



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 807 Boscobel Street March 21, 2012

Application: New Construction – addition
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216029700
Applicant: Chis Crimmins, Crimmins Construction LLC
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant is proposing to construct a front porch addition and to relocate a window and a door on a non-contributing structure. The materials will be: concrete floor, wooden columns and structure, asphalt shingle roof, a wood and glass door, and PVC windows.</p> <p>Recommendation Summary: Staff recommends approval of the proposed front stoop addition and door relocation, with the condition that that the roof and paint colors be appropriate, as approved by staff, finding the proposal to meet the Edgefield Historic Preservation Zoning Overlay design guidelines.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
--	--

Vicinity Map:



Aerial Map:



Background: 807 Boscobel Street is a non-contributing structure, constructed circa 1960. Although the area is zoned to allow single- and two-family dwellings, the structure is “grandfathered” as a non-conforming one-story quadruplex. Each of the four units has an entrance on the right (East) side of the building.

Applicable Design Guidelines:

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. An addition should connect to the associated building in such a way that the original form of the building is visually evident.
- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.
- g. New additions should follow the guidelines for new construction.

III.B.2 New Construction

- a. **Setback and Rhythm of Spacing:** The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b. **Height:** The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c. **Building Shape:** The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. **d. Roof Form:** The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof form, orientation, and pitch of surrounding historic buildings.
- a. **Roof Shape:** The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e. **Orientation:** The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f. **Proportion and Rhythm of Openings:** The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g. **Materials Texture, Details, and Material Color:** The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.
Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.
The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a

close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate. Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

Analysis and Findings:

The applicant is proposing to reconfigure the front unit of the structure, bringing the entrance from the side to the front and constructing a small front stoop.

Location, Massing

The stoop will have a fourteen foot (14') wide by four feet (4') deep footprint on the right half of the front of the building. The stoop will have a roof "nested" into the existing roof, matching the pitch but sitting three feet (3') lower than the existing roof peak. The eave height will match the existing eave line at approximately nine feet (9') above grade. The addition of a front entrance will make the structure more compatible with historic houses nearby, which all have front porches that address the street. Although the Commission has typically asked that front porch additions be at least six feet (6') deep, Staff finds that the smaller stoop is appropriate on a one-story structure with a low-pitched roof and to extend the depth more would create an inappropriate setback. Staff

finds the location, massing, and height of the addition to meet guidelines III.B.1.a, III.B.2.b, and III.B.2.c.

Roof

The roof shape, matching the pitch, material, and color of the existing roof, meets guideline III.B.d

Windows, Doors

Currently there are two windows on the front elevation and the entrance to the front unit, as it is with the other units, is on the right side of the building. The proposal would relocate the door from the side to the location of the existing right-front window. The door will be a wooden panel-door with glass panels at the top with one large side-light on the right. A window will replace the existing door on the right side. Staff finds the proposed window and door rhythm, though contemporary, to be appropriate with historic houses nearby because the proportion and rhythm will be more compatible than is currently found on the non-contributing structure. This meets guideline III.B.2.f.

Materials

The front stoop will have a concrete floor, wooden columns, and cement-fiber siding in the gable. The new roof will be asphalt shingle, matching the texture of the existing roof. The color of the roof will need to be approved by staff prior to permitting. The new front door will be wood, and the windows will be composite sashes in the existing wooden frames. Staff finds these materials to be compatible with historic houses and to meet guideline III.B.2.g.

Additionally, the relocation of the door and window will result in sections of mismatched masonry and mortar, which will be painted to achieve a uniform appearance. Staff will need to review and approve the paint color prior to permitting.

Recommendation:

Staff recommends approval of the proposed front stoop addition and door relocation, with the condition that that the roof and paint colors be appropriate, as approved by staff, finding the proposal to meet the Edgefield Historic Preservation Zoning Overlay design guidelines.



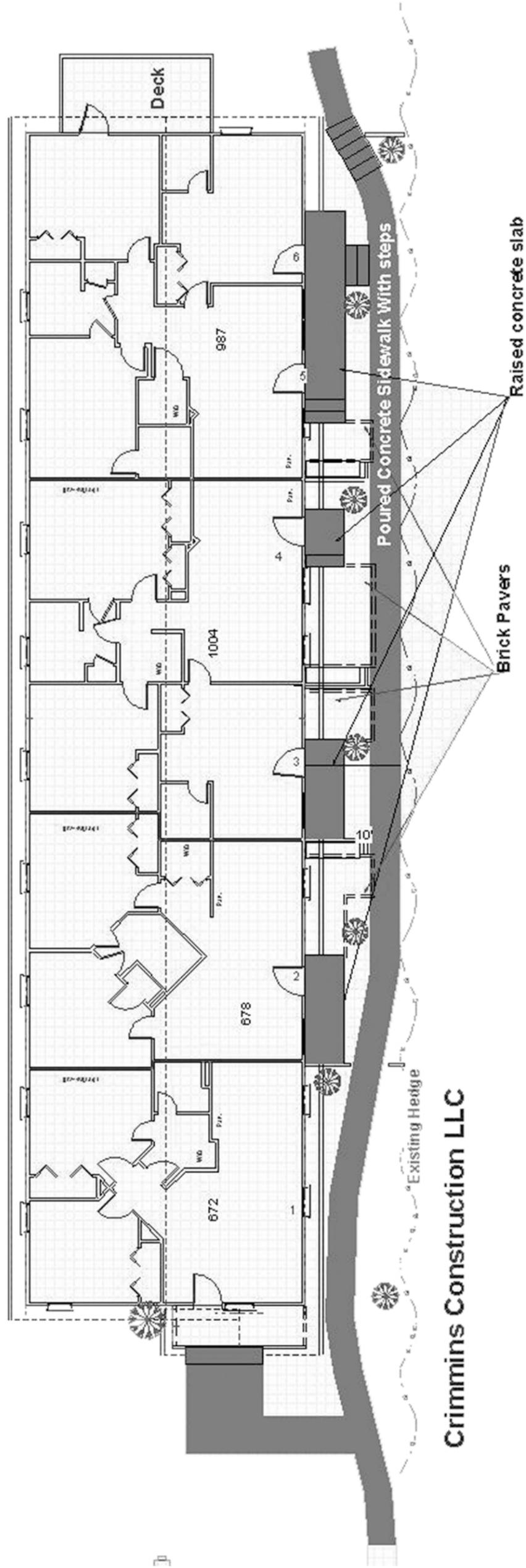
807 Boscobel Street, front-left.



807 Boscobel Street, front-right.

Proposed Plan

All new Hvac (split unit hvac air handler in crawlf)
All new elect wiring
All new interior plumbing

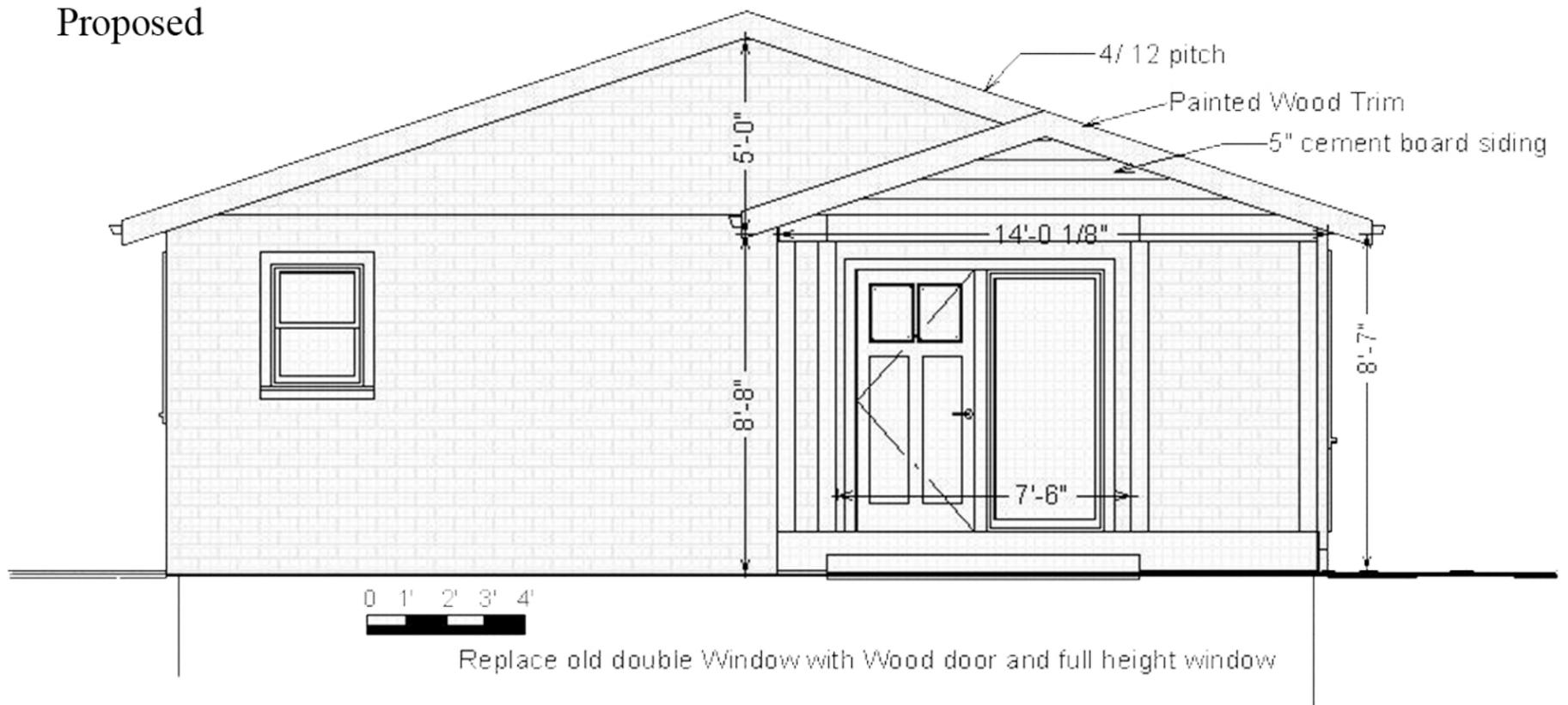


807 Boscobel Street
Front Stoop Addition
March 2012

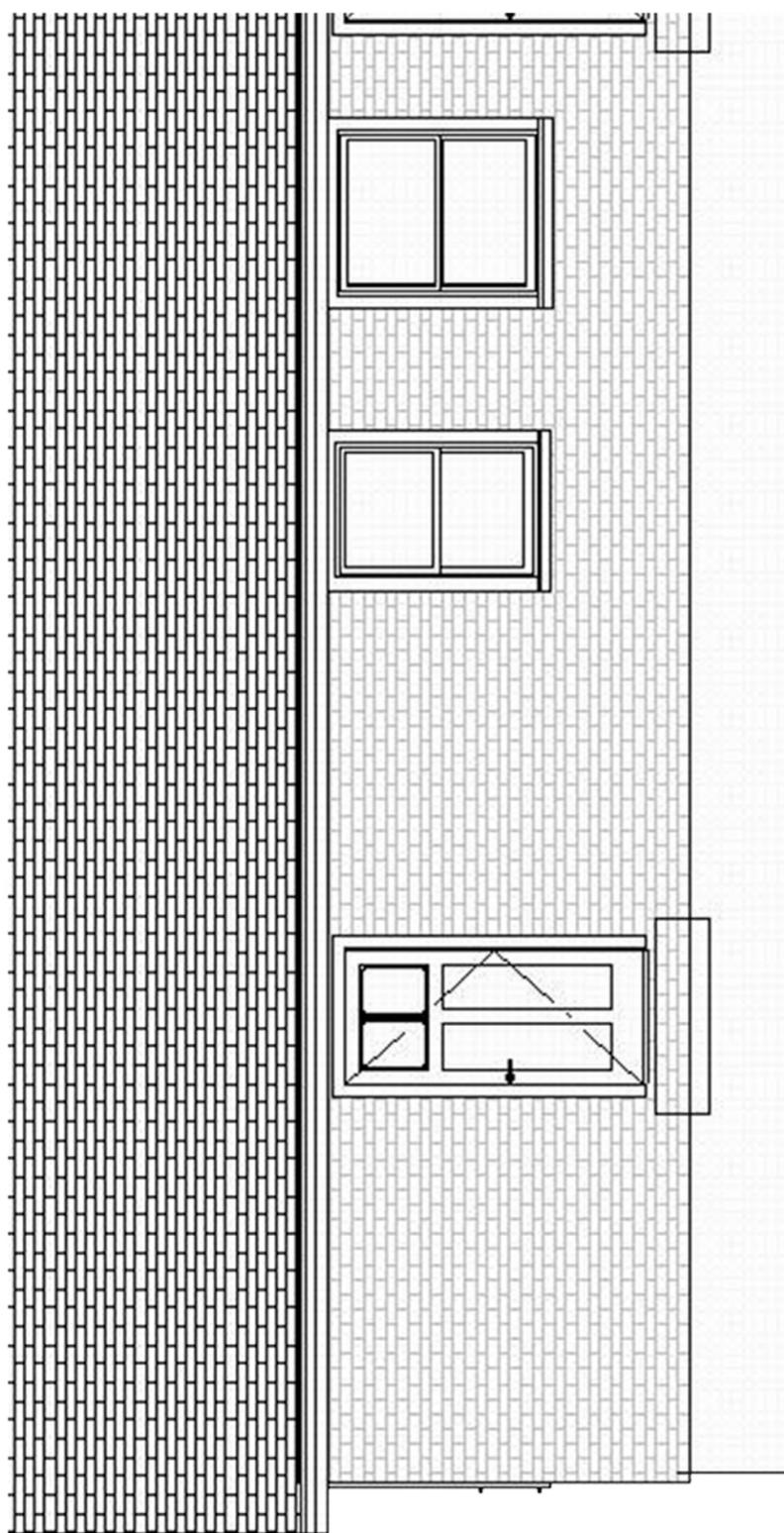
Current Appearance



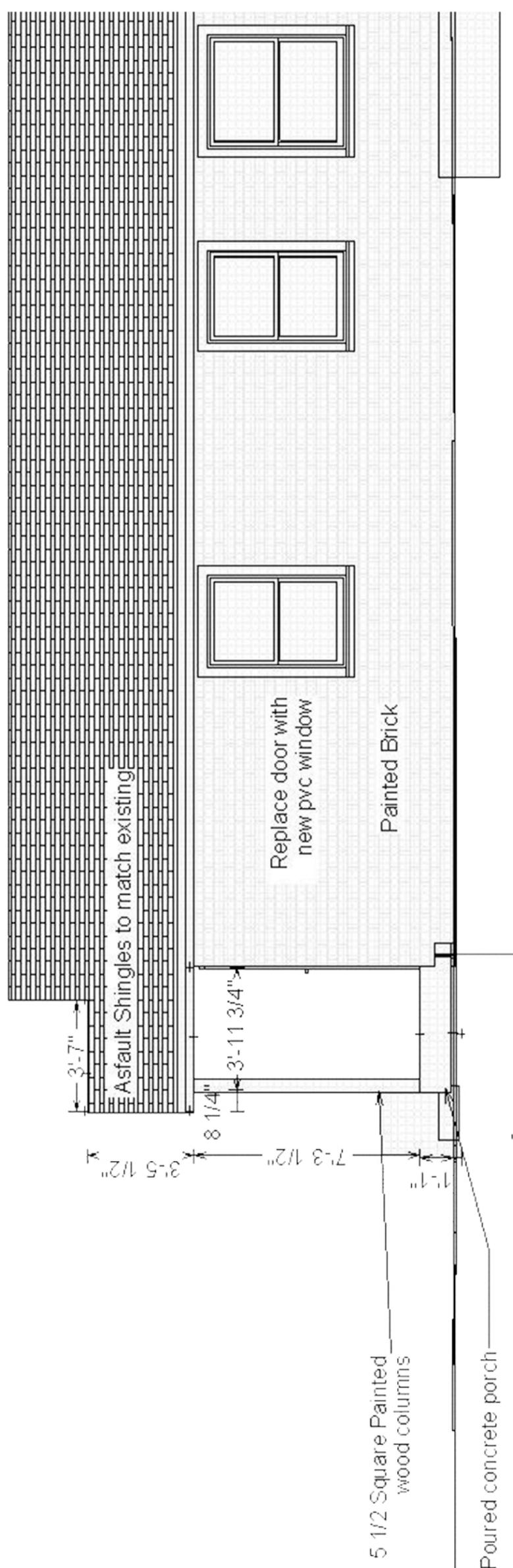
Proposed



Current Appearance



Proposed



807 Boscobel Street
 Front Stoop Addition
 March 2012