



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

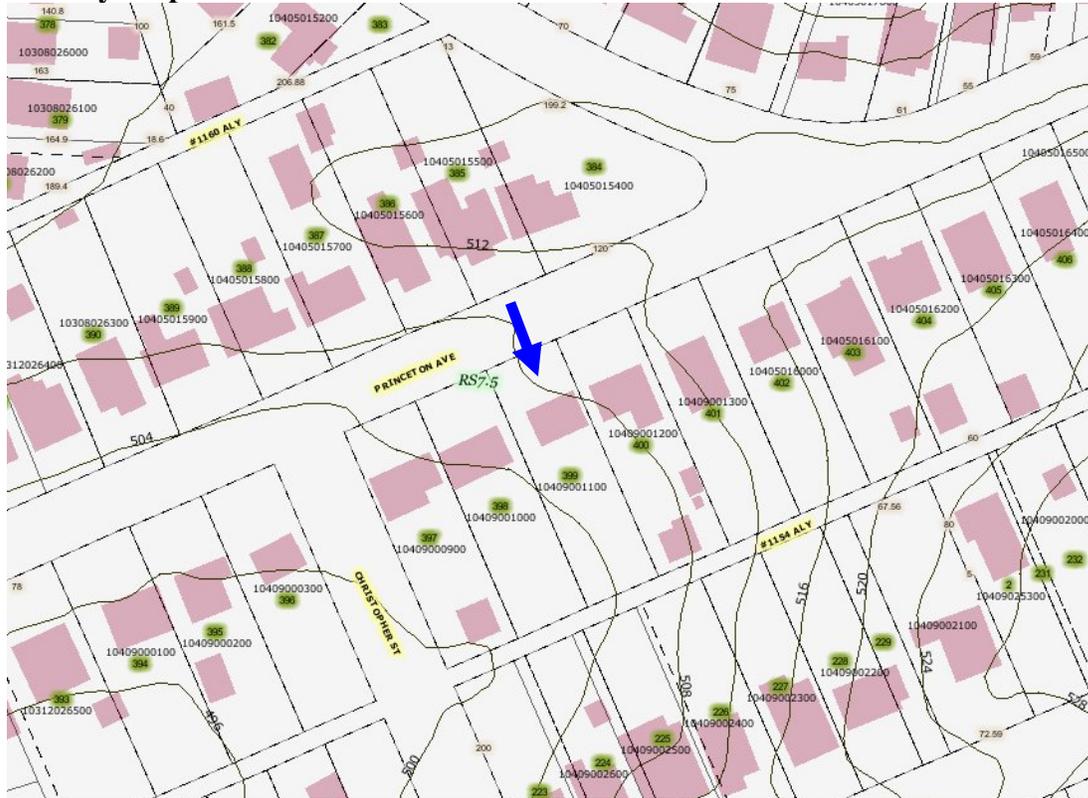
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
3725 Princeton Avenue
June 20, 2012

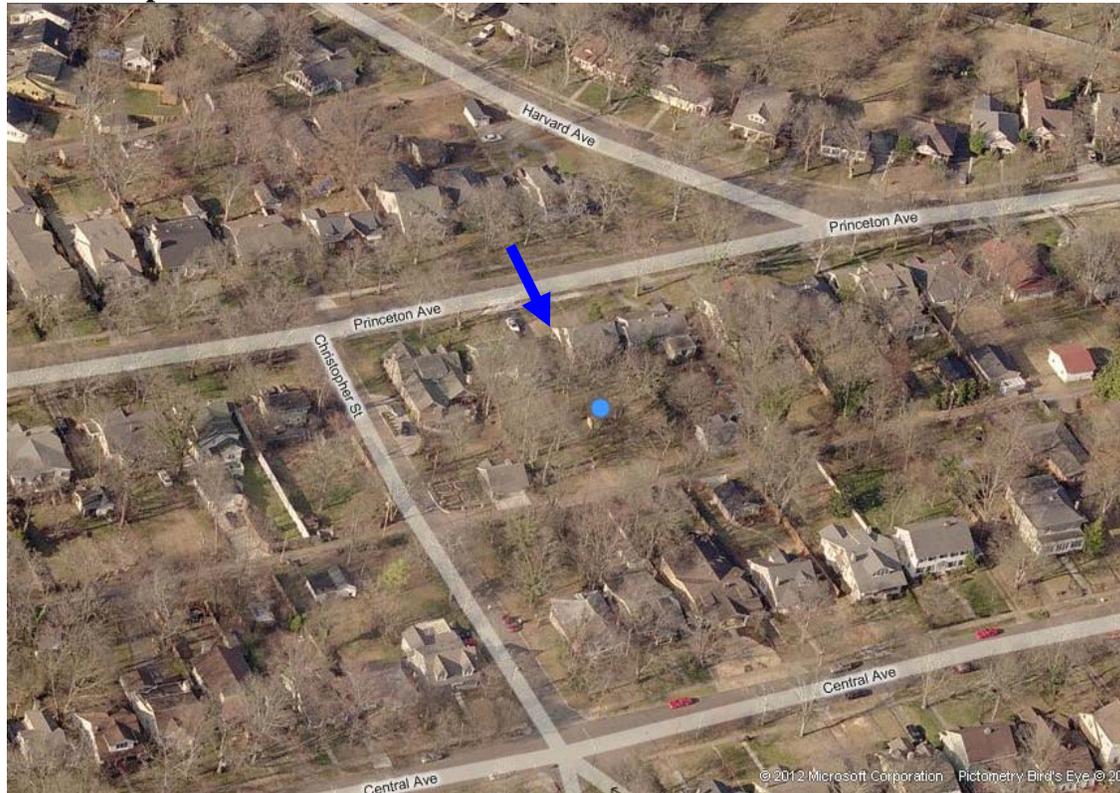
Application: New construction—addition and accessory structure
District: Richland-West End Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10409001100
Applicant: Mitch Hodge, Architect
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Applicant proposes to construct a two-story rear addition and a new two-story accessory structure. The rear addition will be taller than the existing house, and the project involves removing an existing rear dormer and covered porch.</p> <p>Recommendation Summary: Staff recommends approval of the addition and the accessory structure with the following conditions:</p> <ol style="list-style-type: none"> 1. Staff review and approve the roof material and color; the window and door materials and specifications; and the materials for the addition’s side and rear porch stairs and stair railings. 2. The accessory structure be reduced in height by a minimum of four feet (4’). <p>With these conditions, staff finds that the proposed addition and accessory structure meet Section II.B. of the <i>Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 3725 Princeton Avenue is a one-and-a-half story c. 1935 post-bungalow cottage that is considered to be contributing to Richland-West End National Register Historic District.



Applicable Design Guidelines:

II.B.1 New Construction

a . H e i g h t

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b . S c a l e

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in material, coursing or color.

c . S e t b a c k a n d R h y t h m o f S p a c i n g

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*

- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

d. **Materials, Texture, Details, and Material Color**
The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner. Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

e. **Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

g. **Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

h . O u t b u i l d i n g s

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board - and -batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4. Decorative raised panels on publicly visible garage doors are generally not appropriate. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.

Roof

- *Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*
- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*
- *The front face of any dormer must be set back at least 2' from the wall of the floor below.*

Windows and Doors

- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

Siding and Trim

- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4") (nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4") (nominal) casings are required around doors, windows, and vents within clapboard walls. (Brick molding is not appropriate on non-masonry clad buildings.)*
- *Brick molding is required around doors, windows, and vents within masonry walls.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

1. *where they are a typical feature of the neighborhood*
2. *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

i. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

II.B.2. Additions

a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Additions normally not recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.)*

c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

Analysis and Findings:

Applicant proposes to construct a two-story rear addition and a new two-story accessory structure. The rear addition will be taller than the existing house, and the project involves removing an existing rear dormer and covered porch (see photo below).



Location & Setback: The addition is proposed to be located entirely behind the existing historic house. On the left side, it is inset three feet (3') for a length of fifteen feet, six inches (15'6"), at which point it steps back out two feet (2') to be one foot (1') inset from the left sidewall of the historic house. On the right side, the additions steps in four feet (4') from the sidewall of the historic house for a length of fifteen feet, six inches (15'6"), at which point it steps back out three feet (3') to be one foot (1') inset from the right sidewall of the historic house. The addition meets all base zoning requirements for setbacks.

Staff finds that the location and setbacks for the proposed addition meet sections II.B.1.c and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Height & Scale: The existing house ranges between twenty-two feet and twenty-three feet (22'-23') tall, as measured from the front of the house and accounting for the cross-slope of the site. It has a maximum width at the front of thirty-nine feet, six inches (39'6"), which includes an open side porch. The existing house is thirty-three feet (33') deep, including the three-foot, six inch (3'6") deep entry porch.

The addition will have a maximum width of thirty-four feet (34') and a maximum depth of forty-five feet, six inches (45'6"). Staff finds the width to be subordinate to the historic house, and finds the depth appropriate in this instance because the existing house is shallow compared to its neighbors.

The proposed addition will tie into the historic house just below the ridge of the house. It will continue at this height for a depth of approximately thirty-six feet (36'), at which point, the addition will rise in height with a slope of 17/12 to ultimately be approximately two feet, nine inches (2'9") taller than the existing ridge of the house (accounting for the slope of the site). Staff finds the height of the addition to meet the design guidelines because the addition does not become taller than the existing house until approximately fifty-three feet (53') behind the front wall of the house, because the addition will be less than three feet (3') taller than the historic house, because the portion of the addition that is taller than the historic house will be only approximately four feet (4') deep, and because the taller portion of the addition will still be inset one foot (1') from the sidewalls of the historic house. All of these factors will help ensure that the addition's impact on the historic house, as seen from the street, is minimized.

The existing house has a footprint of approximately one thousand, one hundred and seventy-four square feet (1,174 sq. ft.), including the front entry porch and the side porch. The proposed addition has a footprint of approximately one thousand, two hundred and eighty-four square feet (1,284 sq. ft.), including the enclosed rear porch. Once the addition is constructed, the house's footprint will be approximately two thousand, four hundred and fifty-eight square feet (2,458 sq. ft.). A garage is proposed for the rear of the property and will be discussed in detail under the "Outbuildings" section. The garage has a proposed footprint of approximately six hundred and ninety-eight square feet (698

sq. ft.). After the construction of the addition and the garage, the lot's percentage of open space will be reduced from approximately ninety-one percent (91%) to seventy-four percent (74%). Staff finds that this reduction in percentage of open space is appropriate because the new percentage of open space matches the immediate context. There are several lots on this block of Princeton that have similar percentages of open space in the range of seventy-two to seventy-six percent (72%-76%).

Staff finds that the addition's height and scale meet sections II.B.1.a., II.B.1.b., and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The historic house is brick. The portion of the addition that ties into the back of the house will be clad in stucco board and batten. The taller portion of the addition will be clad in cement fiberboard. The foundation will be concrete block with a stucco rub finish. The materials for the roof, windows, and doors were not specified, and staff asks that a condition of approval be that staff review and approve the roof material and color and the window and door materials and specifications prior to purchase and installation. The rear deck will be screened and the rear dormer will be clad in stucco board and batten. The materials for the side and rear stairs and stair railings were not specified, and staff asks to approve this material prior to purchase and installation.

With aforementioned staff approvals of materials, staff finds the proposed materials to meet II.B.1.d. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Roofs: The existing building's primary roof form is a side gable with a 9/12 pitch. The front façade has a steeply-sloped cross gable and an entry porch gable, both with a slope of approximately 17/12. The portion of the addition that ties into the back roof of the historic house will have a gabled roof form with 3/12 pitch. The taller portion of the addition will have a side gable with a 17/12 pitch. The rear dormer will have a 4/12 shed roof, and the rear porch and extension will have a shed roof with a 3/12 pitch. The addition's roof forms and pitches are appropriate to the historic structure and to the historic context.

Staff finds the proposed roof forms for the addition to meet sections II.B.1.e. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The dimension and design of windows and doors are similar to those on the existing house. Most of the primary windows on the addition are taller than they are wide and therefore fit the proportions for historic window openings. There are no large expanses of wall space without a window or door opening on the addition. Staff finds that the addition's proportion and rhythm of openings meet section II.B.1.g. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Outbuilding: The proposed accessory structure is located in the rear of the property, will be accessed via the alley, and will have garage doors facing the alley. The structure meets all base zoning requirements for accessory structures. It will be thirty-feet (30') deep and twenty-two feet (22') wide, with a three foot, six inch by seven foot, ten inch (3'6" X 7'10") entry area.

The accessory structure is proposed to be two stories and approximately twenty-eight feet (28') tall. Staff finds the proposed height of the structure to be problematic because it will be one-foot, four inches (1'4") taller than the historic house when the site's grade is taken into consideration. Comparing the heights of the two structures from grade to ridge, not accounting for slope, the accessory structure is five to six feet (5' – 6') taller than the historic house. Staff finds that the proposed height of the accessory structure does not meet the design guidelines because it is not subordinate to the historic structure. Staff recommends that the structure's height be reduced by a minimum of four feet (4') so that it is more than two feet (2') shorter than the height of the existing house when the site's slope is taken into consideration.

The accessory structure will have a side-gabled primary roof form with a slope of 17/12. While this slope matches the cross-gabled forms on the front façade of the historic house and is in theory appropriate, staff notes that the steep slope of the roof contributes to the accessory structure's height. Reducing the slope of the roof will reduce the height of the structure without reducing the structure's footprint. The structure's dormers will have shed roofs with a slope of 4/12, and the entry area will have a shed roof with a slope of 9/12. The accessory structure will be clad primarily in cement fiberboard siding. Its dormers will be clad in stucco board and batten. Staff asks to review and approve the accessory structure's roof material and color, and window and door materials and specifications prior to purchase and installation of these materials.

If the height of the structure is reduced by a minimum of four feet (4') and with the condition that staff approve the final materials, staff finds that the accessory structure meets section II.B.1.h. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

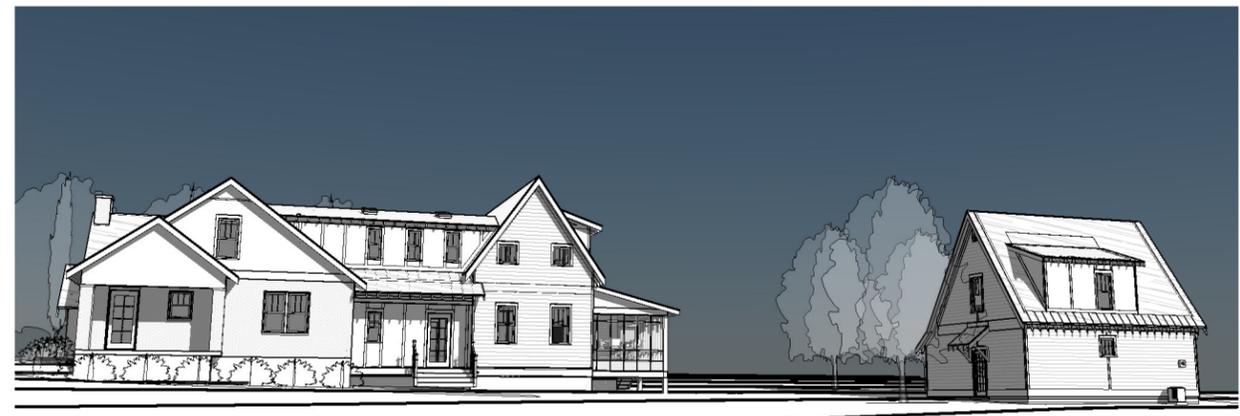
Staff recommends approval of the addition and the accessory structure with the following conditions:

1. Staff review and approve the roof material and color; the window and door materials and specifications; and the materials for the addition's side and rear porch stairs and stair railings.
2. The accessory structure be reduced in height by a minimum of four feet (4').

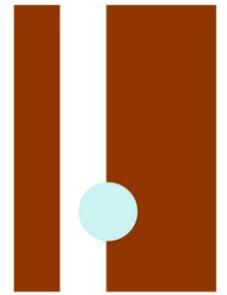
With these conditions, staff finds that the proposed addition and accessory structure meet Section II.B. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.



2 EAST
SD-0



3 WEST
SD-0



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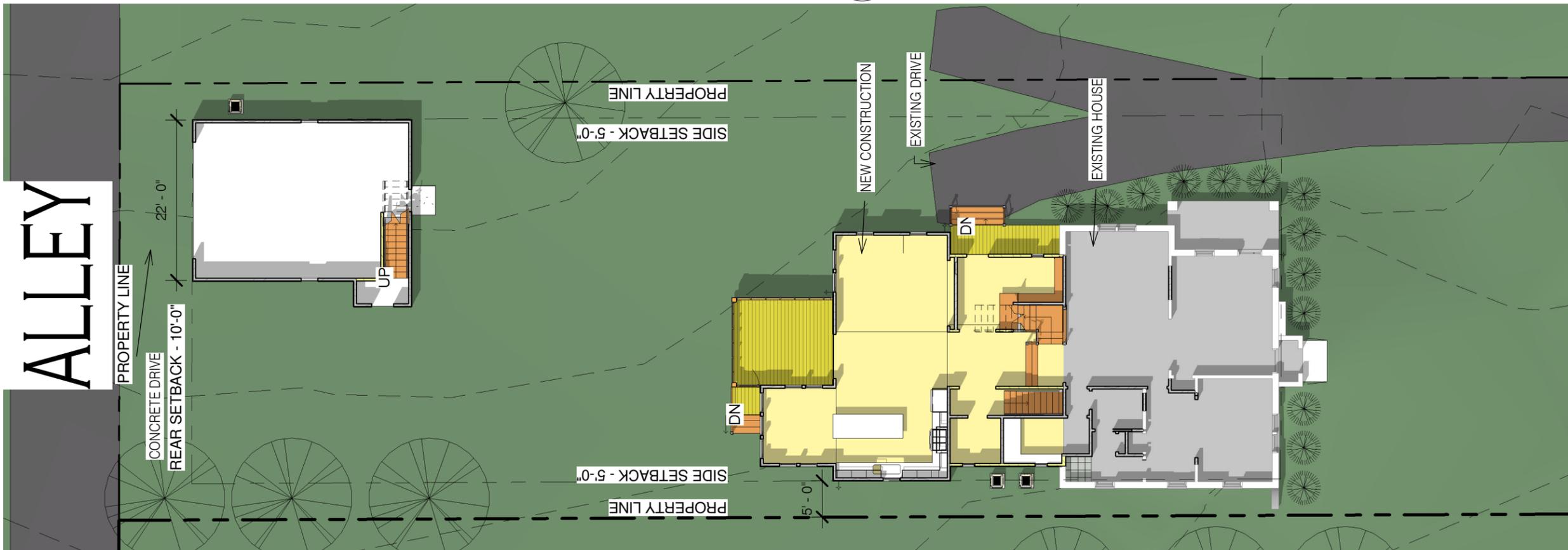
Additions & Renovations to
3725 PRINCETON AVENUE
in the Historic Richland/ West End
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SITE PLAN

SD-0

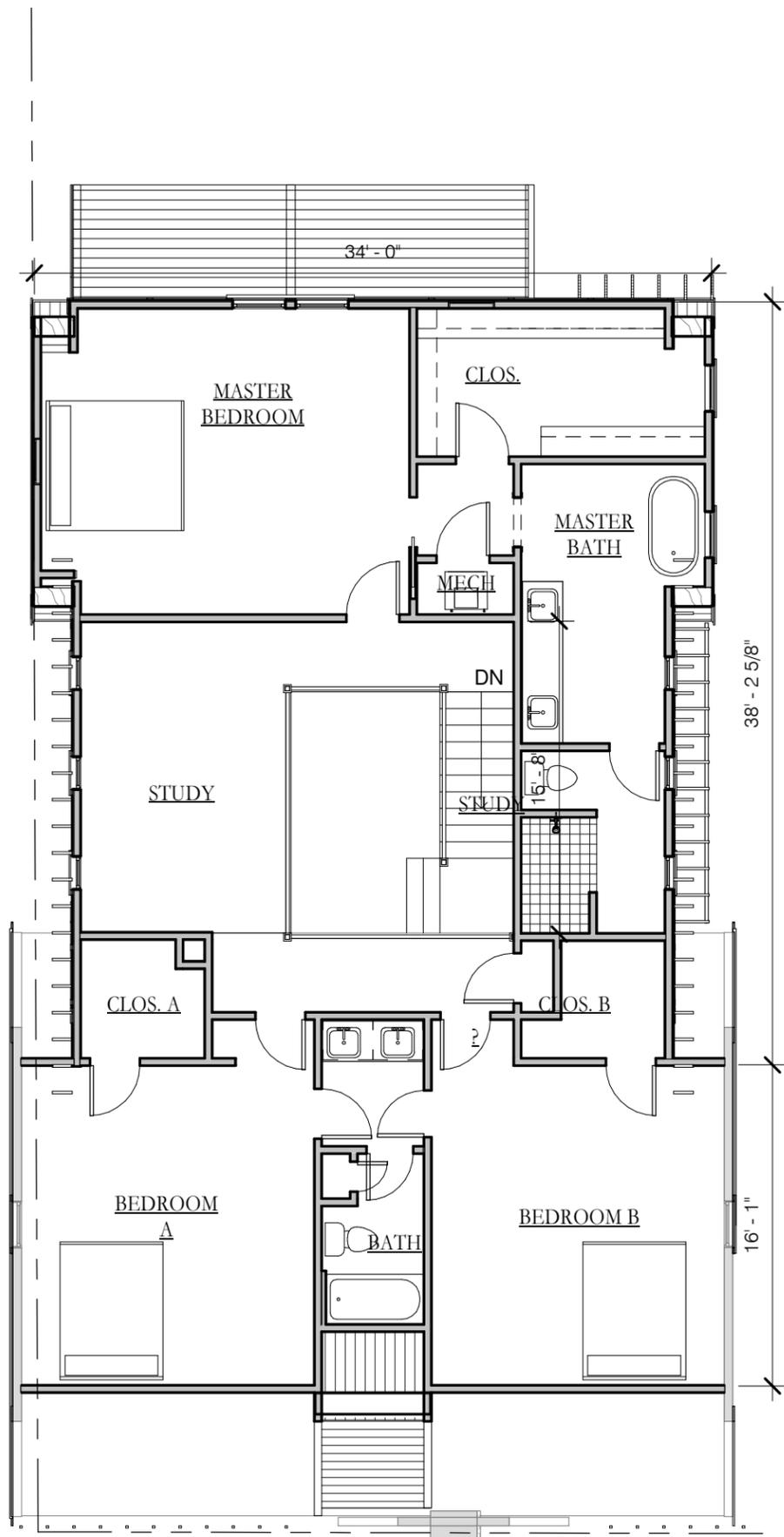
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DATE : 06.04.12



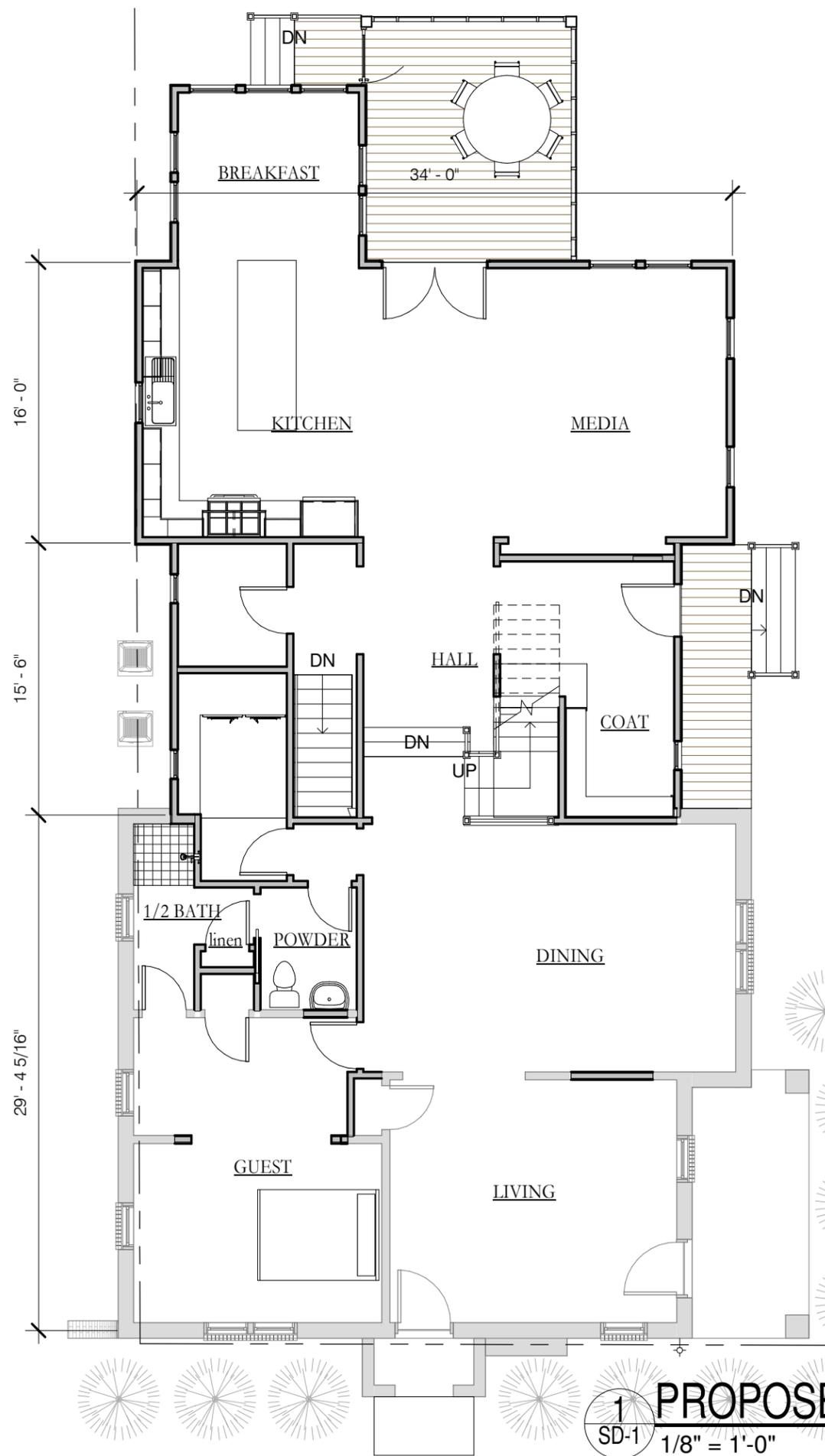
PRINCETON AVE.
1 PROPOSED SITE PLAN
SD-0 1/16" = 1'-0"



4 SITE SECTION
SD-0 1/16" = 1'-0"



2 PROPOSED SECOND FLOOR
SD-1 1/8" = 1'-0"



1 PROPOSED FIRST FLOOR
SD-1 1/8" = 1'-0"

PROJECT AREAS (MAIN HOUSE)	
Name	Area
BASEMENT	
BASEMENT	107 SF
	107 SF
1-FIRST FLOOR	
EXISTING HOUSE	1043 SF
NEW CONSTRUCTION	1102 SF
	2144 SF
2-SECOND FLOOR	
EXISTING HOUSE	775 SF
NEW CONSTRUCTION	873 SF
	1649 SF
	3900 SF

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FLOOR PLANS

SD-1

PROJECT : 1213
DATE : 06.04.12



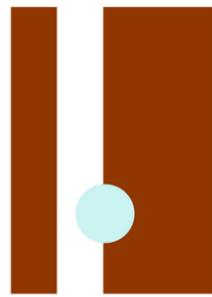
2 PROPOSED - WEST
SD-2 1/8" = 1'-0"



3 PROPOSED - SOUTH
SD-2 1/8" = 1'-0"



1 PROPOSED - NORTH
SD-2 1/8" = 1'-0"



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ELEVATIONS

SD-2

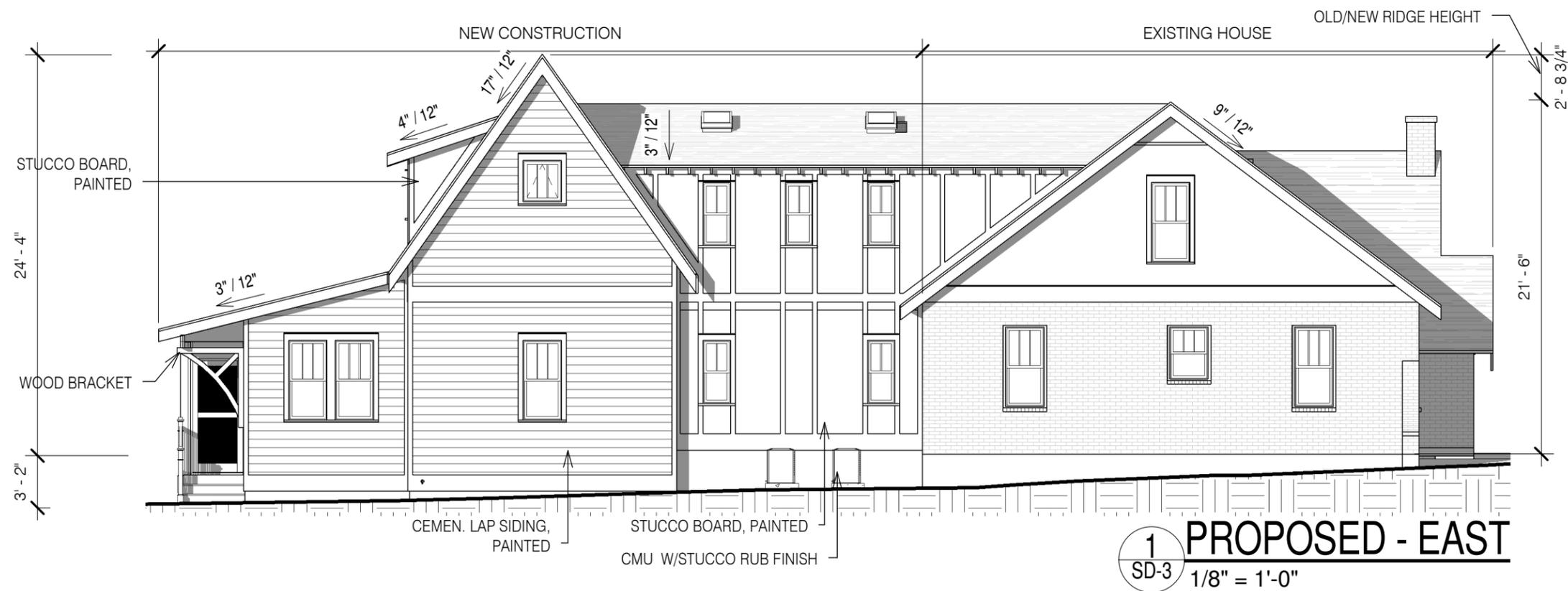
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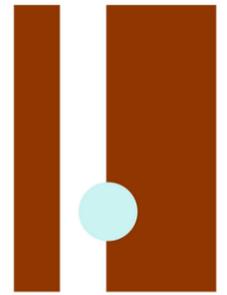
3 BACK
SD-3



2 FRONT
SD-3



1 PROPOSED - EAST
SD-3 1/8" = 1'-0"



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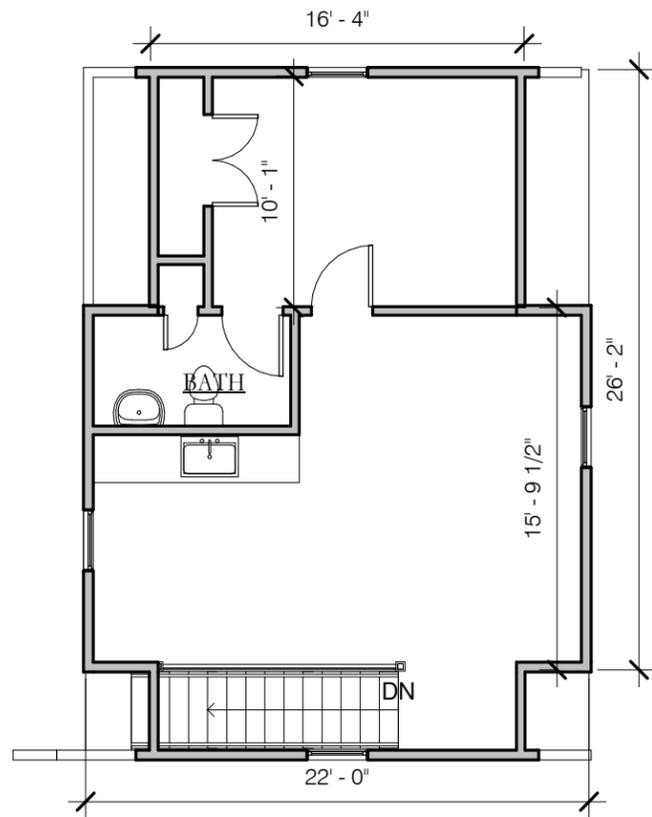
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ELEVATIONS, VIEWS

SD-3

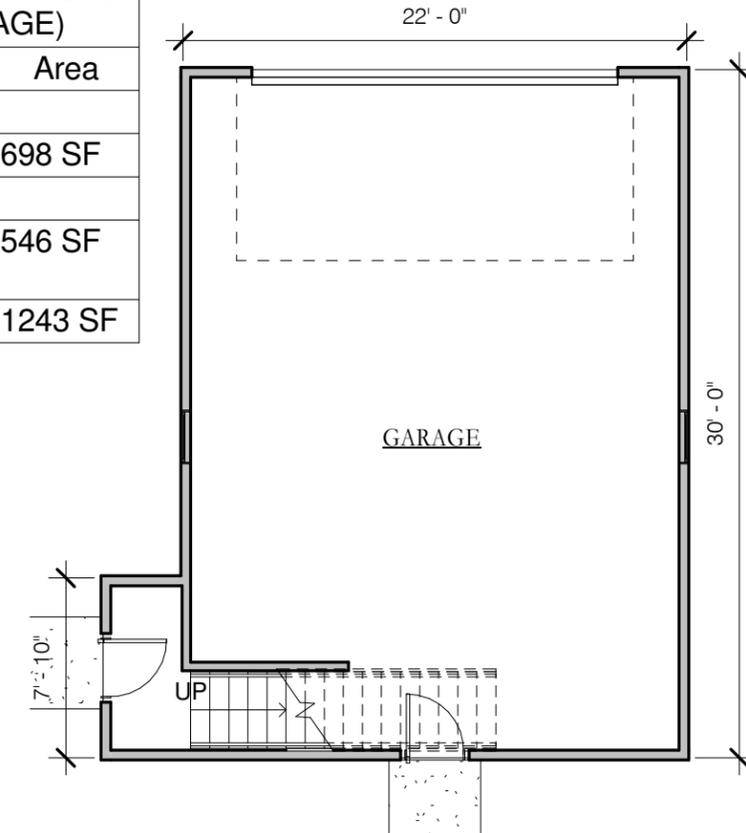
PROJECT : 1213
DATE : 06.04.12



6 PROPOSED GARAGE - UPPER
SD-4 1/8" = 1'-0"



4 PROPOSED GARAGE - WEST
SD-4 1/8" = 1'-0"



5 PROPOSED GARAGE - MAIN
SD-4 1/8" = 1'-0"

PROJECT AREAS (GARAGE)	
Name	Area
GARAGE	698 SF
GARAGE UPPER	546 SF
	1243 SF

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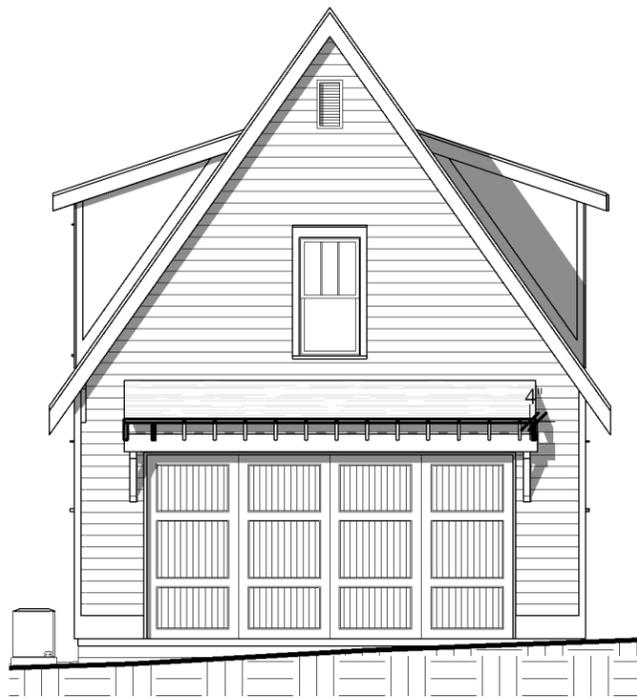
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GARAGE

SD-4

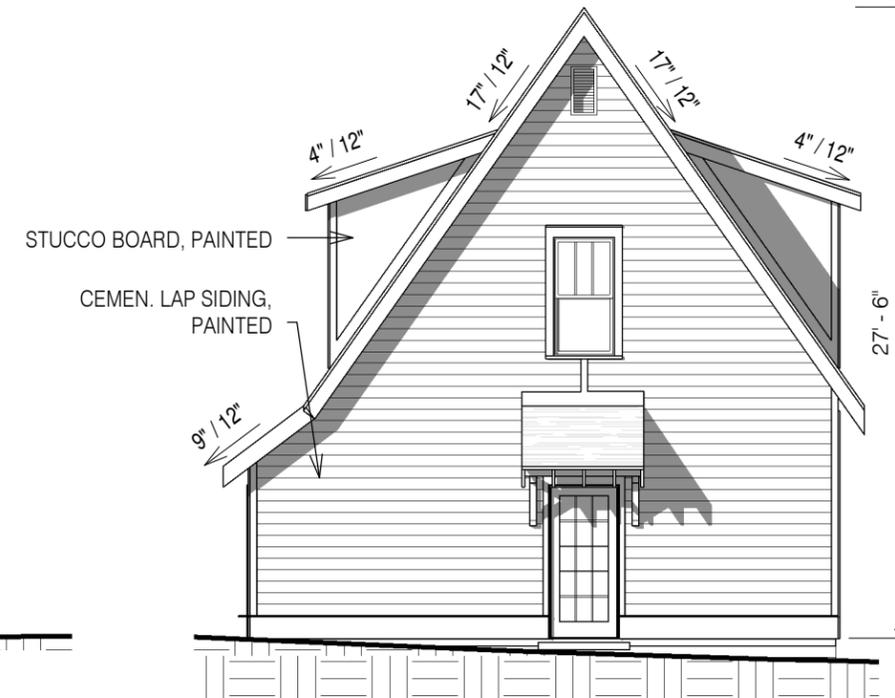
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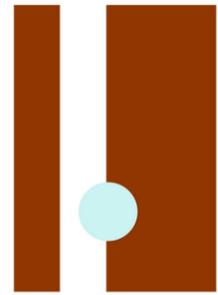
3 PROPOSED GARAGE - SOUTH
SD-4 1/8" = 1'-0"



2 PROPOSED GARAGE - EAST
SD-4 1/8" = 1'-0"



1 PROPOSED GARAGE - NORTH
SD-4 1/8" = 1'-0"



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RIDGE HEIGHTS

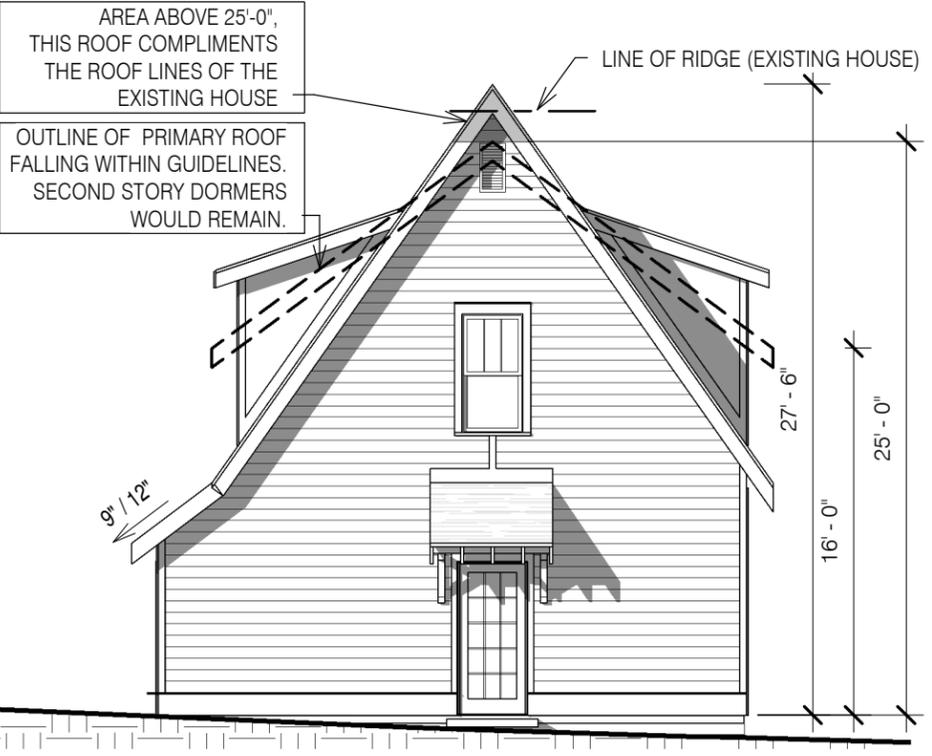
SD-5

PROJECT : 1213
DATE: 06.04.12

HEIGHT DIFFERENCE
103' - 0"
RIDGE OF ORIGINAL STRUCTURE



2 RIDGE HEIGHT COMPARISON
SD-5 1/8" = 1'-0"



1 ALTERNATE ROOF COMPARISON
SD-5 1/8" = 1'-0"