



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF MEMORANDUM
119 Blackburn Avenue
June 20, 2012

Application: Amend previously-approved application for addition.
District: Belle Meade Links Triangle Neighborhood Conservation Zoning Overlay
Council District: 23
Map and Parcel Number: 13001018100
Applicant: James Fentress, Architect
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: The applicant is proposing to alter a project approved by the Metro Historic Zoning Commission in May 2012. The applicant requests extending a portion of the approved rear addition one foot, four inches (1'4") beyond the left sidewall of the house.</p> <p>Recommendation Summary: Staff recommends approval of the amended project with the conditions that a new site plan be submitted showing the left side extension and that a new set of drawings be submitted for final review that are to scale and printed on 11 X 17 paper.</p> <p>With these conditions, staff finds that it meets II.B.1. and II.B.2. of the <i>Belle Meade Links Triangle Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

2. Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Rear additions wider than existing building

- *Rear additions that are wider than or equal in width to an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Side Additions

- *When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.*
- *Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*
- *To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

Background: 119 Blackburn Avenue is a c. 1930s house that contributes to the Belle Meade Links Triangle Neighborhood Conservation Zoning Overlay (see photo below).



119 Blackburn, front façade.

In May 2012, the applicant submitted a proposal for a one-and-a-half story addition that would be larger in height, width, depth, and footprint than the historic house. At that time, staff had concerns about the width of the addition. The rear addition, after an inset fourteen-foot (14') deep alcove, extended three feet, five inches (3'5") beyond the left sidewall of the house for a depth of fourteen feet, eight inches (14'8"). After that point, it then stepped in to extend one foot, eight inches (1'8") beyond the sidewall of the historic house for the remaining depth of twenty-three feet, four inches (23'4"). Staff recommended that this width did not meet the design guidelines.

The Commission voted in May 2012 to approve the application with the following conditions:

1. The addition be reduced in width so that it does not extend beyond the sidewalls of the existing house;
2. Staff review and approve the siding material and reveal, the foundation material, a brick sample, the roof material and color, and all window and doors specification prior to the purchase and installation of these materials; and
3. The applicant submit a roof plan indicating the roof pitches so that staff may confirm the appropriateness of the roof forms.

Current Proposal

Subsequent to the meeting, the applicant returned to staff with revised drawings that met most of the conditions of the Commission's approval. The one exception was that the applicant is now asking the Commission to consider allowing the rear addition to extend one foot, four inches (1'4") beyond the left sidewall of the house for a length of fourteen feet, eight inches (14'8"). This extra width will not occur until approximately seventy-seven feet (77') behind the front wall of the house, or thirty-five feet (35') behind the back wall of the house.

Staff believes that this bump out is appropriate and meets the design guidelines in this instance because the extension is relatively modest in scale at only one foot, four inches (1'4") wide and fourteen feet, eight inches (14'8") deep and will amount to less than twenty square feet (20 sq. ft.) of additional space. Moreover, this wider portion of the addition is situated so far back from the front wall of the house that it will not be easily perceived from the street.

Recommendation

Staff recommends approval of the amended project with the conditions that a new site plan be submitted showing the left side extension and that a new set of drawings be submitted for final review that are to scale and printed on 11 X 17 paper. With these conditions, staff finds that it meets II.B.1. and II.B.2. of the *Belle Meade Links Triangle Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Additional Photos:



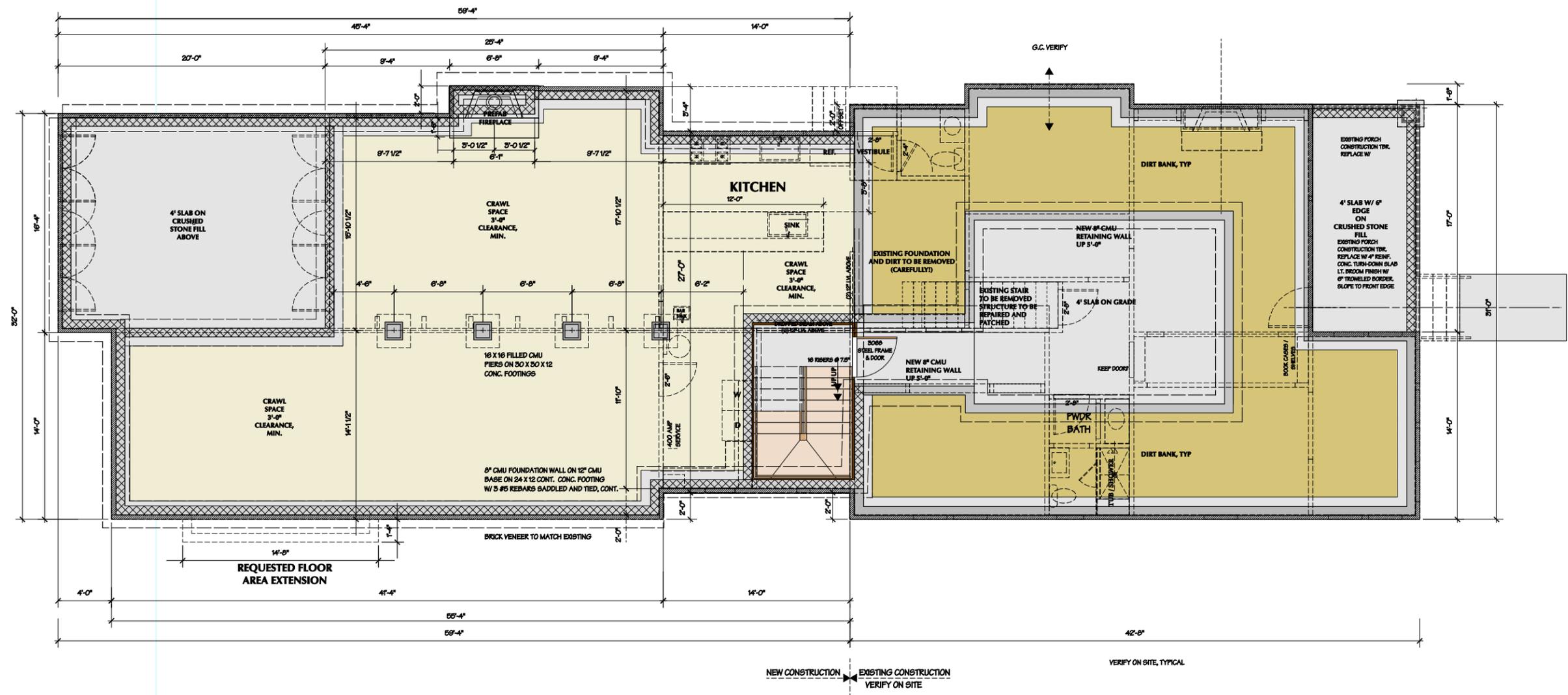
Left façade.



Rear yard.



Rear façade and yard.



Foundation Plan

0 1 2 4 6 10
PIERS AND GIRDERS NOT YET SHOWN
NEW FLOOR AREA 1205sf

- LEGEND**
- CMU W/ BRICK VENEER
 - 3 1/2" STUD (new)
 - DIRT BANK
 - CRAWL SPACE
 - CONCRETE

Seal

MHZC Approval 6/5/12
Preliminary / DD Pricing
Notes/Revisions

Key Plan

BLACKBURN AVENUE RESIDENCE

119 Blackburn Ave.
Nashville, Tennessee

Approved for the Owner
Date

Approved for the Owner
Date

Job No. _____
Issue Date _____
Drawn by JVF
Checked by JVF

FOUNDATION PLAN

Scale 1/4" = 1'-0"
0 1 2 4 8

A-0.1

Seal

MHZC 6.6.12
Preliminary / DD Pricing
Notes/Revisions

Key Plan

**BLACKBURN
AVENUE
RESIDENCE**

119 Blackburn Ave.
Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

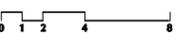
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Drawn by JVF

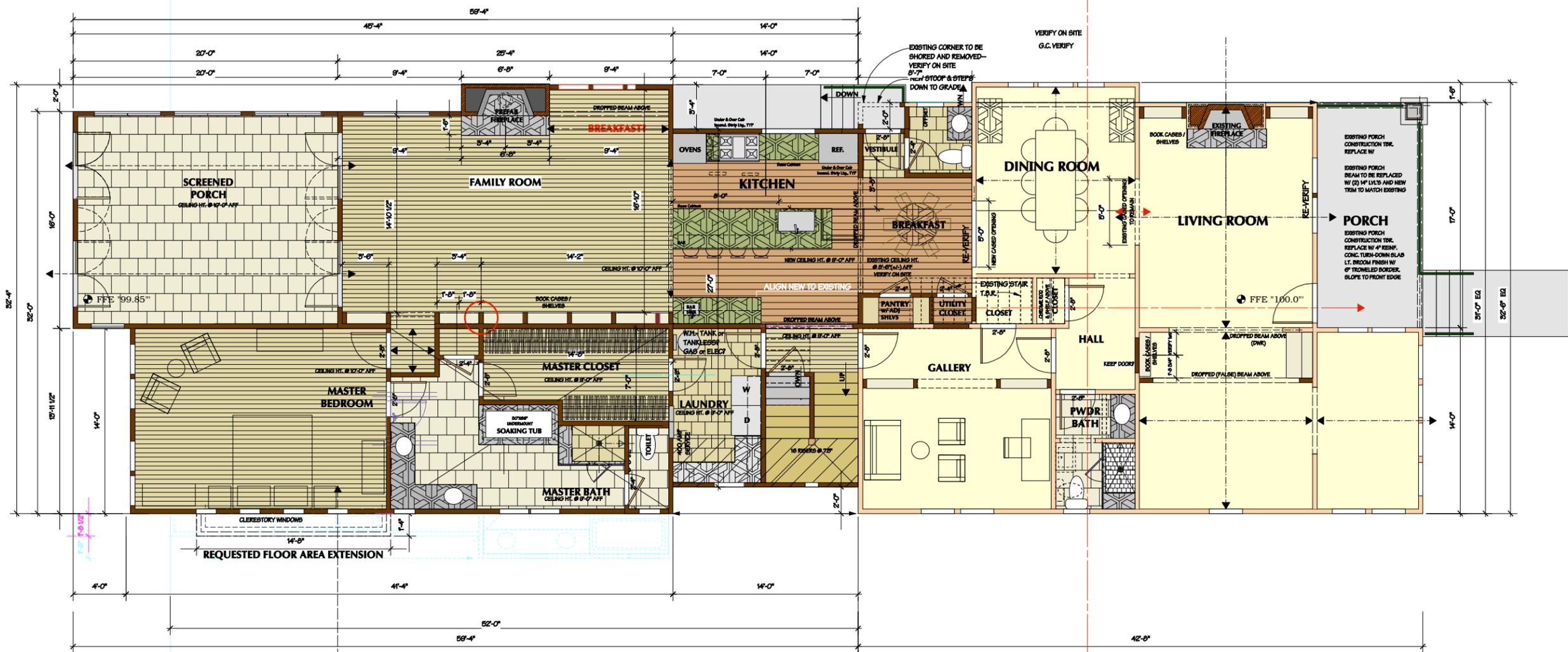
Checked by JVF

**MAIN LEVEL
FLOOR PLAN**

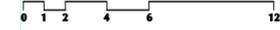
Scale 1/4" = 1'-0"



A-1.0



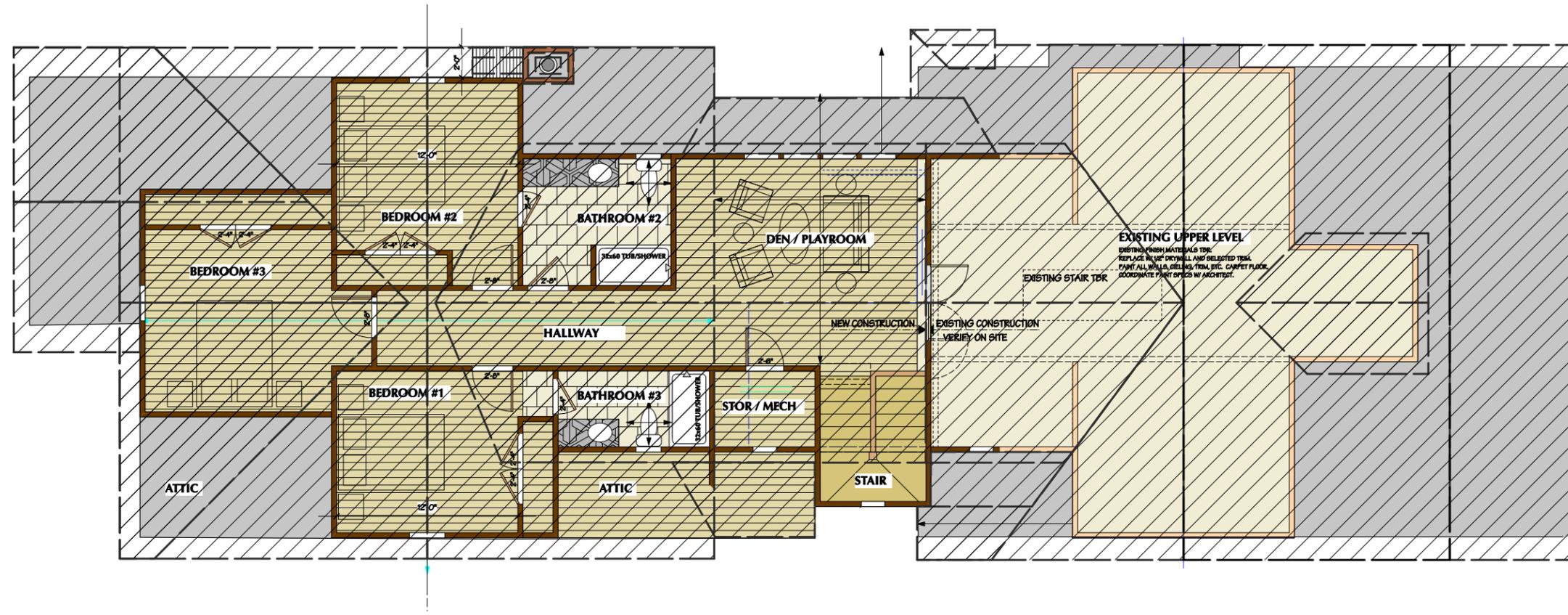
Main Level



EXISTING FLOOR AREA 1205sf
NEW FLOOR AREA 1407sf
NEW SCREENED PORCH 330sf

LEGEND

- 6" CMU W/ BRICK VENEER
- 3 1/2" STUD (existing)
- 3 1/2" STUD (new)
- EXISTING CONSTRUCTION TBR
- HARDWOOD #1 (match existing)
- HARDWOOD #2
- TILE #1
- TILE #2
- EXISTING FLOOR TO BE REFINISHED



Upper Level Plan w/ roof plan

0 1 2 4 6 12
 EXISTING FLOOR AREA 720sf
 NEW FLOOR AREA 1030sf

- LEGEND**
- 8" CMU W/ BRICK VENEER
 - 3 1/2" STUD (existing)
 - 3 1/2" STUD (new)
 - EXISTING CONSTRUCTION TBR
 - HARDWOOD #1 (match existing)
 - HARDWOOD #2
 - TILE #1
 - TILE #2
 - EXISTING FLOOR TO BE REFINISHED

Seal

MHZC 6.6.12
 Preliminary / DD Pricing
 Plans/Revisions

Key Plan

BLACKBURN AVENUE RESIDENCE

119 Blackburn Ave.
 Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

Issue Date

Drawn by JVF

Checked by JVF

UPPER LEVEL FLOOR PLAN

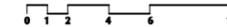
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0 1 2 4 6

A-1.1



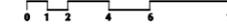
FRONT ELEVATION



MAP WINDOWS TO PLANS



REAR ELEVATION



Seal

MHZC 6.6.12
Preliminary / DD Pricing
Plans/Revisions

Key Plan

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Date

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Job No.

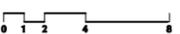
Issue Date

Drawn by JVF

Checked by JVF

FRONT & REAR ELEVATIONS

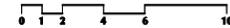
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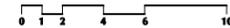
A-2.2



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



EXISTING FLOOR AREA 1205sf

Seal

MH2C 6.6.12
Preliminary / DD Pricing
Plans/Revisions

Key Plan

BLACKBURN AVENUE RESIDENCE

119 Blackburn Ave.
Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

Issue Date

Drawn by JVF

Checked by JVF

SIDE ELEVATIONS

Scale 1/4" = 1'-0"

