



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1216 5th Avenue North
October 17, 2012

Application: New construction—accessory building
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209047700
Applicant: Ben Mosley, architect
Project Lead: Michelle Taylor, michelle.taylor3@nashville.gov

<p>Description of Project: The project is to construct a two-story rear accessory structure. The accessory building will not require a reduction to base zoning setback requirements.</p> <p>Recommendation Summary: Staff recommends approval of the project with the conditions that Staff review and approve the window specifications and design and the pedestrian and vehicular door specifications and designs prior to purchase and installation.</p> <p>With these recommendations, staff finds that that the design, massing and siting of the accessory structure meet sections 2.9 of the <i>Germantown Historic Overlay Design Guidelines</i></p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 1216 5th Avenue is a two-story house constructed in 1998.



Applicable Design Guidelines:

2.9 Outbuildings / Garages / Carports / Accessory Buildings

2.9.1 Historically, outbuildings, garages and carports were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide corner boards and window and door casings (trim).

2.9.2 Outbuildings, garages, carports and accessory buildings shall be located to the rear of the property. When a definite rhythm along a street/alley is established by uniform lot and building width, infill construction shall maintain that rhythm.

2.9.3 The predominant vehicular access to properties within the District should continue to be through the use of alleys. Garages and carports shall be accessed from the service alley as is typical for historic buildings in the district. For most residential lots new curb cuts on public streets are generally not appropriate. The removal of unnecessary existing curb cuts on primary streets is encouraged. It is acknowledged that in some cases alley access may not be possible or practical.

In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

2.9.4 The design of outbuildings, garages, carports and accessory buildings shall not be visually disruptive to the character of surrounding buildings.

- 2.9.5 The size and mass of outbuildings, garages, carports and accessory buildings in relation to open spaces and its windows and openings shall be visually compatible with the primary building and surrounding buildings.
- 2.9.6 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- 2.9.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

Analysis and Findings:

The project is to construct a two-story accessory structure in the rear yard of 1216 5th Avenue North. The accessory building will not require a reduction to base zoning setback requirements.

Location & Setback: The accessory structure is located in the rear of the property with its garage doors facing the alley, as is typical for accessory structures in Germantown. The location of the structure does meet the base zoning requirements. On the north the structure sits three feet (3') from the property line and on the south the structure sits over six feet (6') from the property line.

The structure is proposed to sit twenty feet (20') from the rear property line and alley. Base zoning requires that the rear setback be ten feet (10') from the alley.

Staff finds the location of the proposed accessory building to meet Sections 2.9.2. and 2.9.3. of the *Germantown Historic Overlay Design Guidelines*.

Height & Scale: The existing house is two-story in height and thirty-two feet (32') high. The proposed accessory structure is two stories, but is shorter than the existing house at twenty-four feet (24'). Staff finds the two-story accessory structure appropriate because it is eight feet (8') lower in height than the historic house.

The accessory structure will be twenty-four feet (24') wide at its widest point. It will be thirty feet (30') deep. By contrast the historic house is approximately twenty-three feet (23') wide and approximately forty-three feet (43') deep.

Even though the accessory building will be approximately one foot (1') wider than the existing house, the accessory structure will likely never be seen from a public thoroughfare because of the siting of the historic house. The accessory structure will remain subordinate to the historic house because it is much shallower than the historic house and because it is located so close to the alley.

Staff finds the height and scale of the proposed addition to meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Materials, Texture, and Details and Material Color: The proposed accessory structure will include a turn down concrete slab edge over a split face foundation wall that will support a traditional wood frame construction. The primary cladding materials for the proposed accessory structure will be cement fiber lap siding with a 5 ½ reveal to match the existing house.

Other materials include aluminum clad wood windows, insulated steel vehicular door, composite wood trim, wood column with base, asphalt shingle roof on the gable portions of the roof as well as the porch. Color of the roof will match the house. Staff finds all of these materials appropriate and asks that staff review and approve the window specifications and design and the pedestrian and vehicular door specifications and design prior to purchase and installation.

With the staff's final approval of the materials, staff finds the materials for the proposed accessory structure to meet Section 2.9.1. of the *Germantown Historic Overlay Design Guidelines*.

Roof and Building Form: The accessory structure will have a front gabled roof with a roof slope of approximately seven-twelve (7/12) facing the alley (east) and the historic house (west). Staff finds this form to be appropriate and a form typically seen in the Germantown neighborhood.

Staff finds the accessory building's roof and building form to meet Section 2.9.1. and 2.9.4. of the *Germantown Historic Overlay Design Guidelines*.

Proportion and Rhythm of Openings: The window and door openings on all four elevations are appropriate for an accessory structure and are compatible with the neighborhood. Staff finds the accessory building's proportion and rhythm of openings to meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Staff recommends approval of the project with the conditions that Staff review and approve the window specifications and design and the pedestrian and vehicular door specifications and designs prior to purchase and installation.

With these recommendations, staff finds that that the design, massing and siting of the accessory structure meet sections 2.9 of the *Germantown Historic Overlay Design Guidelines*



Front façade of existing house



Backyard and proposed location of accessory structure



Accessory structures located adjacent to 1216 5th Avenue

GENERAL DESCRIPTION

PROJECT NAME: SEALS/EASTERLY RESIDENCE GARAGE/OUTBUILDING

PROJECT LOCATION: 1216 5TH AVENUE NORTH
NASHVILLE TN 37208

PROJECT SUMMARY: CONSTRUCTION OF NEW 2 CAR GARAGE TO INCLUDE SPREAD FOOTING WITH SLAB ON GRADE, WOOD FRAME CONSTRUCTION WITH CEMENT FIBER BOARD SIDING, ALUMINUM CLAD WOOD DOORS AND WINDOWS, GARAGE DOOR, ELECTRICAL WIRING AND ASPHALT SHINGLE ROOFING.

ZONING: MUN
PROPERTY IS WITHIN GERMANTOWN HISTORIC DISTRICT
PROPERTY IS WITHIN PHILLIPS JACKSON REDEVELOPMENT DISTRICT

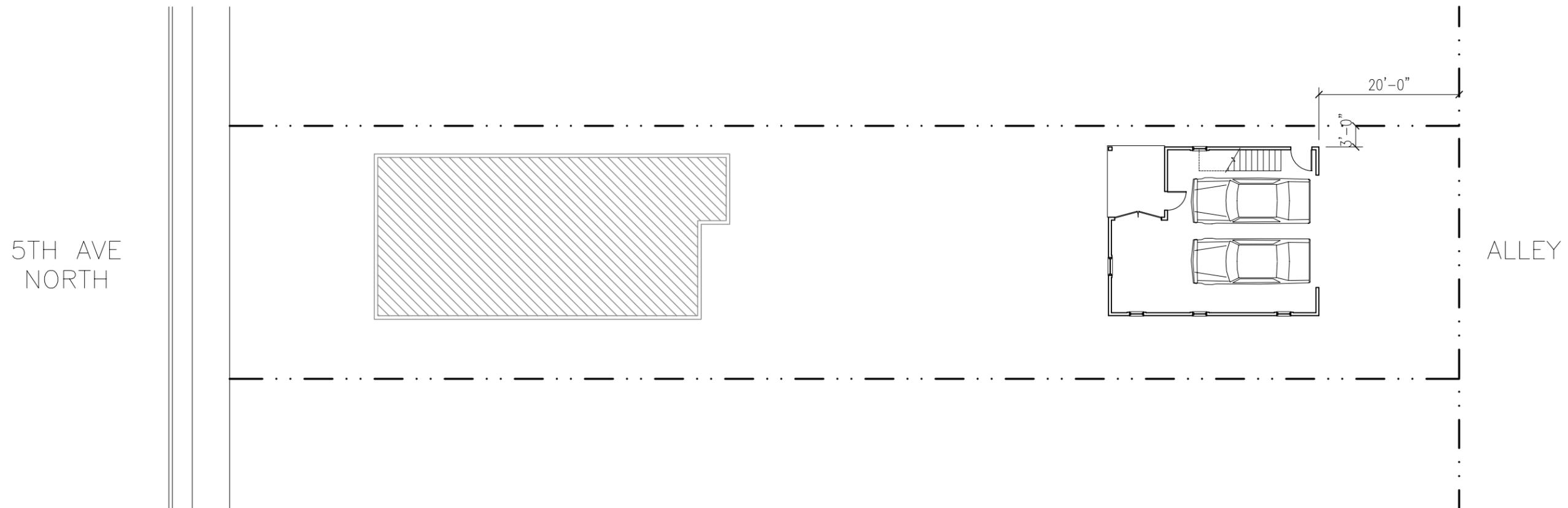
APPLICABLE CODES: 2006 INTERNATIONAL RESIDENTIAL CODE

CONSTRUCTION TYPE: IBC 2006 - TYPE V B

BUILDING OCCUPANCY:
RESIDENCE SINGLE FAMILY DWELLING UNIT
GARAGE PRIVATE USE ONLY - DETACHED AND UNOCCUPIED



VICINITY MAP



DRAWING:
SITE PLAN

DATE 8-25-12

SCALE 1/16"=1'-0"

PROJECT:

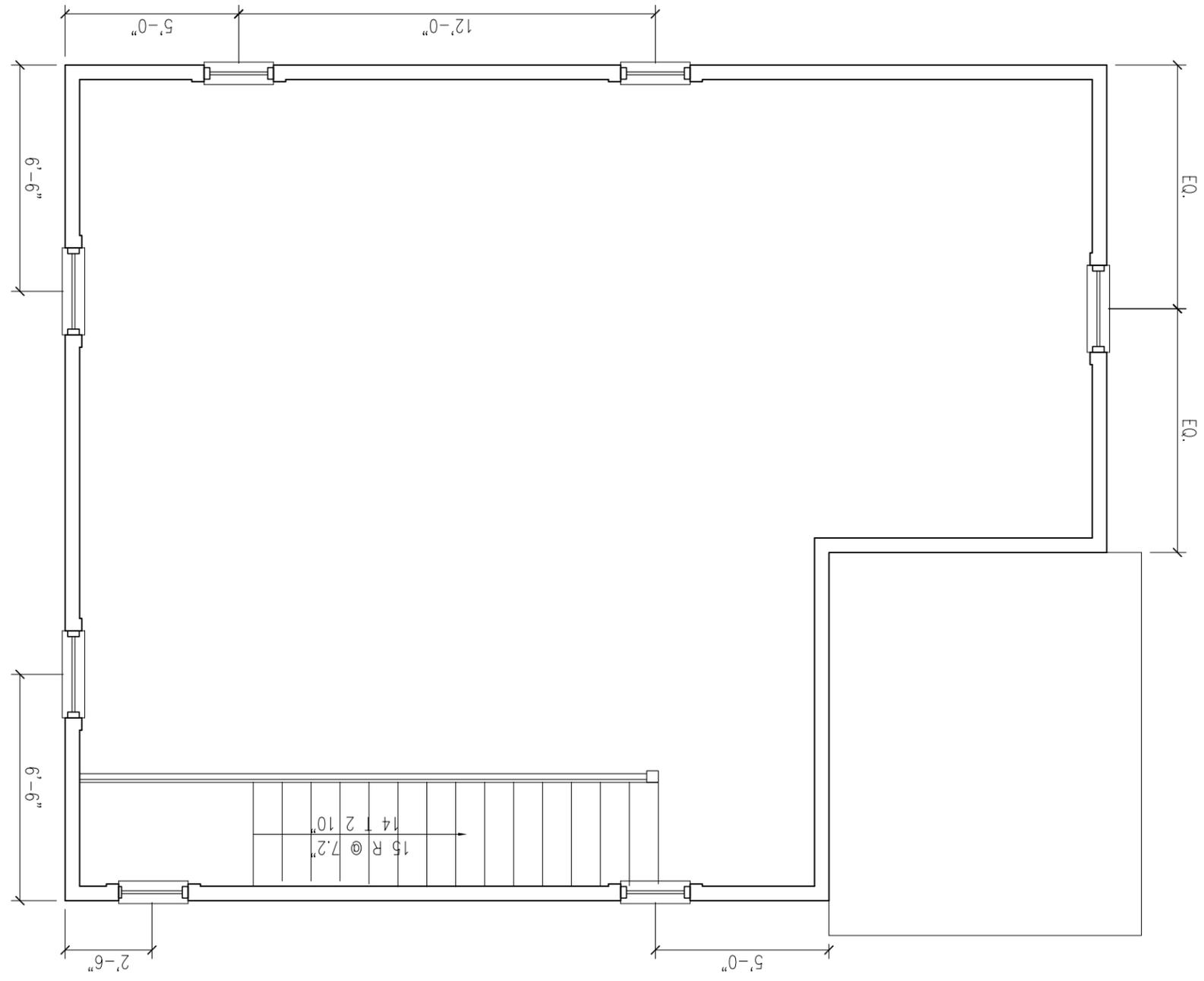
EASTERLY-SEALS GARAGE
1216 5TH AVE NORTH
NASHVILLE TN 37208

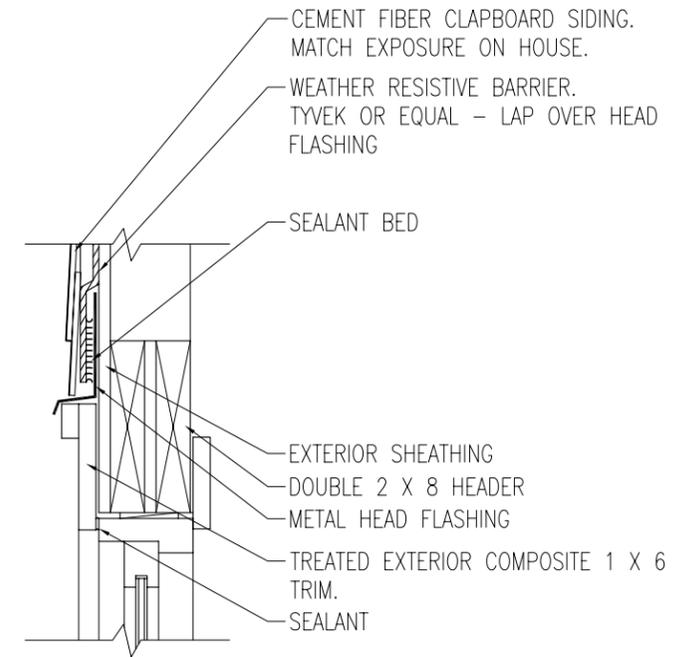
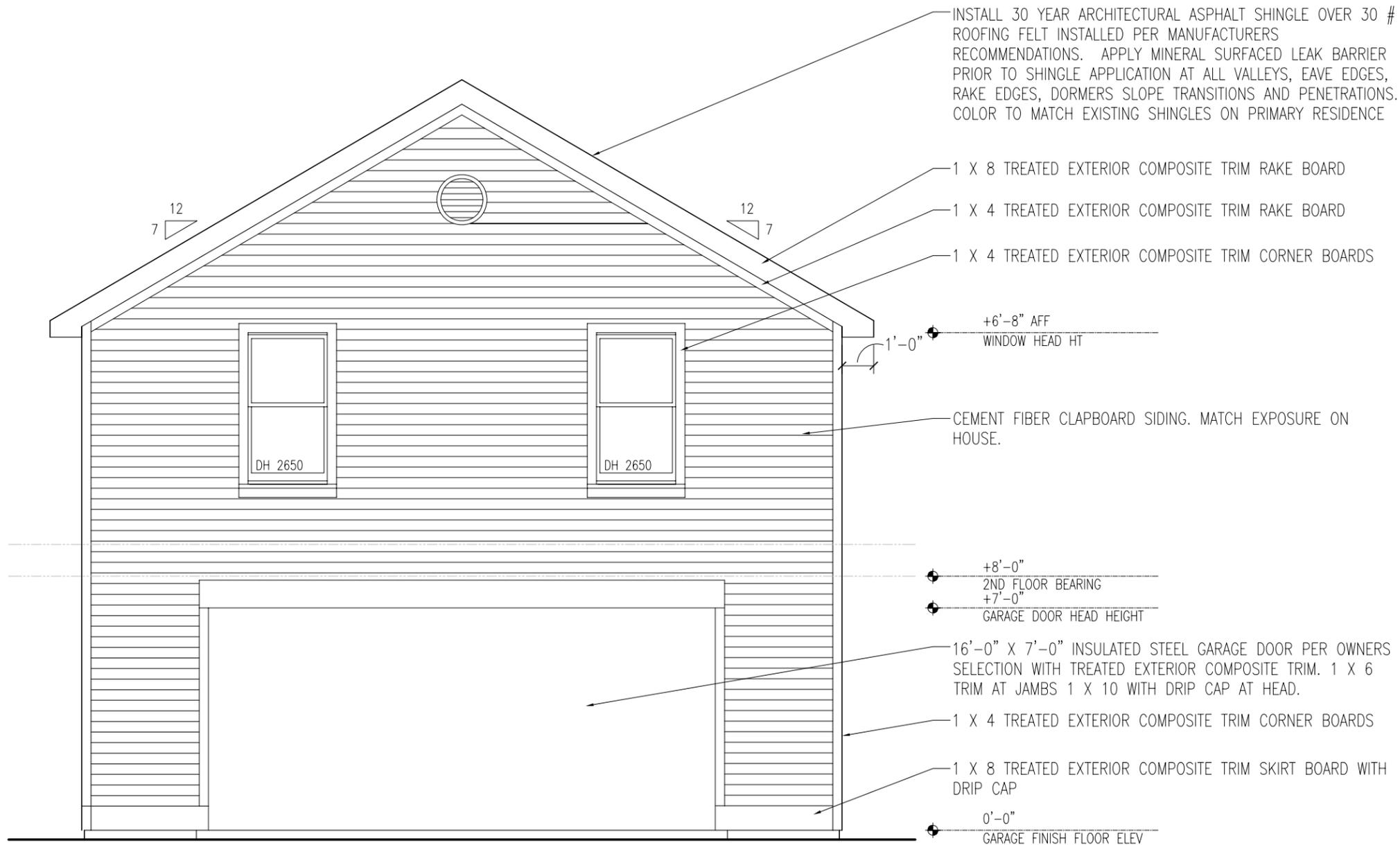


BEN MOSLEY 1319 ADAMS STREET #200
NASHVILLE TN 37208 615-473-6795

PROJECT:
EASTERLY-SEALS GARAGE
1216 5TH AVE NORTH
NASHVILLE TN 37208

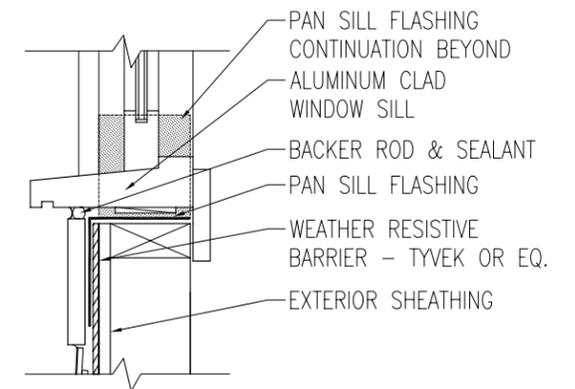
BEN MOSLEY ARCHITECTURE
1319 ADAMS STREET #200
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WINDOW HEAD DETAIL

1 1/2" = 1'-0"



WINDOW SILL DETAIL

1 1/2" = 1'-0"

DRAWING:
EAST ELEVATION

DATE 8-25-12 SCALE 1/4"=1'-0"

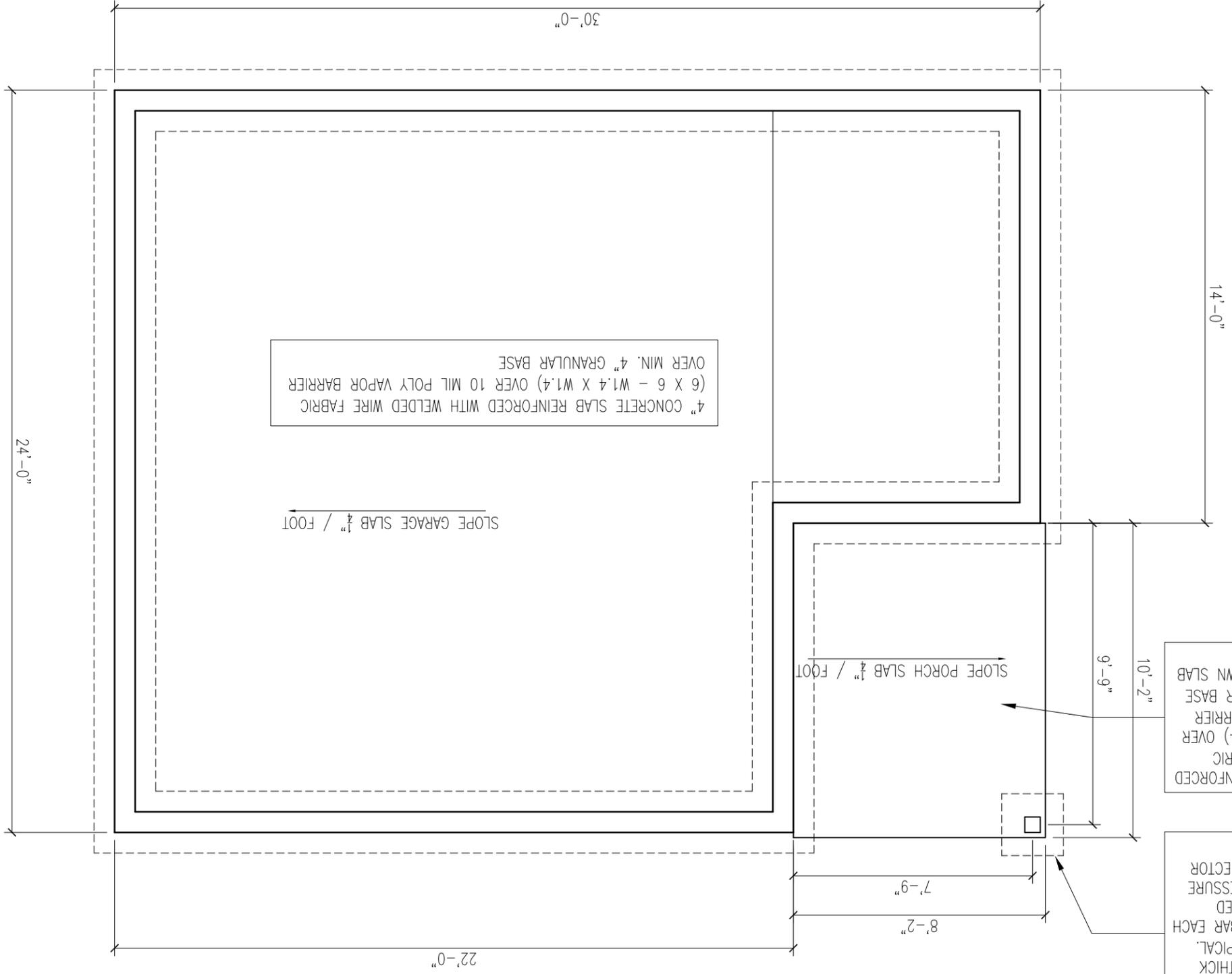
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2'-0" X 2'-0" X 12" THICK
 COLUMN FOOTING - TYPICAL.
 PROVIDE THREE #5 REBAR EACH
 WAY. PROVIDE GALVANIZED
 FOOTING TO 6 X 6 PRESSURE
 TREATED COLUMN CONNECTOR
 WITH STANDOFF BASE.

4" CONCRETE SLAB REINFORCED
 WITH WELDED WIRE FABRIC
 (6 X 6 - W1.4 X W1.4) OVER
 10 MIL POLY VAPOR BARRIER
 OVER MIN. 4" GRANULAR BASE
 WITH MIN. 8" TURN DOWN SLAB
 EDGE.

SLOPE PORCH SLAB 1/4" / FOOT

SLOPE GARAGE SLAB 1/4" / FOOT

4" CONCRETE SLAB REINFORCED WITH WELDED WIRE FABRIC
 (6 X 6 - W1.4 X W1.4) OVER 10 MIL POLY VAPOR BARRIER
 OVER MIN. 4" GRANULAR BASE

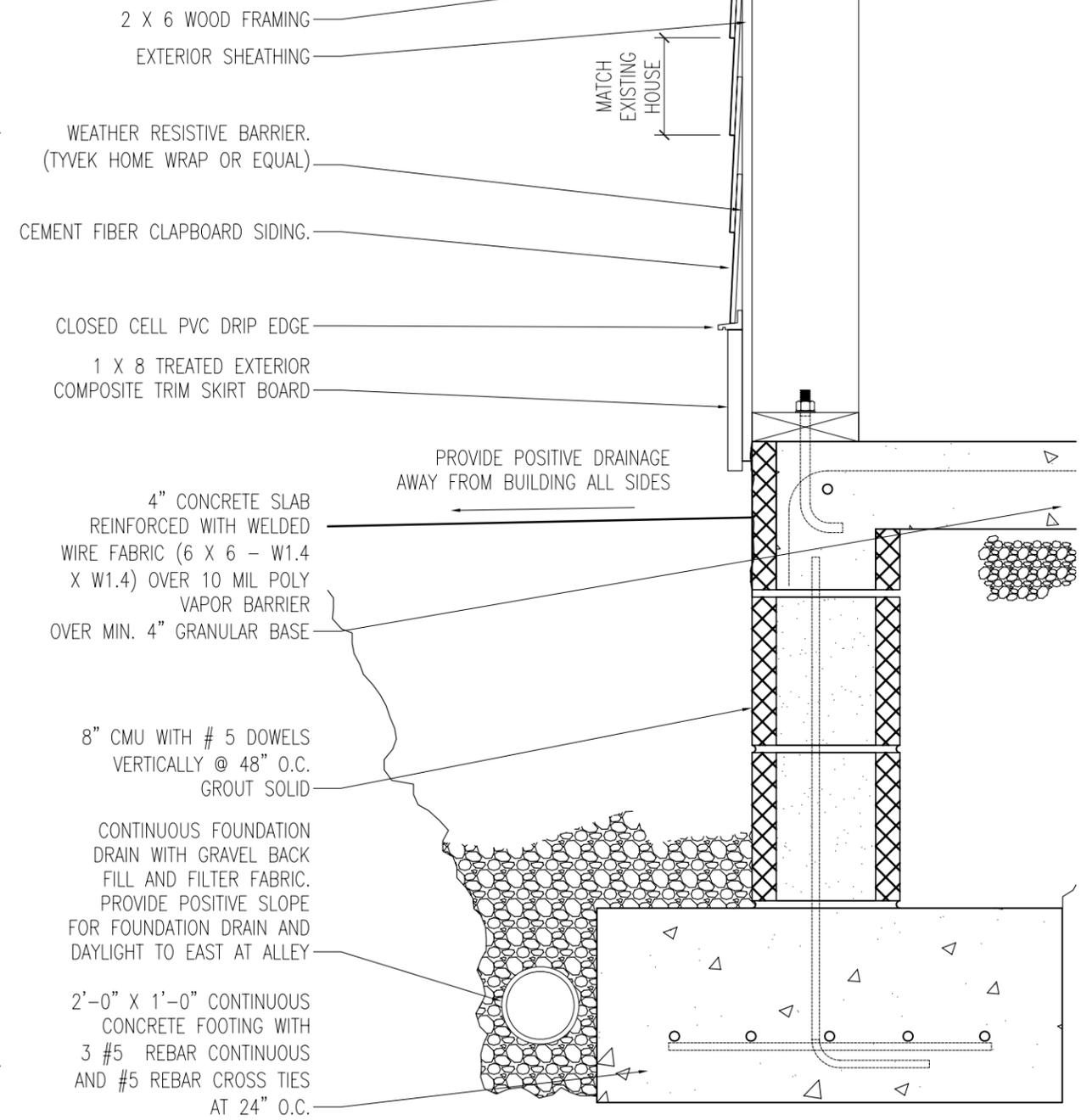
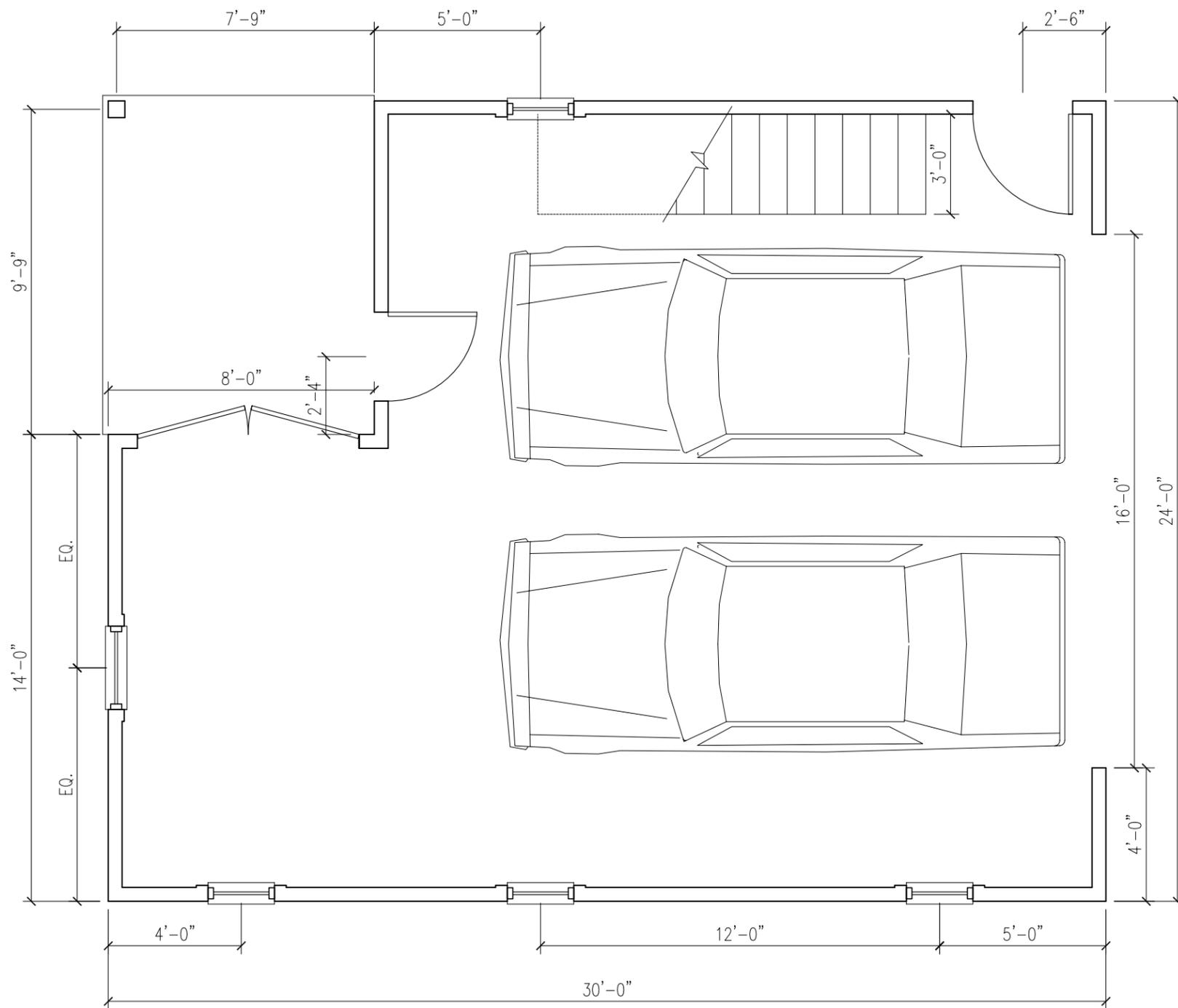
1/3 SLAB
 THICKNESS

SLAB REINFORCING
 - SEE PLAN

SLAB ON GRADE JOINTS
 NOT TO SCALE

SEE
 PLAN

1/8" X 1/4" DEPTH OF
 SLAB SAW CUT JOINT



SECTION DETAILS – TYPICAL FOOTING AND WALL
 1 1/2" = 1'-0"

DRAWING:
 GARAGE PLAN

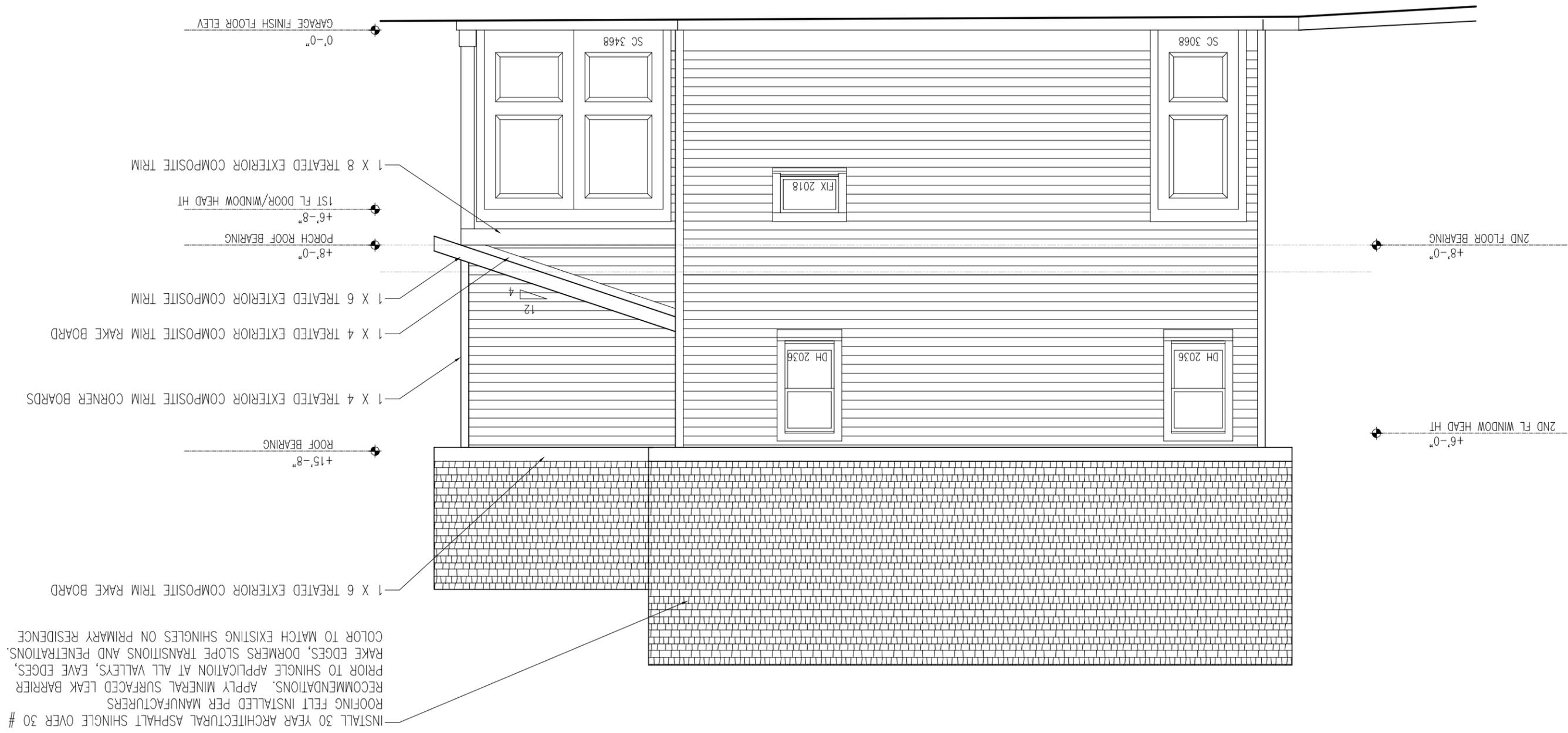
DATE 8-25-12 SCALE 1/4"=1'-0"

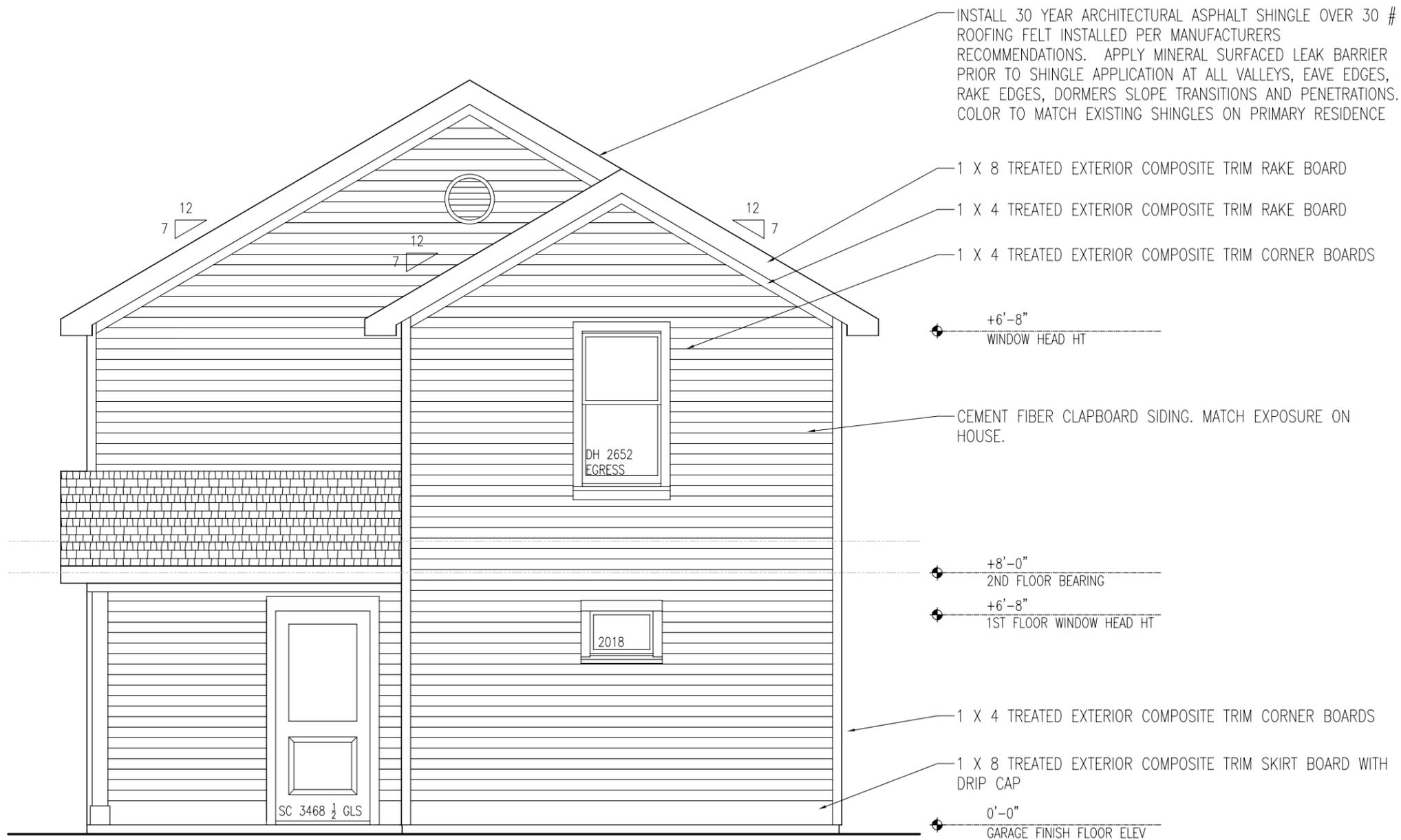
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BEN MOSLEY ARCHITECTURE BEN M
 BEN MOSLEY 1319 ADAMS STREET #200
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INSTALL 30 YEAR ARCHITECTURAL ASPHALT SHINGLE OVER 30 # ROOFING FELT INSTALLED PER MANUFACTURERS RECOMMENDATIONS. APPLY MINERAL SURFACED LEAK BARRIER PRIOR TO SHINGLE APPLICATION AT ALL VALLEYS, EAVE EDGES, RAKE EDGES, DORMERS SLOPE TRANSITIONS AND PENETRATIONS. COLOR TO MATCH EXISTING SHINGLES ON PRIMARY RESIDENCE

- 1 X 8 TREATED EXTERIOR COMPOSITE TRIM RAKE BOARD
- 1 X 4 TREATED EXTERIOR COMPOSITE TRIM RAKE BOARD
- 1 X 4 TREATED EXTERIOR COMPOSITE TRIM CORNER BOARDS

+6'-8"
WINDOW HEAD HT

CEMENT FIBER CLAPBOARD SIDING. MATCH EXPOSURE ON HOUSE.

+8'-0"
2ND FLOOR BEARING

+6'-8"
1ST FLOOR WINDOW HEAD HT

1 X 4 TREATED EXTERIOR COMPOSITE TRIM CORNER BOARDS

1 X 8 TREATED EXTERIOR COMPOSITE TRIM SKIRT BOARD WITH DRIP CAP

0'-0"
GARAGE FINISH FLOOR ELEV

DRAWING:
WEST ELEVATION

DATE 8-25-12 SCALE 1/4"=1'-0"

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NASHVILLE TN 37208

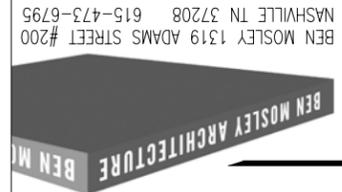
ALLEY ELEVATION



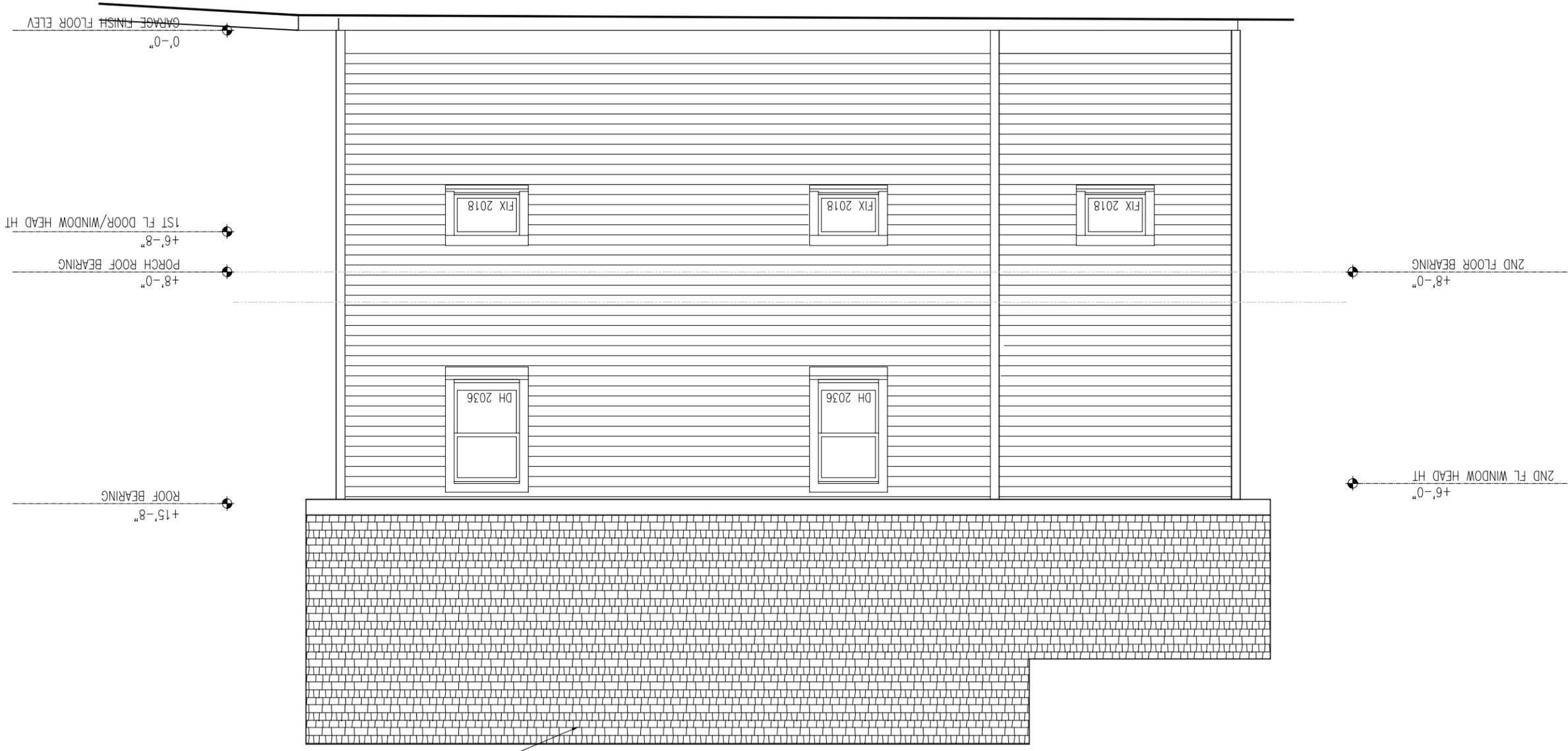
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ALLEY ELEVATION



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RAKE EDGES, DORMERS SLOPE TRANSITIONS AND PENETRATIONS.
COLOR TO MATCH EXISTING SHINGLES ON PRIMARY RESIDENCE