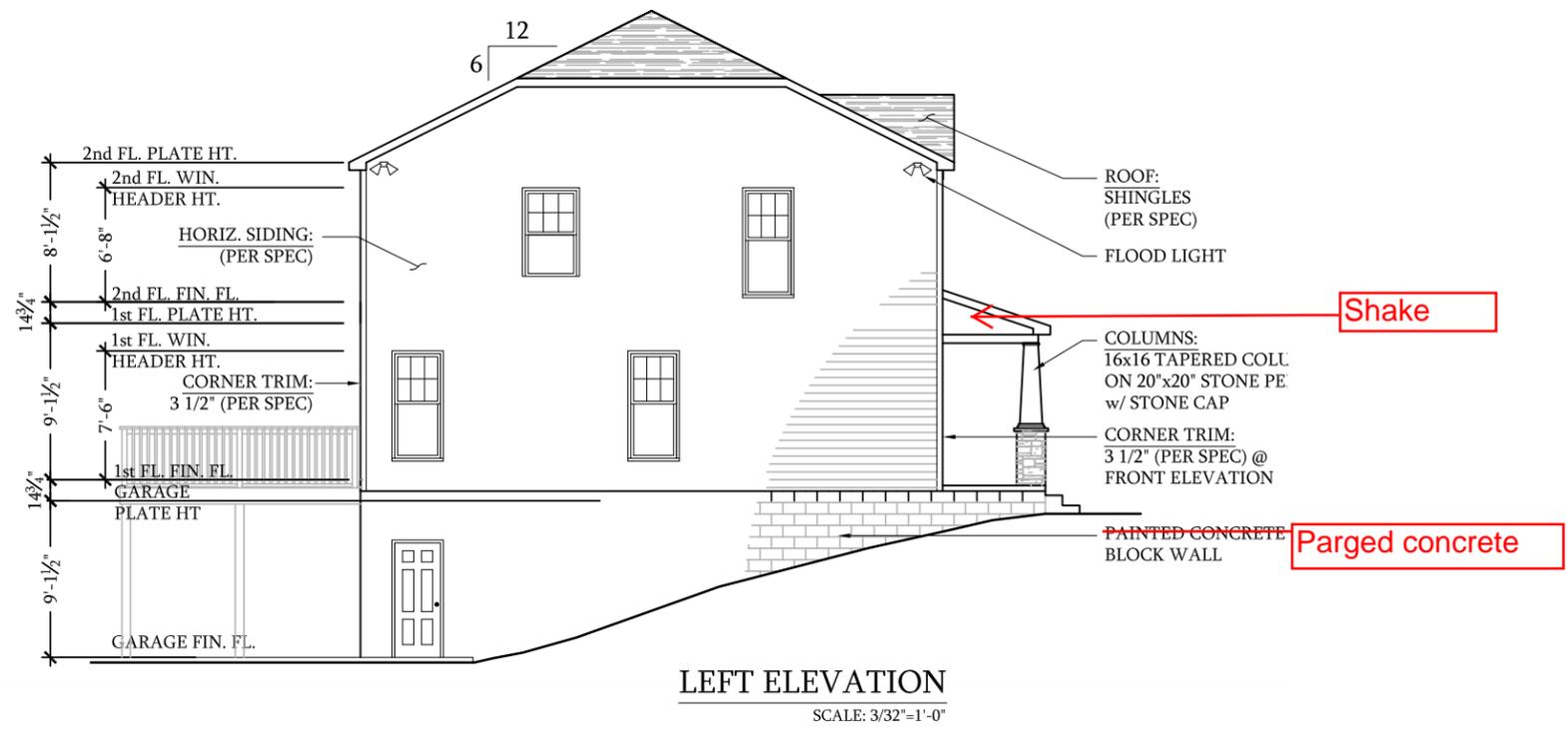
designed by:	-
drawn by:	FDI
checked by:	FDI
date:	07-31-2012
<b>A-6.0b</b>	
EXTERIOR ELEVATION "B"	

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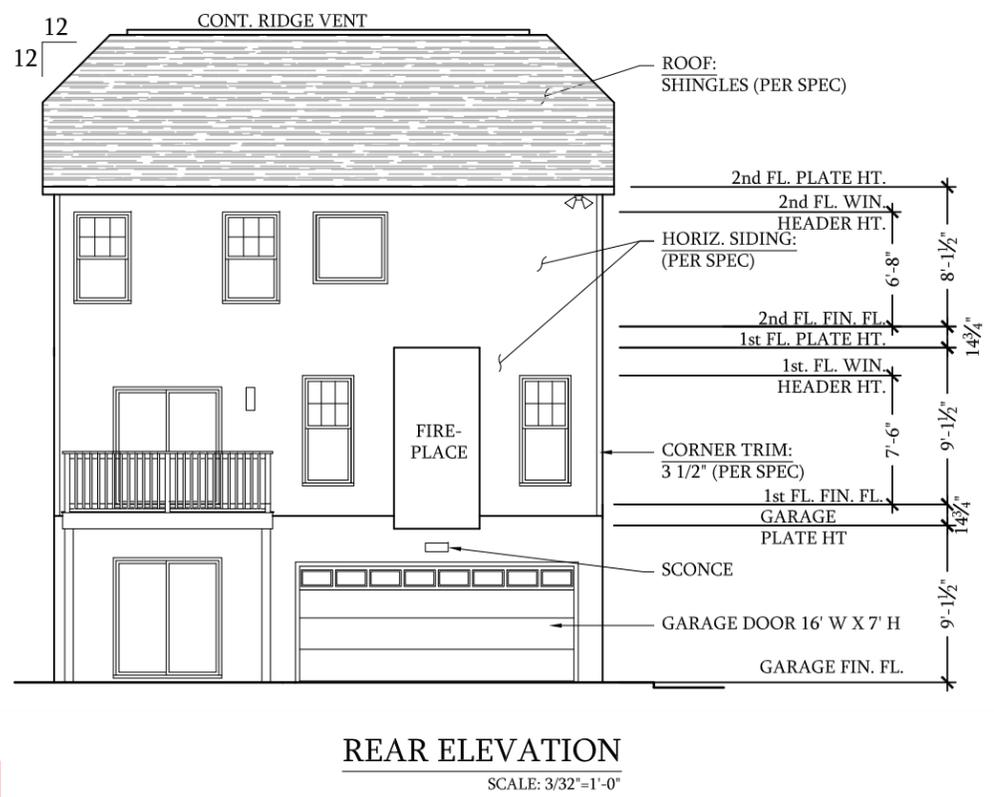
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SEE FLOOR PLAN SHEETS FOR SIDE AND REAR WINDOW/DOOR SIZE AND LOCATIONS



Windows to have 4" trim casing



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designed by:	-
drawn by:	FDI
checked by:	FDI
date:	07-31-2012

**A-6.1b**  
EXTERIOR ELEVATION "B"