



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1808 Ordway Place June 20, 2012

Application: Appeal of Violation
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08310023800
Applicant: Lynn Taylor
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

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| <p>Description of Project: Request to keep construction done in violation of permit #2012-00006, January 19, 2012.</p> <p>Recommendation Summary: Staff recommends disapproval of the request to keep the bricked in windows as the construction is different than what was permitted and the action, rather than making the non-contributing building fit into the historic context better, does the opposite, by creating a blank wall and disrupting the rhythm of openings. Staff finds that the request does not meet permit 2012-00006 and does not meet II.B.7 of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p> | <p>Attachments A: MHZC Permit #2012-00006</p> |
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

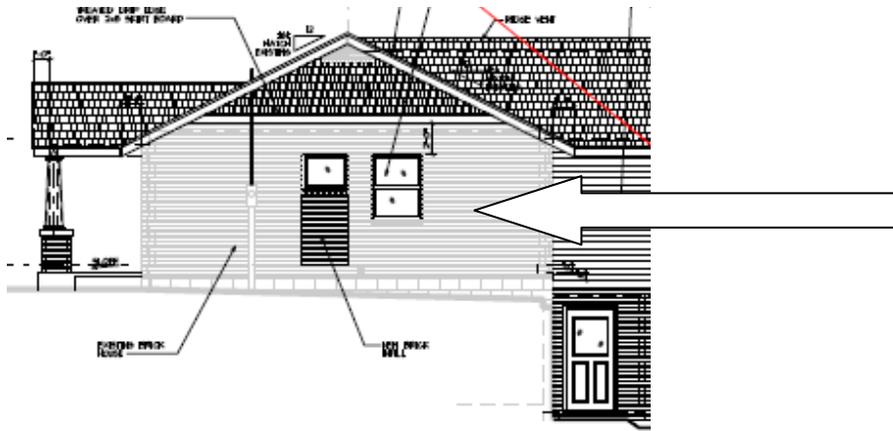
Brick molding is required around doors, windows and vents within masonry walls.

Additions should following all New Construction guidelines.

Background: 1808 Ordway Place is a one-story brick structure constructed c. 1950. Based on the building's age and lack of architectural style and integrity, the building is non-contributing to the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Analysis and Findings:

On January 18, 2012 the Commission approved a rear addition, a new front porch and alterations to the existing house. The original application requested keeping the existing right side window and turning the right side door into a window. Staff recommended approval since this was appropriate alteration for a non-contributing house and kept a window pattern that was consistent with historic buildings. The Commission agreed and a permit was issued.



Partial drawing from application and permit.

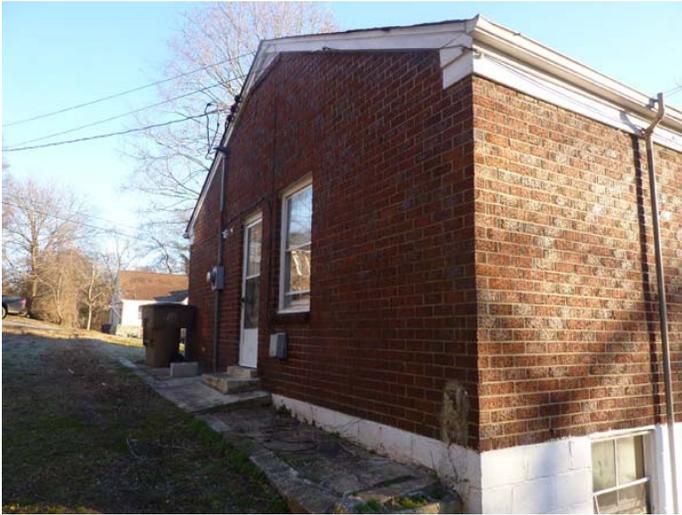
On May 30, 2012, on a regular inspection of the neighborhood, staff discovered that vinyl windows with snap-in muntins had been installed, the porch rack had been shingled over, front windows had been installed that were significantly smaller than the opening, and that two side windows had been completely bricked in, all in violation of the issued permit.

The applicant was immediately informed and they agreed to remove the windows, apply for windows of appropriate material and dimensions and correct the shingles but asked to come before the Commission to request keeping the bricked-in windows.

Staff recommends disapproval of the request to keep the bricked in windows as the construction is different than what was permitted and the action, rather than making the non-contributing building fit into the historic context better, does the opposite, by creating a blank wall and disrupting the rhythm of openings. Staff finds that the request does not meet permit 2012-00006 and does not meet II.B.7 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



1808 Ordway Place, front façade before and after.



1808 Ordway Place, right side before and after.



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970

histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 201200006

Entered on: 05-JAN-2012

IVR PERMIT TRACKING NUMBER: 1856700

Site Address

1808 Ordway PI, NASHVILLE, TN 37206

Parcel: 08310023800

PT LOT 7 BATSON & WILLIAMS

Parcel Owner

COOPER, MILTON & VOORHIES, VANCEY M.

Purpose:

DESCRIPTION

- Construct new front porch and rear addition.

FOUNDATION

- Foundation walls shall be inset from the existing structure as noted on the Site Plan.
- Exterior foundation material shall be brick or split-face block.
- Foundation height shall match the existing house.

STRUCTURE

- Primary eave height shall be below the eave of the existing house and shall be approximately 18'.
- Primary ridge height shall match or be below the ridge of the existing house and shall be approximately 24'9".

ROOFING

- Roofing material shall be asphalt composite shingles.
- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall be wood or aluminum clad with single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation.
- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.
- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.
- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

- THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

Contractor:

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Applicant: LYNN TAYLOR

Activities to be Completed – call (615) 862-7970:

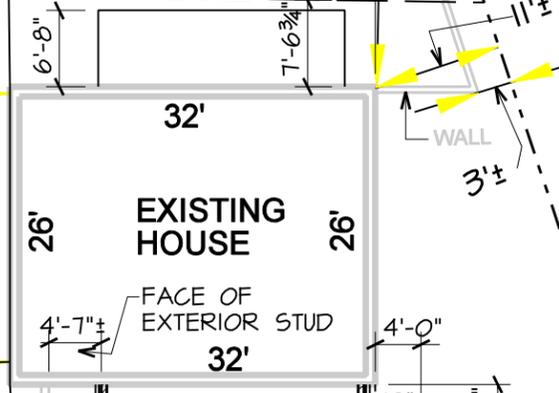
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|--|----|------------|
| SETBACK REQUIRED (Y/N): | NO | 01/05/2012 |
| FIELD STAKING: | | |
| FOUNDATION CHECK: | | |
| ROUGH FRAMING INSPECTION: | | |
| ROOFING COLOR APPROVAL PRIOR TO INSTALL: | | |
| WINDOW APPROVAL PRIOR TO INSTALL: | | |
| BRICK APPROVAL PRIOR TO INSTALLATION: | | |

Issue Date: January 19, 2012 Issued By: MELISSA BALDOCK

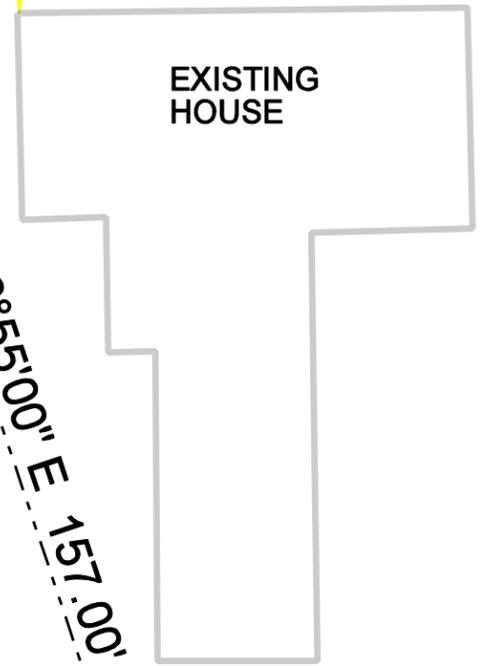
S 87°15'00" E 46.60'



EXISTING HOUSE



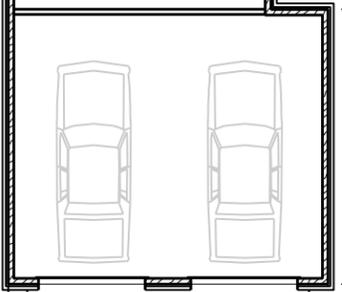
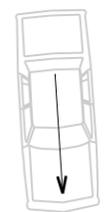
EXISTING HOUSE



EXISTING HOUSE

S 00°03'48" W 152.88'

S 16°55'00" E 157.00'



CONCRETE DRIVE

10' PUBLIC UTIL. ESMT.

N 89°45'00" E 92.40'

MHZC Note: Applicant to call the MHZC office (862-7970) for inspections at the following points: 1. Once the new addition footprint has been staked 2. Once the foundation wall has been constructed 3. Once the rough framing has been completed.

SITE PLAN

SCALE: 1/16" = 1'-0"

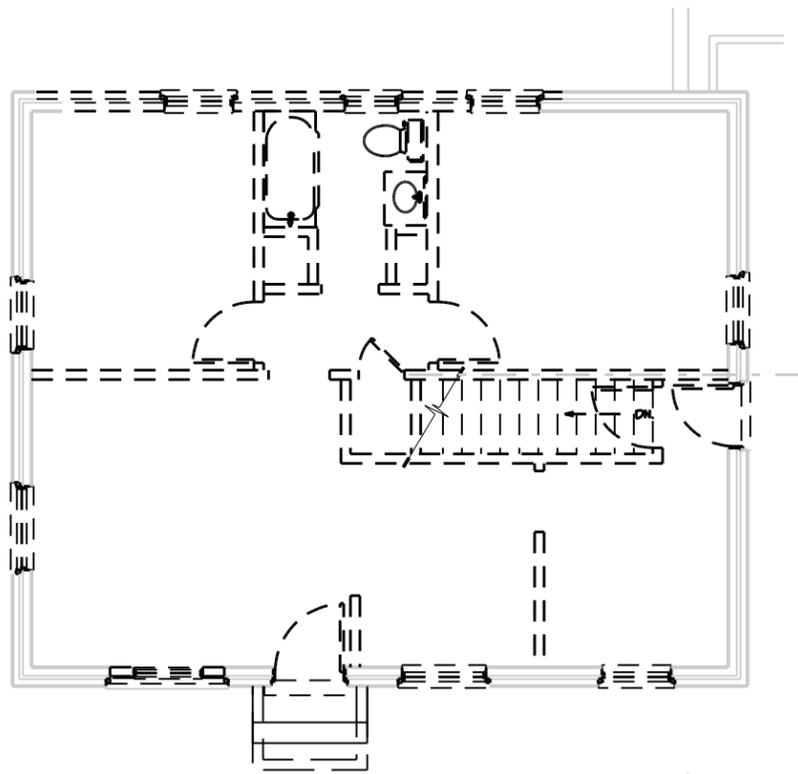
THIS SITE PLAN IS FOR LOCATING THE NEW ADDITION, HOUSE AND / OR GARAGE ON THE PROPERTY. SEE ORIGINAL SURVEY FOR ALL OTHER INFORMATION.

1808 Ordway Place
Nashville, TN 37206

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WALL LEGEND

EXISTING ITEMS
TO REMAIN

DEMOLITION

NEW CONSTRUCTION

**DEMOLITION
FIRST FLOOR PLAN**

SCALE: $\frac{1}{8}$ " = 1'-0"

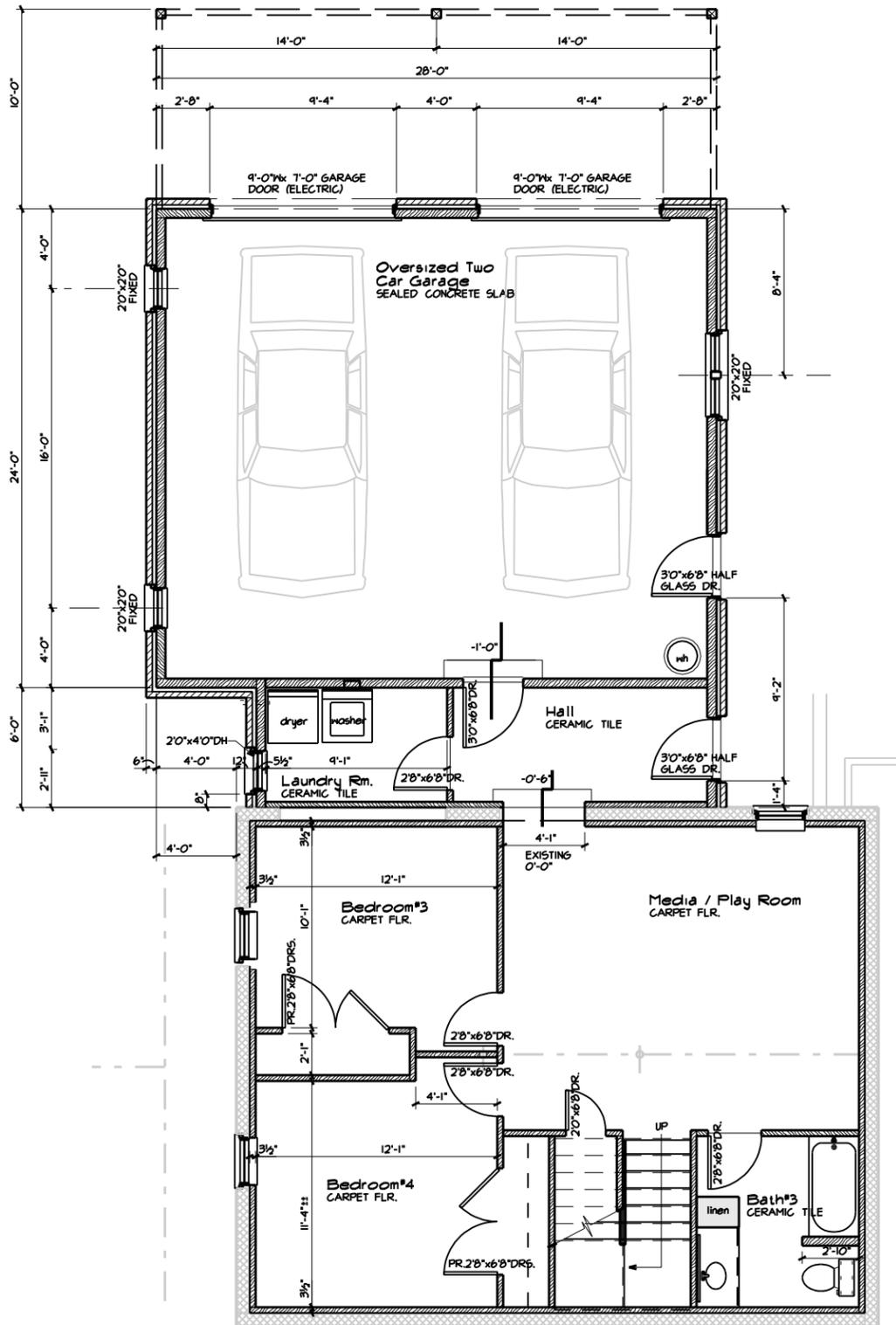
TAYLOR
MadePlans, LLC
phone: 615-650-8956
www.taylormadeplans.com

MHZC Note:

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1808 Ordway Place
Nashville, TN 37206



WALL LEGEND

| | |
|--------------------------|-----------|
| EXISTING ITEMS TO REMAIN | ————— |
| DEMOLITION | - - - - - |
| NEW CONSTRUCTION | ▨▨▨▨▨ |

**NEW CONSTRUCTION
BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"

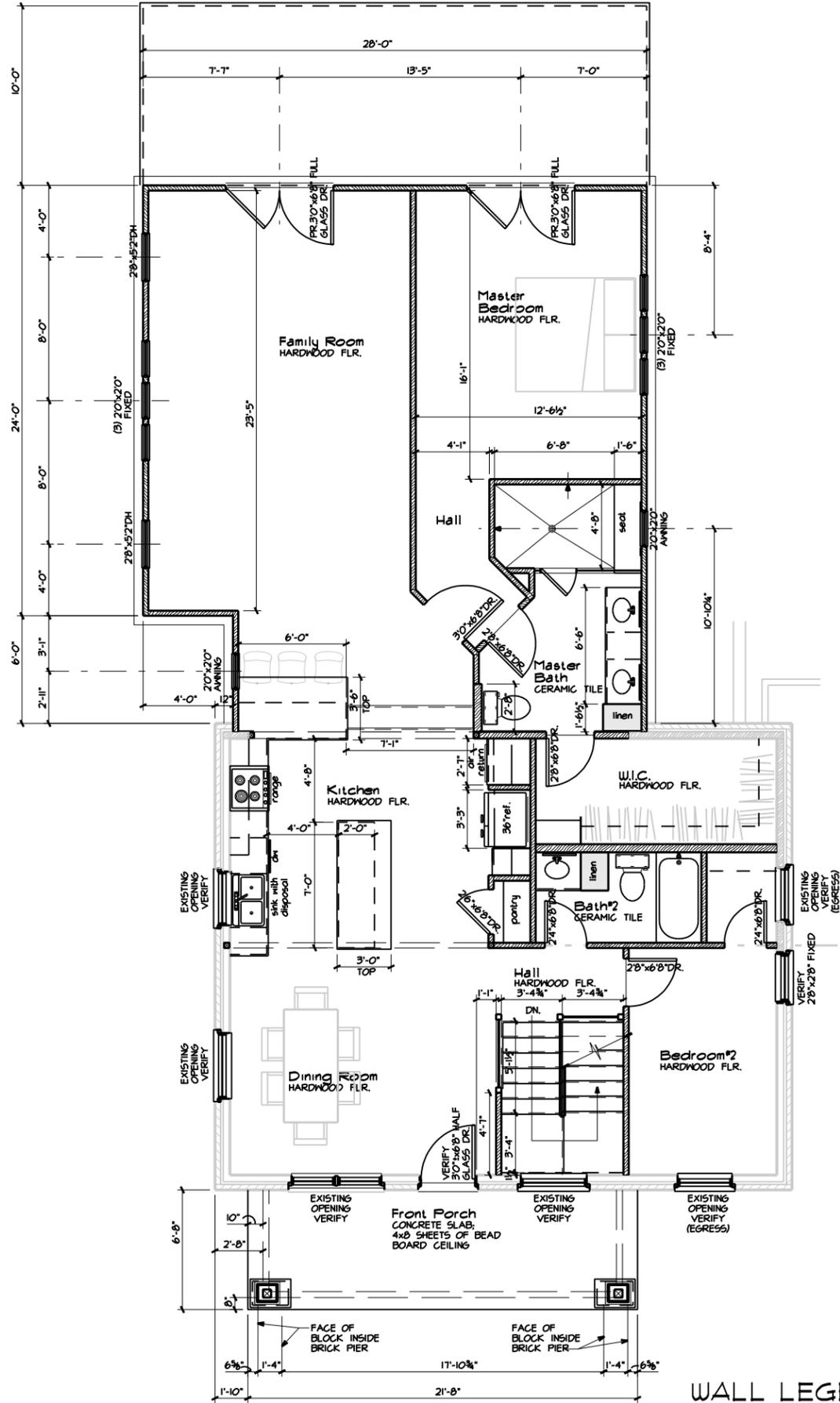
**TAYLOR
Made Plans, LLC**

phone: 615-650-8956

www.taylormadeplans.com

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1808 Ordway Place
 Nashville, TN 37206



NEW CONSTRUCTION FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

TAYLOR
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phone: 615-650-8956

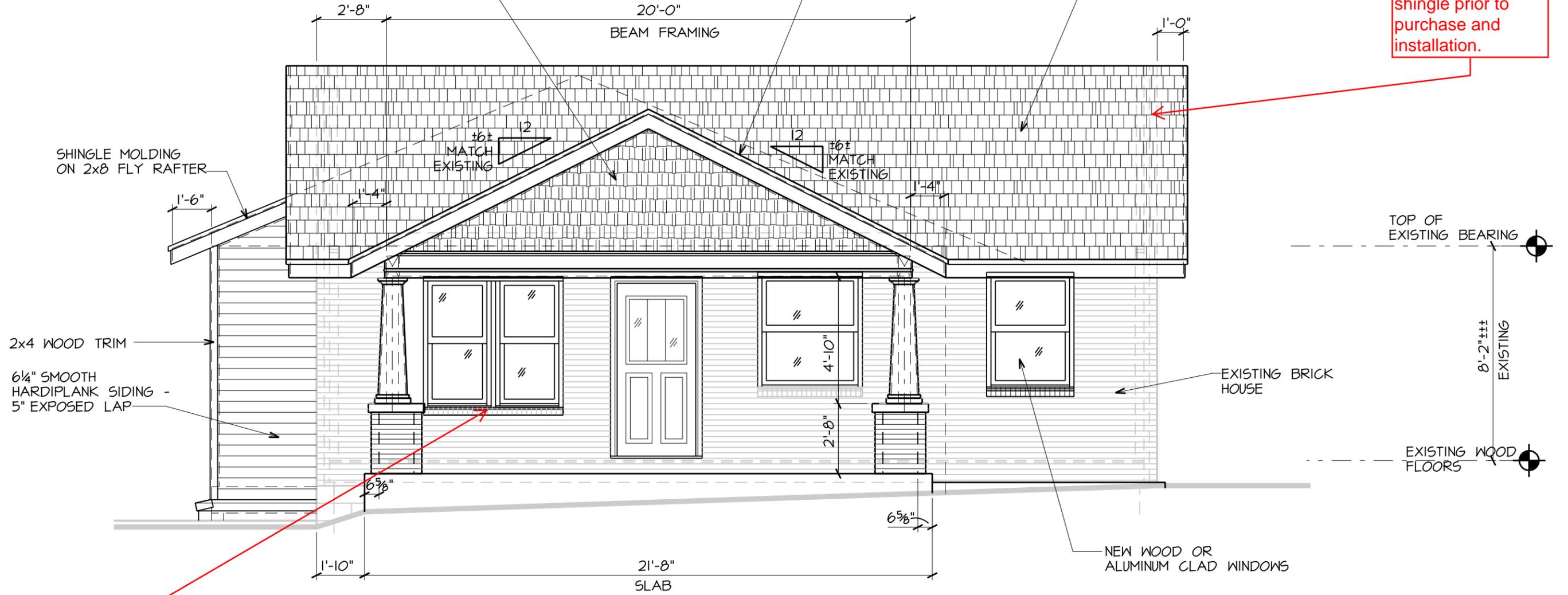
www.taylormadeplans.com

"CEDAR SHAKE" - HARDISHINGLE
 CLADDING STAGGERED-EDGE PANEL
 48" WIDTH x 16" (6" EXPOSURE)
 OR #1 GRADE FX MACHINE SPLIT
 (ROUGH SAWN)

SHINGLE MOLDING
 ON 2x8 FLY RAFTER

ARCHITECTURAL
 DIMENSIONAL SHINGLES

MHZC Note: Staff
 must approve the
 color of the asphalt
 shingle prior to
 purchase and
 installation.



MHZC Note: Staff
 to approve all
 windows and doors
 prior to purchase
 and installation.



FRONT ELEVATION

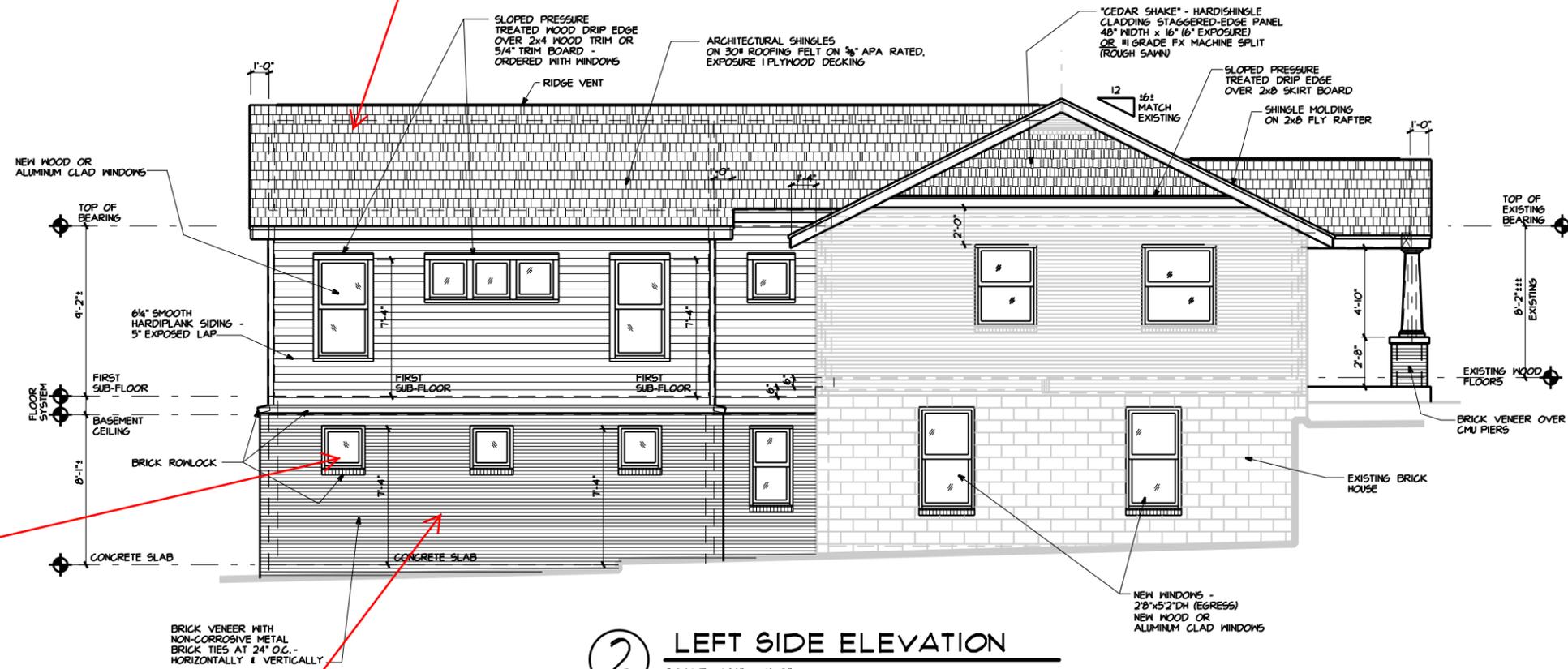
SCALE: 1/4" = 1'-0"

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Made Plans, LLC

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MHZC Note: Staff must approve the color of the asphalt shingle prior to purchase and installation.



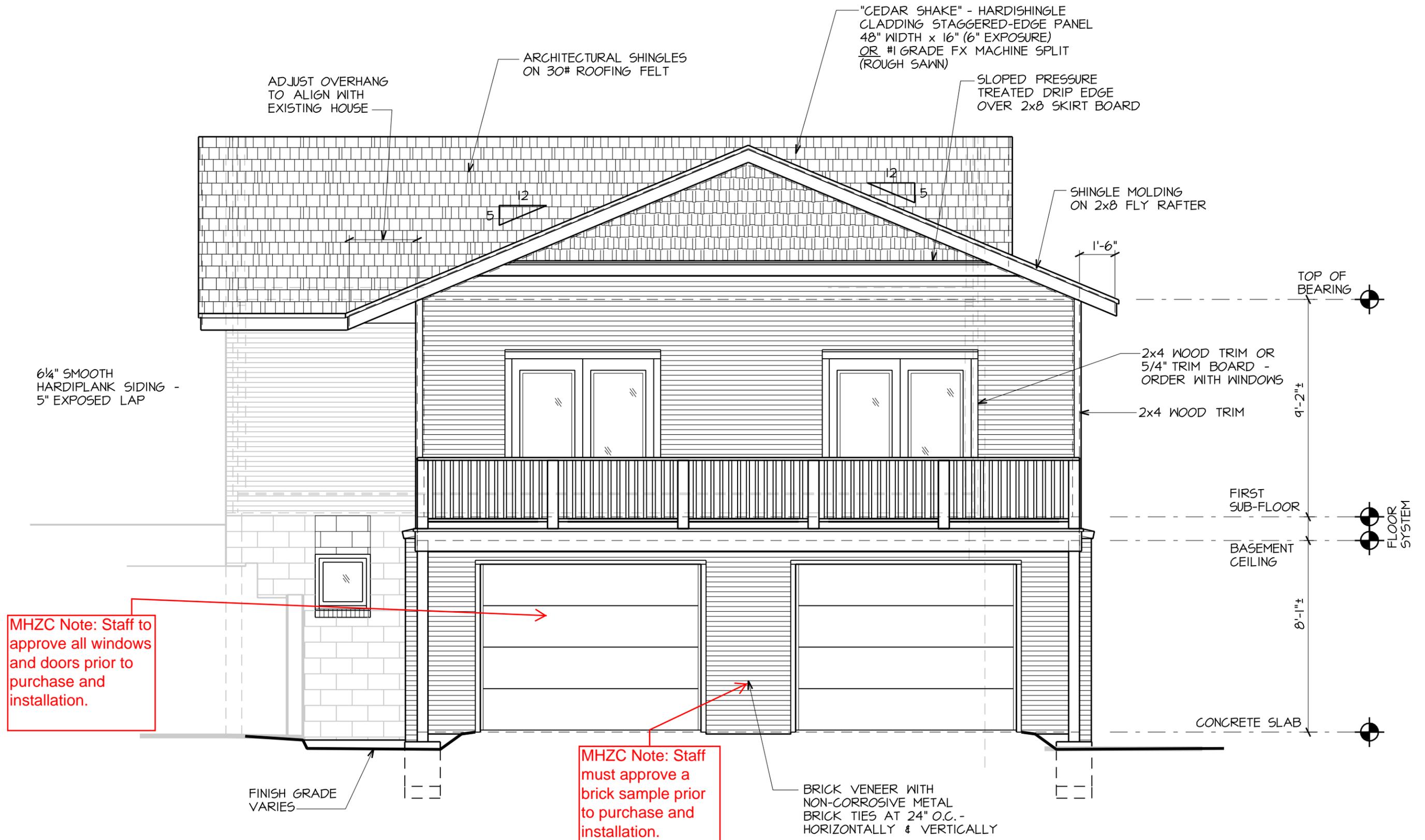
2 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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MHZC Note: Staff to approve all windows and doors prior to purchase and installation.

MHZC Note: Staff must approve a brick sample prior to purchase and installation.

MHZC Note: Scale 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

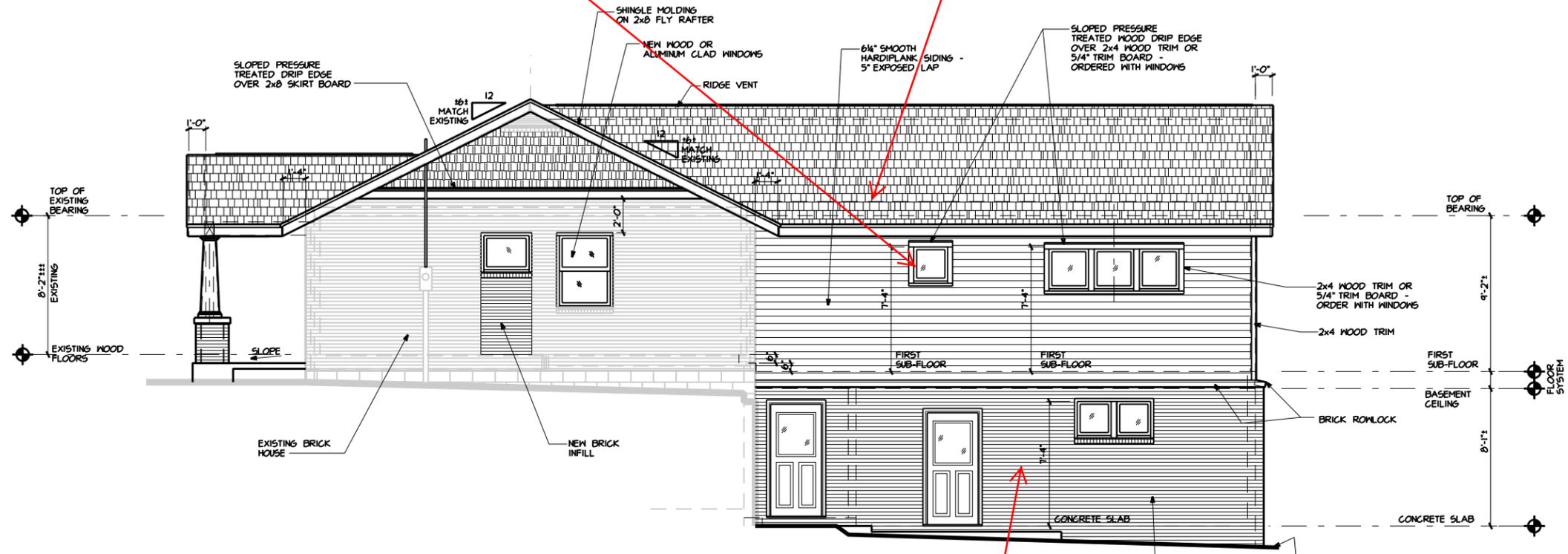
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MHZC Note: Staff must approve the color of the asphalt shingle prior to purchase and installation.



2 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

TAYLOR
Made Plans, LLC

MHZC Note: Scale 1/8"=1'-0"

MHZC Note: Staff must approve a brick sample prior to purchase and installation.