



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**2114 19<sup>th</sup> Avenue South**  
**June 20, 2012**

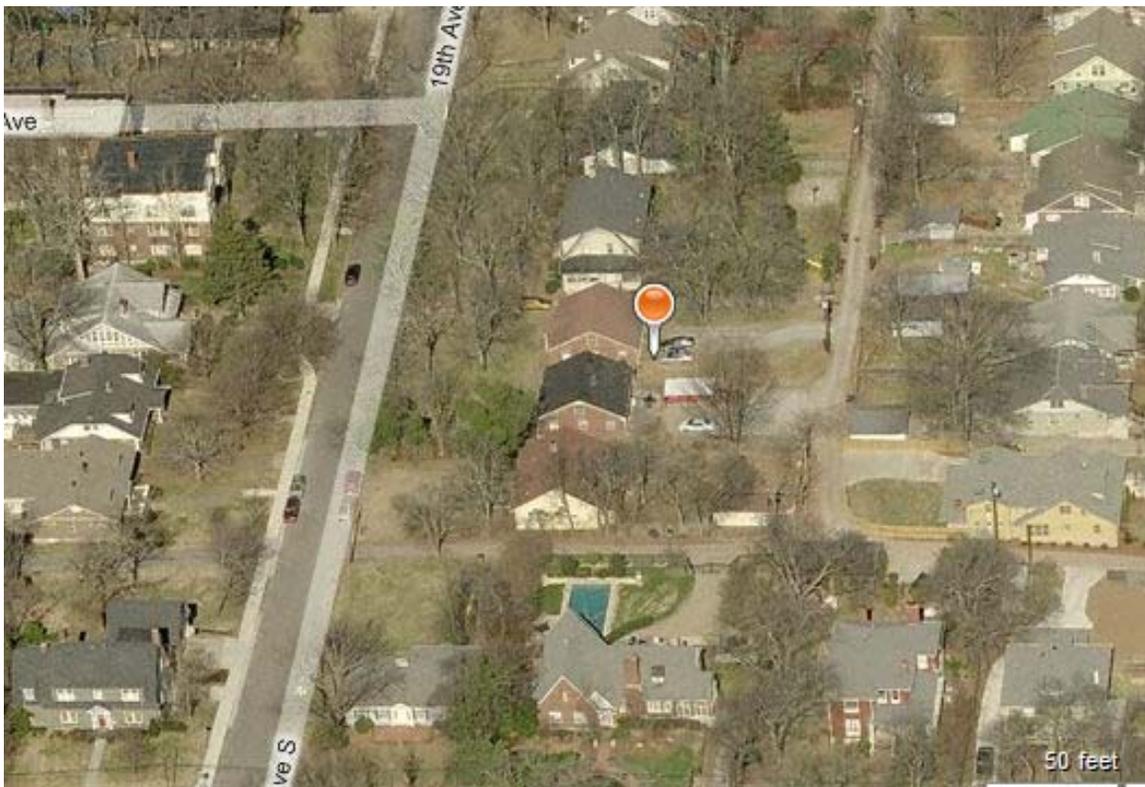
**Application:** New construction-accessory and Setback reduction  
**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Map and Parcel Number:** 10416002500  
**Applicant:** Michael Ward, Allard Ward Architects  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.com

<p><b>Description of Project:</b> Applicant proposes to construct a one- and one-half story accessory building.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the accessory structure at 2114 19<sup>th</sup> Avenue South with the condition that staff review final specifications of windows and doors and the metal roof and that the garage have two separate doors rather than one eighteen foot wide opening. With these conditions met, the project meets the design guidelines for accessory buildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b>  <b>A:</b> Photographs  <b>B:</b> Site Plan  <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



**Background:** 2114 19<sup>th</sup> Avenue South is a partially constructed house approved by the Commission on February 15, 2012. In October 2011, the Commission approved the demolition of a non-contributing building on the lot.

## **Applicable Design Guidelines:**

### **II.B.1 New Construction**

#### **i. Outbuildings**

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

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*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.*

#### *Roof*

- *Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*
- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*
- *The front face of any dormer must be set back at least 2' from the wall of the floor below.*

#### *Windows and Doors*

- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

#### *Siding and Trim*

- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4") (nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4") (nominal) casings are required around doors, windows, and vents within clapboard walls. (Brick molding is not appropriate on non-masonry clad buildings.)*
- *Brick molding is required around doors, windows, and vents within masonry walls.*

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- 1. where they are a typical feature of the neighborhood*
- 2. When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

### **Analysis and Findings:**

**Design:** The accessory building matches the design of the existing house.

**Location:** The garage is located towards the rear of the lot with access from the alley. The accessory building is proposed to be five feet (5') from the rear property line; however, code requires ten feet (10') when the doors face the alley. Historic accessory structures were often located close to or even on the property line. Staff finds the proposed location to be appropriate and recommends approval of the setback reduction.

**Height & Roof:** The height of the garage is proposed to be 24' and 2" from grade. The primary house is 33' tall. Being approximately nine feet (9') shorter than the primary building, the accessory building reads as subordinate. The roof pitch, form and overhang is similar to the existing building.

**Windows and Doors:** The street facing side has a porch with double doors and four windows while the vehicular door is on the alley side; however, the building will be minimally visible from the public right-of-way.

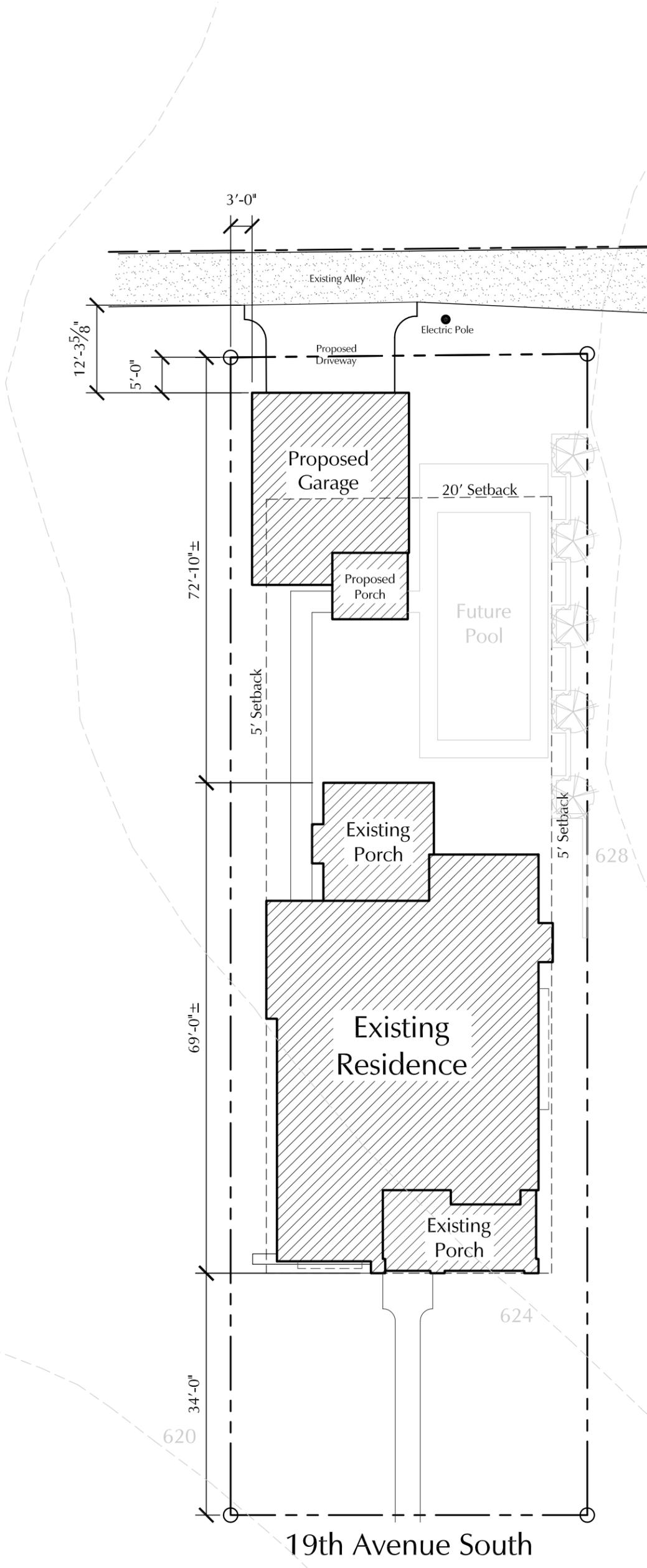
**Materials:** The materials of the garage match the existing house. The drawings call out the siding as cement fiber lap siding with a five inch (5") reveal; however, it will be wood with an alternating five inch and two inch (5" and 2") reveal and mitered corners. The roofing material will be asphalt shingle and metal. The vehicular door will be paneled aluminum. The material of the pedestrian door and the color of the roof is unknown. The windows will be wood. Staff recommends final review of windows and doors and the color of the metal roof.

Staff recommends approval of the accessory structure at 2114 19<sup>th</sup> Avenue South with the condition that staff review final specifications of windows and doors and the metal roof and that the garage have two separate doors rather than one eighteen foot wide opening.

With these conditions met, the project meets the design guidelines for accessory buildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



Rear yard.



1

Site Development Plan

Scale: 1/16"=1'-0"

AC-1.0

Drawings:  
Site Development Plan  
Date:  
June 05, 2012

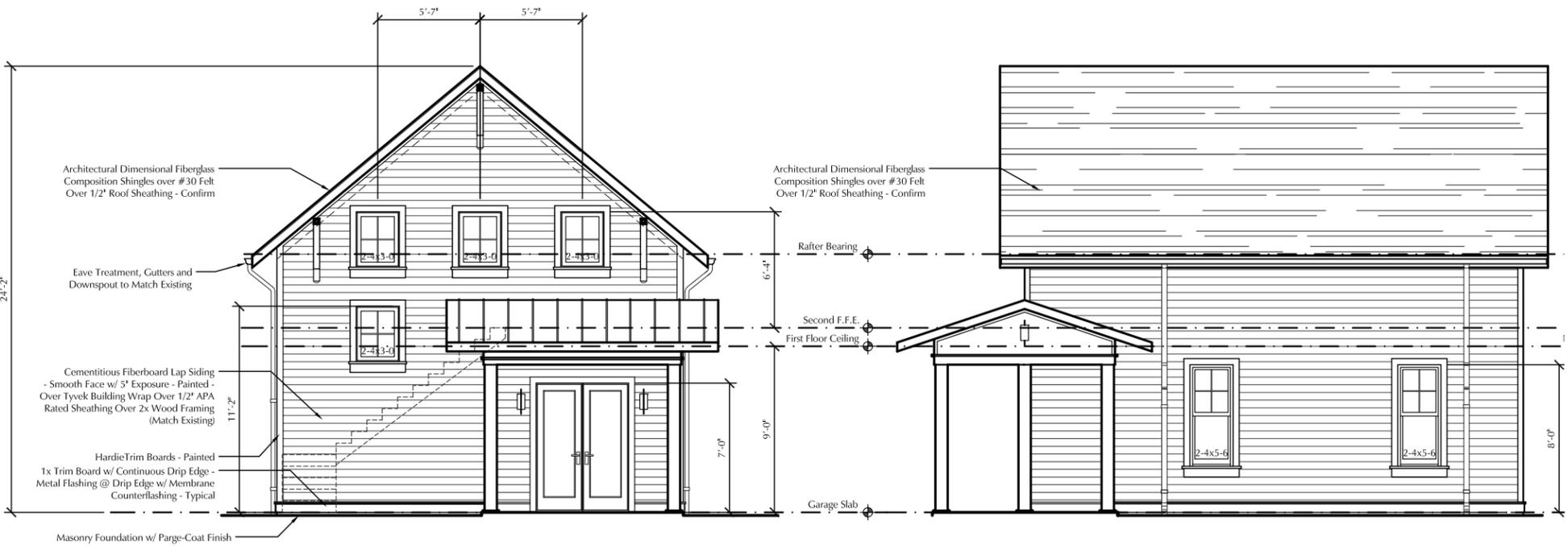
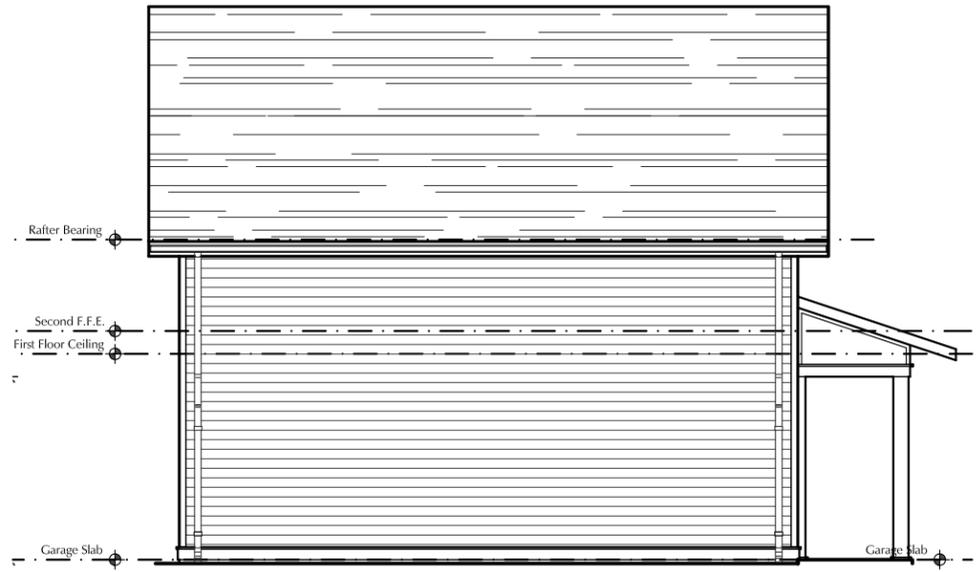
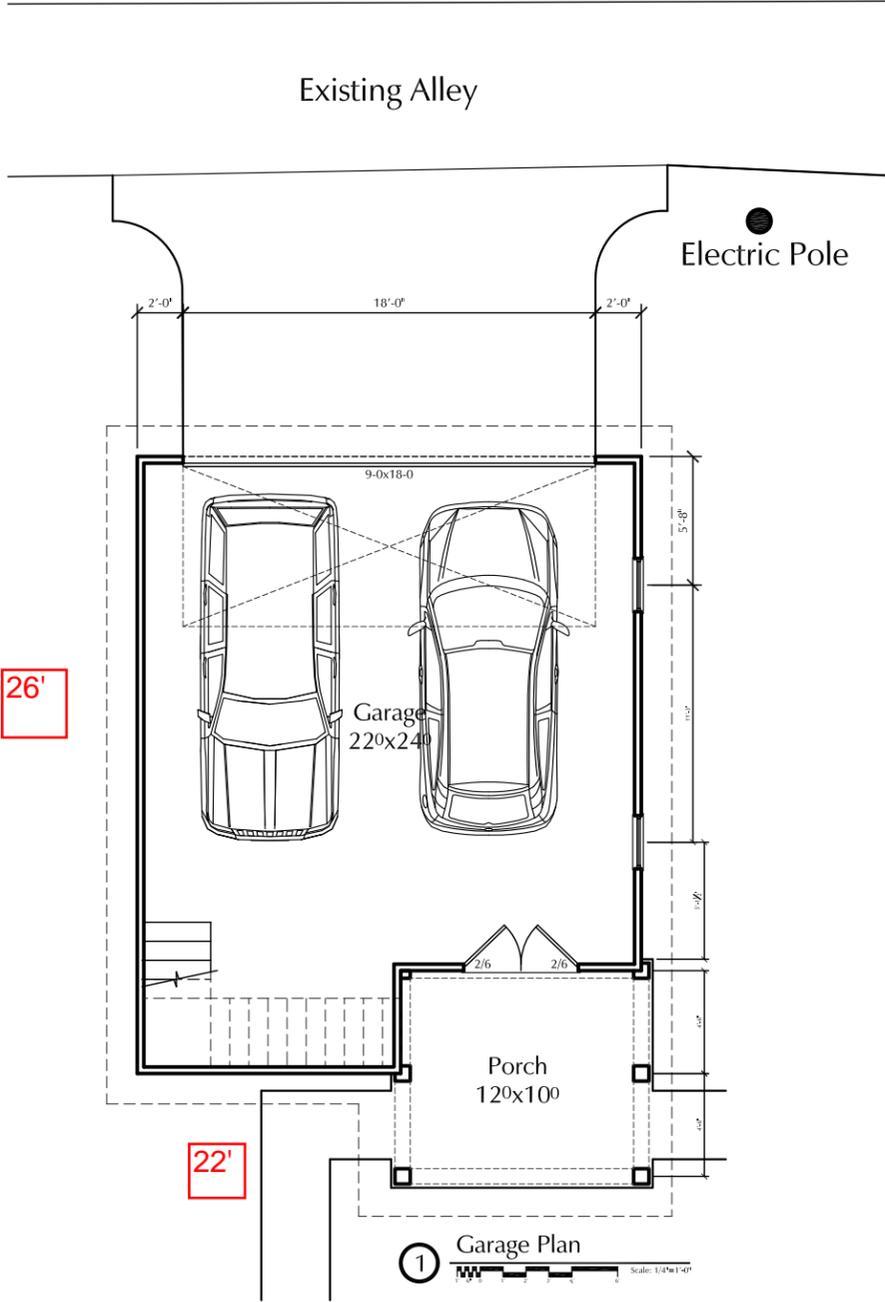


**Hardin-Sheriff Residence**  
2114 19th Avenue South  
Nashville, TN 37212

1

# Garage Design

Scale: 1/8"=1'-0"



## A-1.3

Drawings:  
Garage Plan

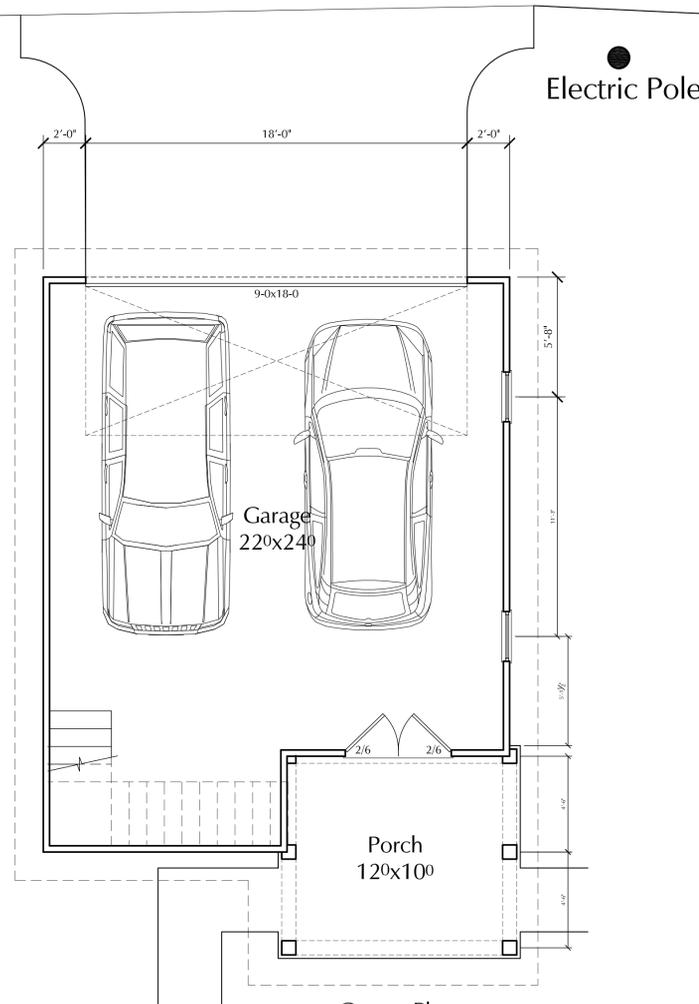
Date:  
June 06, 2012



## Hardin-Sheriff Residence

2114 19th Avenue South  
Nashville, TN 37212

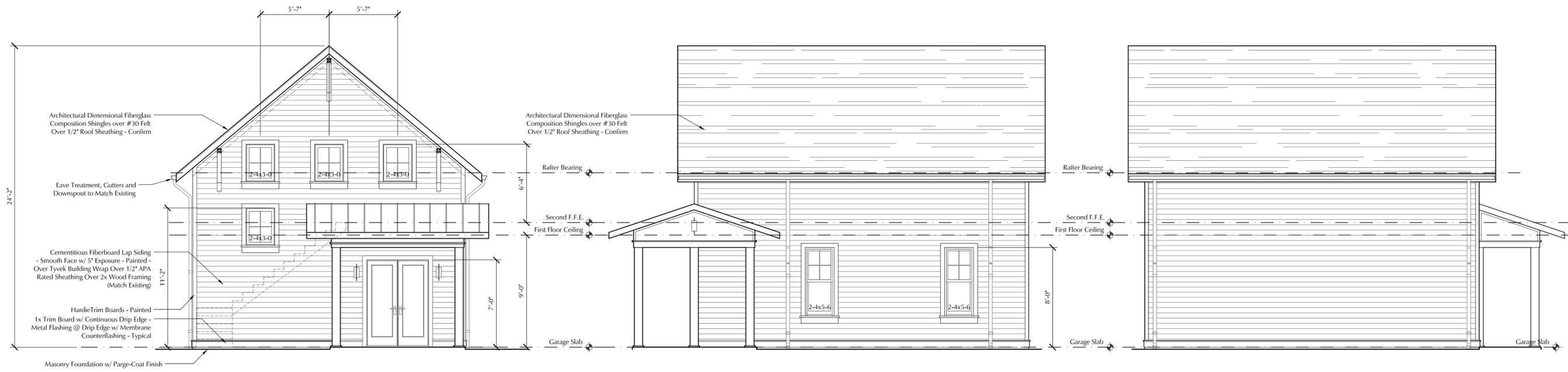
Existing Alley



1 Garage Plan  
Scale: 1/8"=1'-0"



2 North Elevation  
Scale: 1/4"=1'-0"



3 East Elevation  
Scale: 1/4"=1'-0"

4 West Elevation  
Scale: 1/4"=1'-0"

5 South Elevation  
Scale: 1/4"=1'-0"

Hardin-Sheriff Residence

2114 19th Avenue South  
Nashville, TN 37212



Plot Date: 06 June, 2012

For Construction

No.	Date	Description

Drawings:  
Garage

A-1.2