



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 1708 Cedar Lane February 20, 2013

Application: New Construction – Outbuilding
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11704024100
Applicant: Kaitlyn Smous, Allard Ward Architects
Project Lead: Michelle Taylor, michelle.taylor3@nashville.gov

Description of Project: Applicant proposes to construct a one-story outbuilding located toward the rear of the lot. On January 31, 2013 Staff issued a permit for a rear addition to this historic two-story home. The outbuilding was not approved at that time as a setback reduction was required and setback reductions may only be approved by the Commission.

Recommendation Summary: Staff recommends approval with the conditions that:

- The driveway is no more than twelve feet (12') at the curb; and
- Staff review roofing material and color as well as all window, door, trim and lighting materials before purchase and installation.

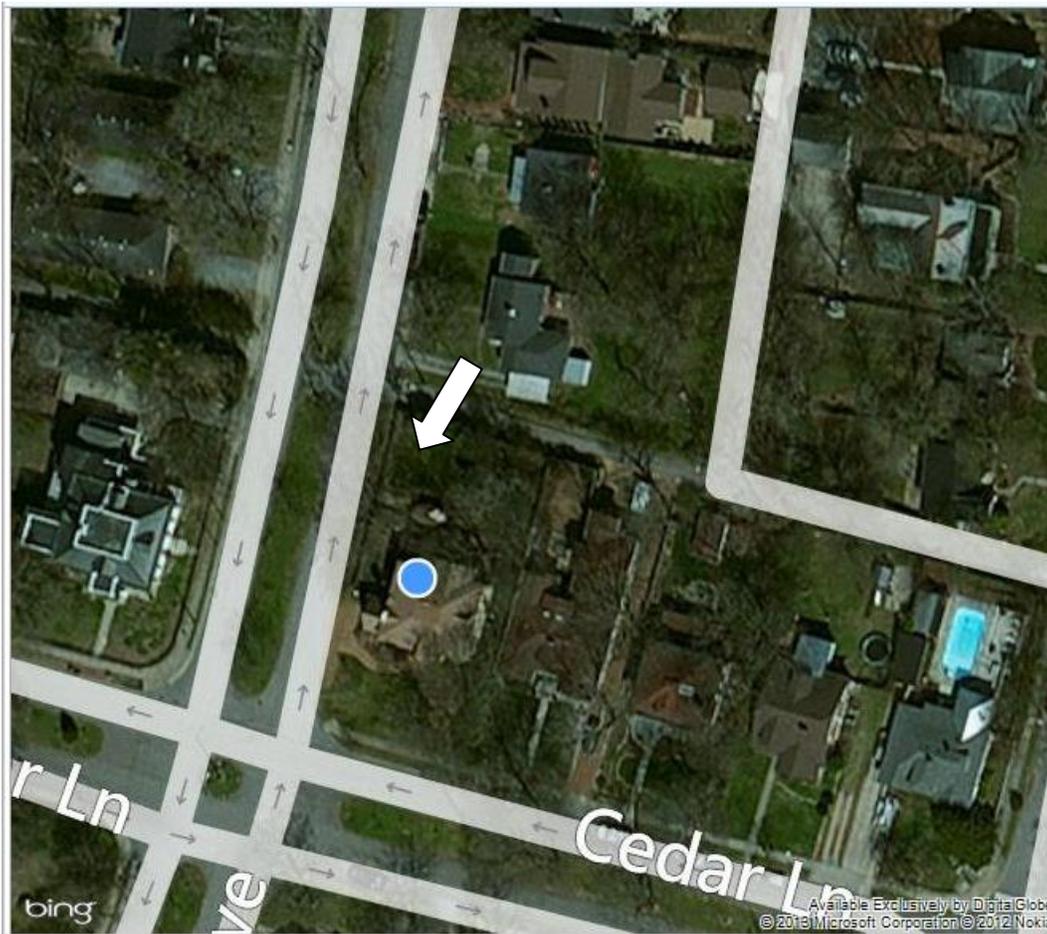
With these conditions staff finds the application to meet section II.B.1.i of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Design Guidelines*.

Attachments
A: Photographs
B: Site Plan
D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

I. Outbuildings

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be

wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
Stud wall lumber and embossed wood grain are prohibited.
Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.
Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
Generally, attached garages are not appropriate; however, instances where they may be are:
· Where they are a typical feature of the neighborhood; or
· When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Background:

Applicant proposes to construct a one-story outbuilding located toward the rear of this corner lot. On January 31, 2013 Staff issued a permit for a rear addition to this historic two-story home. The outbuilding was not approved at that time as a setback reduction was required and setback reductions may only be approved by the Commission.

Analysis and Findings:

Height & Scale: The massing of the outbuilding is subordinate to the historic home. The garage is eighteen feet (18') tall from grade compared to the existing house which is approximately twenty-seven feet (27') tall from grade. The eave height is fourteen feet (14') to grade compared to the existing house which is twenty-three feet (23') to grade. The footprint of the outbuilding is approximately five hundred and four square feet (504 sq ft) compared to the existing house which has a footprint under two-thousand square feet (2000 sq ft), before the recent addition.

The open space will be approximately 73% including the existing house with addition and the outbuilding. Historic lots in the general area have approximate open space ratios of between sixty percent and ninety percent (60%-90%).

The project meets section II.B.a and b. of the design guidelines.

Location and Setback: The proposed outbuilding is located towards the rear of the property, as seen historically in this neighborhood. The proposed location for the outbuilding meets the required five foot (5') rear setback and well exceeds the required three foot (3') side setback on the right. However, for structures of this size with street loading, Codes requires a street setback of twenty feet (20').

As proposed, the outbuilding would be setback three feet, two inches (3'2") on the left, which is the street loading side. Staff finds the reduction of the side setback appropriate for several reasons. First, the locations of historic outbuildings were of minimal distance from alleys and streets and additionally, there is a ten foot (10') wide public right-of-way between the property line and Brightwood Avenue, which helps to reduce the perceived lack of a setback. For these reasons, staff finds that the proposed location of the outbuilding is appropriate.

The garage is semi-attached by a covered yet open sided breezeway that is approximately five feet (5') wide. Typically garages should not be attached; however the Commission has allowed for narrow covered breezeways that do not have sides, as proposed here.

The proposed driveway is approximately twenty-nine feet (29') wide and generally the Commission has requested that driveways, where they are appropriate should be a single lane. Staff recommends a driveway that is no more than twelve feet (12') at the curb and blooms out to two-lanes deeper into the property. This may require that the building be setback further than what is proposed.

With the condition the driveway is no more than twelve feet (12') at the curb, the project meets section II.B.c of the design guidelines.

Materials, Texture, Details, and Material Color: The exterior material of the new outbuilding will be stucco to match the existing house. The foundation will be concrete slab to grade. The roof material and color are unknown. The window, door, and trim material and lighting design is also unknown at this time. The breezeway will have a roof to match the garage and the stairs beneath will be concrete with a metal railing. With the condition that staff approves the roof material and color; and window, door, lighting, and trim materials prior to installation, staff finds these materials are compatible with the historic house.

The project meets section II.B.d of the design guidelines.

Roof Shape: The seven-twelve (7/12) pitch of the hipped roof is typical for the neighborhood and is compatible to that of the existing house. One dormer is planned but is not street-facing.

The project meets section II.B.e of the design guidelines.

Proportion and Rhythm of Openings: The rhythm of openings matches the surrounding context and is typical of historic outbuildings.

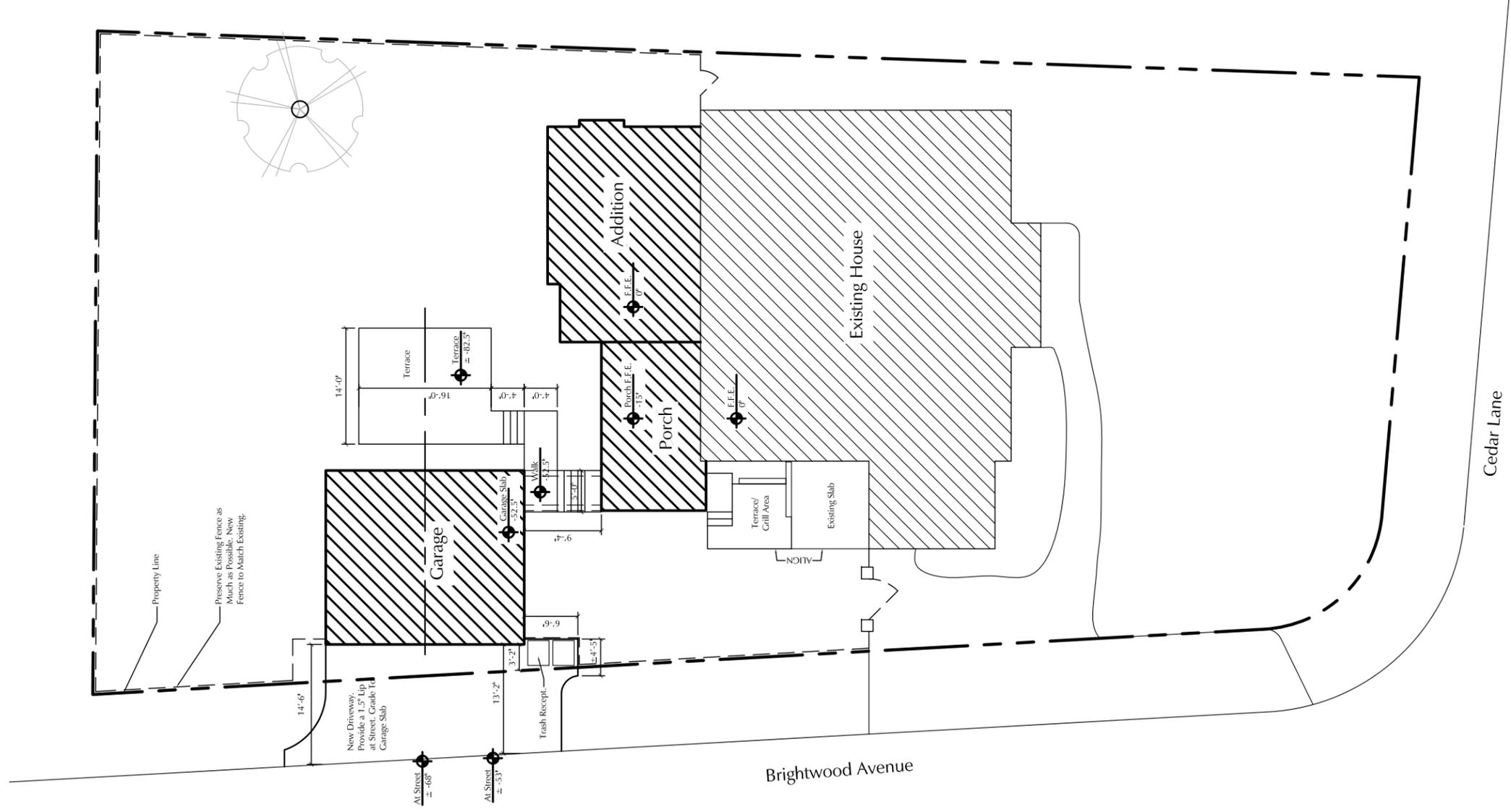
The project meets section II.B.g of the design guidelines.

Recommendation:

Staff recommends approval of the construction of the new outbuilding at 1708 Cedar Lane, with the conditions that the driveway is no more than twelve feet (12') at the curb and that staff review roof material and color as well as all window, door, trim, and lighting materials before purchase and installation, finding the application to meet section II.B.1.i of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Design Guidelines*.

Photographs:





1 Site Plan

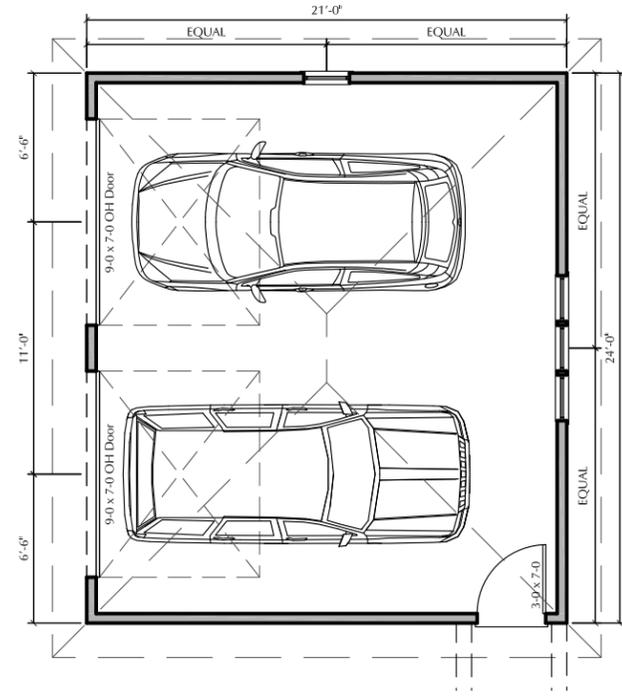


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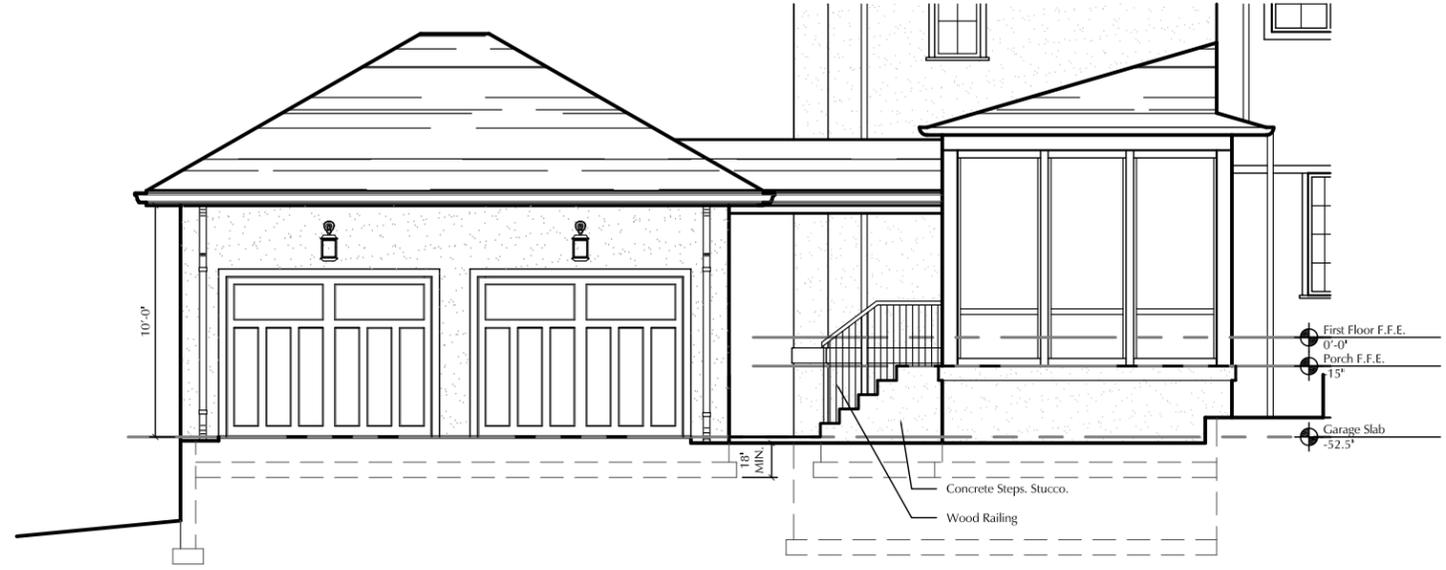
Drawings:
 First Floor Plan
 Second Floor Plan
 Date: 01.29.13

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
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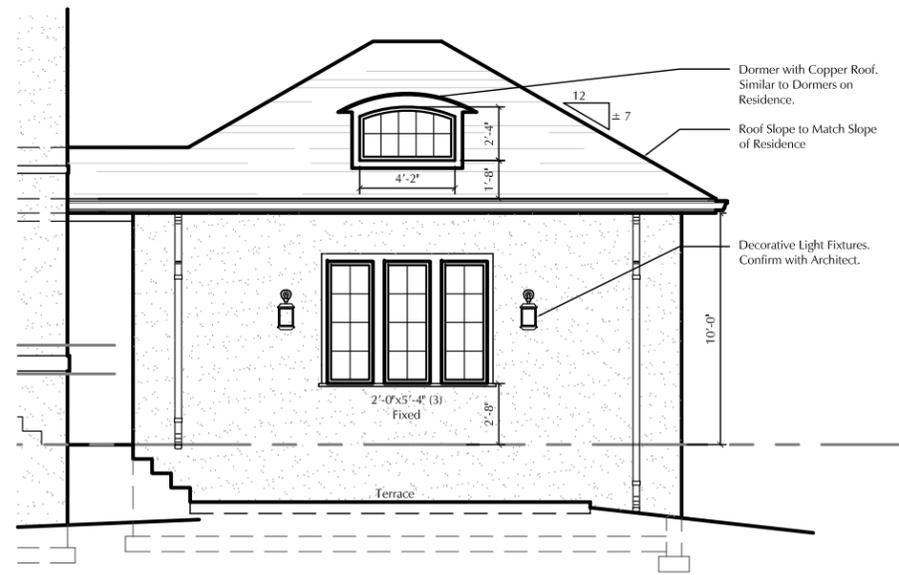
Addition and Renovations for:
The Anderson Residence
 1708 Cedar Lane
 Nashville, Tennessee



1 Garage Floor Plan
 Scale: 1/8" = 1'-0"
 2' 1' 0 2' 4' 6' 8' 12'



2 Garage West Elevation
 Scale: 1/8" = 1'-0"
 2' 1' 0 2' 4' 6' 8' 12'



3 Garage East Elevation
 Scale: 1/8" = 1'-0"
 2' 1' 0 2' 4' 6' 8' 12'



4 Garage North Elevation
 Scale: 1/8" = 1'-0"
 2' 1' 0 2' 4' 6' 8' 12'

Addition and Renovations for:
The Anderson Residence
 1708 Cedar Lane
 Nashville, Tennessee
 MHZC PRESERVATION PERMIT APPLICATION

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Drawings:
 Garage Floor Plan
 and Elevations
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