



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1808 Sweetbriar Avenue February 20, 2013

Application: Demolition; New construction-primary building
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10416025900
Applicant: Sandi Adams, Rigid Construction
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to demolish a non-contributing building and construct a new one and one-half story house. The house will have a brick exterior on the first story and half-timbering and stickwork in the upperstory. The ridge of the house will be thirty feet (30') above grade, and the width will be forty-six feet (46'), which is consistent with the scale of surrounding historic houses.

Attachments
A: Photographs
B: Site Plan
D: Elevations

Recommendation Summary: Staff recommends approval of the proposed new infill with the conditions that:

1. The foundation height be uniform on the primary facades of the building;
2. The porch floor slabs be increased to eight inches (8") in thickness;
3. The front porch depth be increased to six feet (6');
4. The window configuration on the front elevation be revised to be more appropriate to the type of window openings found in the district;
5. The windows in masonry walls have typical brick molding;
6. The eave overhangs be extended to eighteen inches (18");
7. Revised drawings be submitted to reflect any and all approved conditions;
8. Staff approve the brick color and texture and the half-timber stickwork; and
9. The lap siding have a minimum reveal of five inches (5").

With those conditions met, staff finds that the proposed infill would meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.

Applicable Design Guidelines:

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 91.65 of the historic zoning ordinance.

Background: The house at 1808 Sweetbriar Avenue is a one story brick Minimal-Ranch house.



Analysis and Findings: The applicant proposes to demolish the house in order to construct a new one and one-half story house and a detached garage.

Demolition

The lot was platted in 1950, and the house was constructed shortly thereafter. Because it was built after the significant period of development for this portion of the district, it is not considered to be contributing to the historic character of the district. Because the house does not contribute to the historic character of the district, demolition meets guideline III.B.2.b.

Height, Scale

The new building will be one and one-half stories tall, with a side gabled roof ridge at thirty-feet (30') above grade. The house will have a foundation height of twenty-four inches at the front, and an eave height of twelve feet (12'). These heights are consistent with surrounding houses. The new house will be approximately five feet (5') taller than the closest historic houses, but similar to other historic Craftsman houses nearby. Additionally, the perceived height of the new building will be somewhat lessened because it is near the bottom of a low spot on Sweetbriar Avenue. Staff finds the heights of the new lot to be compatible with those of surrounding historic houses, and meet guideline II.B.1.a.

The foundation height of the house will be two feet (2') which is generally consistent with that of historic houses, with the exception of the foundation on the porches which would be eight inches (8") taller. Instead of having a taller foundation, staff finds that having a uniform foundation height but increasing the thickness of the porch floor slabs to eight inches (8") would be more appropriate. Additionally, staff finds that the front porch depth should be increased to at least six feet (6'), as is typical of historic porches.

The front façade will be forty-six feet (46') wide, and the house will be fifty-six feet (56') deep (front-to-back) on the left side. The width of the historic context varies between approximately thirty five and fifty feet (35'-50'). The rear of the house will be asymmetrical giving the right side a saltbox-type higher rear eave, giving the right side of the house nine feet (9') less depth. With these dimensions, the house will leave seventy-eight percent (78%) of the lot remaining as open space. Properties in the immediate vicinity have open space ratios ranging between approximately seventy percent and ninety-three percent (70%-93%). Staff therefore finds that the proportions of the new house and the ration of open space are comparable in scale to historic houses nearby.

Setbacks, Rhythm of Spacing

The house will have a sixty-one foot (61') front setback, matching the front setbacks of other historic houses on Sweetbriar Avenue. The right side setback will be five feet (5') and the left will be twenty-one feet (21'). Although the setback on the left is wider than is typical of the area, and is not consistent with the rhythm of spacing between historic houses, it is necessary to accommodate an underground utility easement. Because of the constraints on the left side of the lot, and because the front and side setbacks are compatible with houses in the area, staff finds that the infill meets Section II.B.1.c. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines*.

Materials

The foundation is split-face block; the siding is brick, lap siding and half timbering and stickwork of an unspecified material. The windows are Marvin Integrity double-hung and casements; the door is ¼ light wood and the roof is weatherwood asphalt shingle. The porch pedestal is brick with a composite post and the trim is miratec. Hand rails, if needed, will be wood. All materials are found in the overlay and have been approved by the Commission in the past. With the conditions that the lap siding have a minimum five inch (5") reveal; and that staff approve the brick color and texture and the materials for the half-timber stickwork, the project meets section II.B.d of the design guidelines.

Roof Shape

The primary roof of the new house will be a side-facing gable with an 8:12 pitch. A front facing gable on the first story and a front gabled dormer will be steeper at 12:12. These roof forms are common to both Craftsman and Tudor style houses, and are compatible with the roofs of surrounding historic houses. A rear shed dormer with a 3:12 pitch with its sides set in from the outside walls may be minimally visible, but is also appropriate. The eaves of the house would have a twelve inch (12") overhang, which may be similar to the eaves on Tudor Revival style houses but not on Craftsman. Staff finds that an eighteen inch (18") wide eave overhang would be more in keeping with the two style elements present on the proposed infill. *A mix of styles is common, even historically.*

The Commission has typically requested the dormers sit off the ridge by a minimum of two feet (2') and the proposed is only one foot (1') off the ridge.

With the condition that the dormer sit off the ridge by a minimum of two feet (2'), staff finds the roofs would be in compliance with guideline II.B.1.e.

Orientation

The new building will be aligned with the front wall parallel to Sweetbriar Avenue, with a walkway leading directly from the center of the house to the street. This orientation matches the context of historic houses nearby and meets guideline II.B.f.

Proportion and Rhythm of Openings

The spacing of windows on the front and side elevations on the new building will be asymmetrical but not unlike the window patterns found on historic Tudor Revival style houses. Staff finds the placement of windows to meet guideline II.B.1.g. However, staff finds the configuration of a double window flanked with two sidelights on the front wall (Master Suite on floorplan) to be inappropriate and more typical of an entrance than a window opening. The elevations show wide casing trim around the windows in both the first story masonry walls and the upperstory frame walls. Windows in masonry walls should have brick mold and elsewhere the trim should be four inch (4") flat casings. Staff finds that with a revision of the configuration of the front-left window to something more typical of the rhythm of openings found in the district, and with brick mold used around windows in masonry walls only, the proportion and rhythm of windows will meet guideline II.B.1.g.

Utilities

The mechanical systems will be at the rear of the structure so as to minimize their visibility, which meets guideline II.B.1.h.

Recommendation

Staff recommends approval of the proposed new infill with the conditions that:

1. The foundation height be uniform on the primary facades of the building;
2. The porch floor slabs be increased to eight inches (8") in thickness;
3. The front porch depth be increased to six feet (6');
4. The window configuration on the front elevation be revised to be more appropriate to the type of window openings found in the district;
5. The windows in masonry walls have typical brick molding;
6. The eave overhangs be extended to eighteen inches (18");
7. Revised drawings be submitted to reflect any and all approved conditions;
8. Staff approve the brick color and texture and the half-timber stickwork; and
9. The lap siding have a minimum reveal of five inches (5").

With those conditions met, staff finds that the proposed infill would meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



1808 Sweetbriar Avenue

FLOOR PLAN NOTES:

- DIMENSIONS:** EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR WALLS:** ALL EXTERIOR WALLS TO BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- INTERIOR WALLS:** ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- PLUMBING WALLS:** ALL PLUMBING WALLS TO BE 2x6 @ 16" O.C. AND ARE NOTED ON PLAN.
- ANGLED WALLS:** ALL ANGLED WALLS ARE AT A 45° INCREMENT UNLESS OTHERWISE NOTED.
- FRAMING:** FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED, AND INCLUDES INSTALLATION OF METAL SHIMS AND HOUSE WRAP.
- EMERGENCY EGRESS:** AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ. FT. w/ THE SILL HGT BEING NO MORE THAN 44" MAX A.F.F.
- WALKWAYS:** THERE IS A 36" MIN. CLEAR WITH AT ALL HALLWAYS, STAIRS, TO KITCHEN ISLANDS, ETC.
- CEILING HGTS:** FIRST FLOOR TO HAVE 10' FLT. HGT., SECOND FLOOR TO HAVE 8' FLT. HGT. W/ 9' VAULTED CEILING HGT PER PLAN. ALL HEATED AREAS TO HAVE A FINISHED CLG HEIGHT OF 8'-0" MIN. UNLESS OTHERWISE NOTED.
- HEADER HGTS:** WINDOW HEADERS TO BE PLACED @ 6'-10" UNLESS OTHERWISE NOTED.
- ATTIC ACCESS:** ATTIC ACCESS AS NOTED ON PLAN.
- ATTIC FLOORING:** PROVIDE 4' x 8' x 3/4" FLOORING SHEETS ALL AROUND P.D.S. WHERE APPLICABLE.
- EXTERIOR STEPS:** NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROX. AND WILL VARY PER LOT.
- UPGRADES:** CONSULT PLANS FOR ADDITIONAL UPGRADES SUCH AS APPLIANCES, PLUMBING FIXTURES, FLOORING, ETC.
- SELECTION ITEMS:** SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY, TO INCLUDE APPLIANCES, CABINET LOCATIONS, WINDOW LOCATIONS, AND BUILT-INS ON PLAN MAY NOT BE INCLUDED.
- ELEVATIONS:** ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROX. GRADE, EXTERIOR STEPS, COLORS, AND MATERIAL LOCATIONS MAY VARY.

SQUARE FOOTAGE:

1ST FLOOR:	2233
2ND FLOOR:	1741
GARAGE BONUS:	432
TOTAL LIVING:	4412
FRONT PORCH:	45
M. BD SIDE PORCH:	64
REAR SIDE PORCH:	82
REAR COVERED DECK:	177
DET. GARAGE:	480
TOTAL COVERED:	5260



RENDERING IS ARTIST'S PERCEPTION. PRIMARY COLORS, LANDSCAPING, MATERIALS, AND GRADE MAY VARY.

THE CANTEBURY

Garage is not included in this application

PROPOSED CONSTRUCTION PLANS FOR 1808 SWEETBRIAR AVE.

TODAY'S DATE:
5 FEB 13

ORIG. DATE:
2/5/13

MOD. DATES:

THESE PLANS ARE PROTECTED FROM FLAGIARISM ANY USE, REUSE, REPRODUCTION, OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY: **SANDI**

PREPARED FOR: **RIGID DEVELOPMENT**

SCALE: **11 X 17 PRINT: 1/8" = 1'-0"**
24 X 36 PRINT: 1/4" = 1'-0"

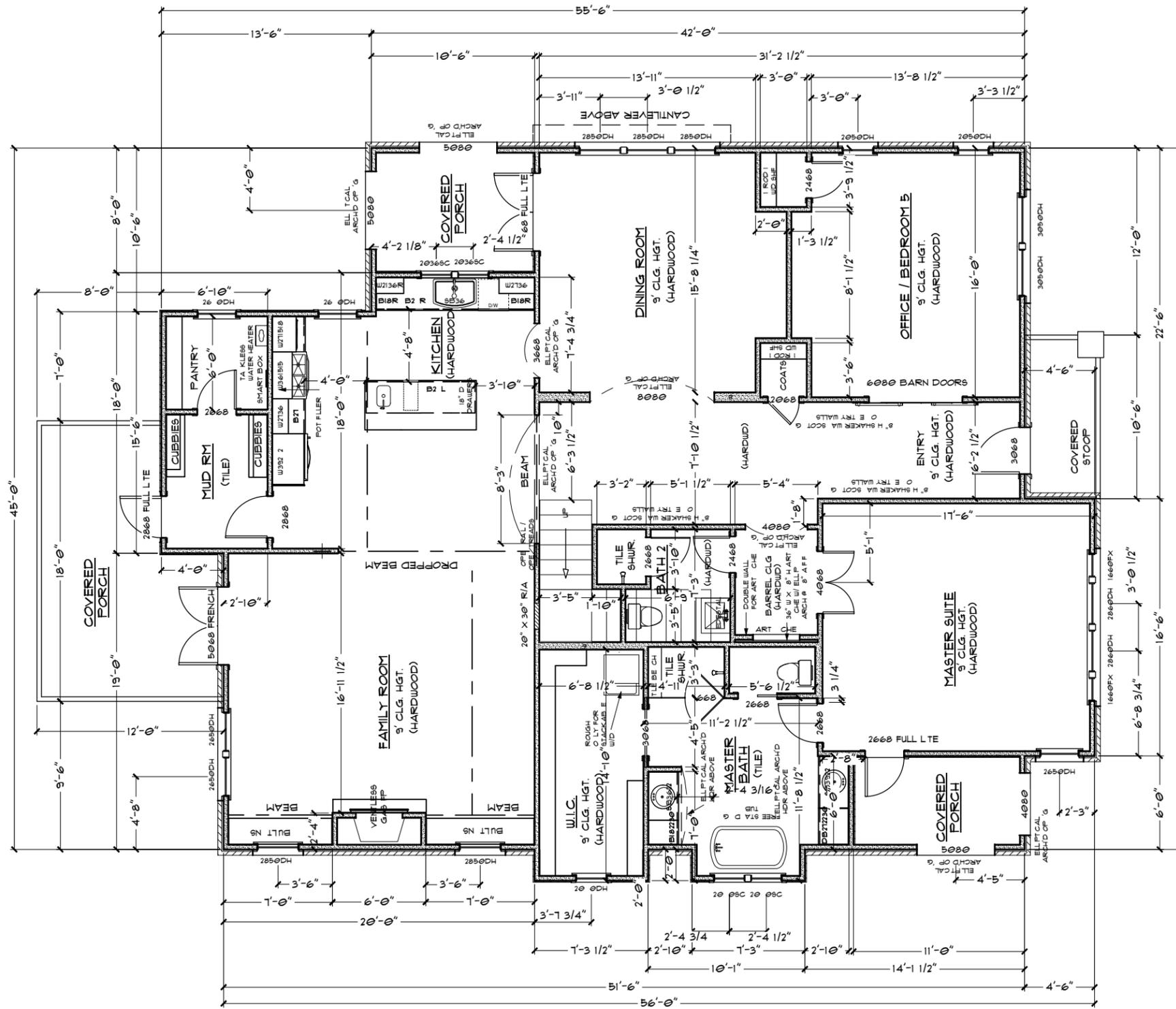
SITE ADDRESS: **1808 SWEETBRIAR**



COVER

SHEET NO.:

1 OF 6



SQUARE FOOTAGE:

1ST FLOOR:	2233
2ND FLOOR:	1747

FIRST FLOOR PLAN

TODAY'S DATE:
5 FEB 13

ORIG. DATE:
2/5/13

MOD. DATES:

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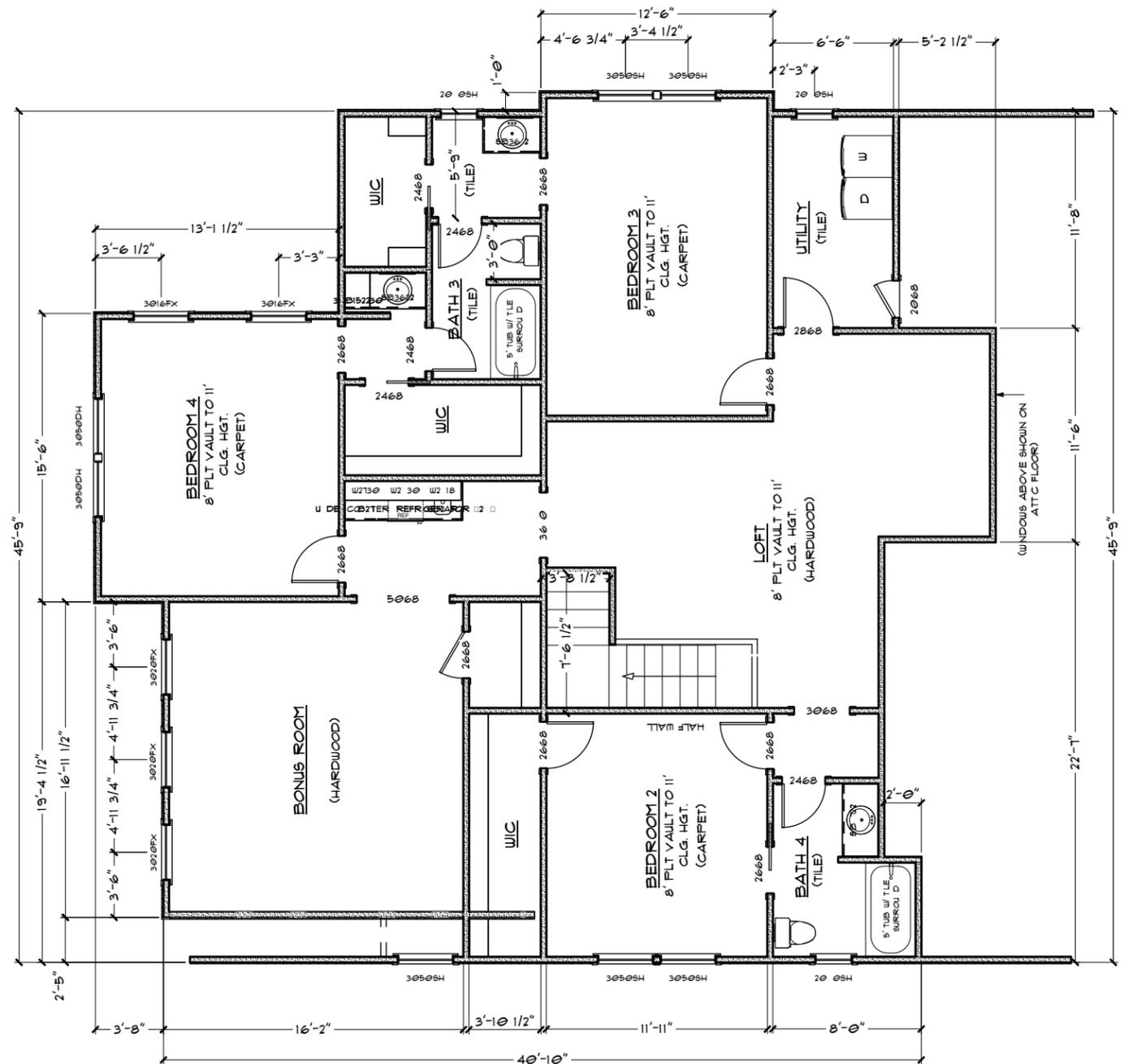
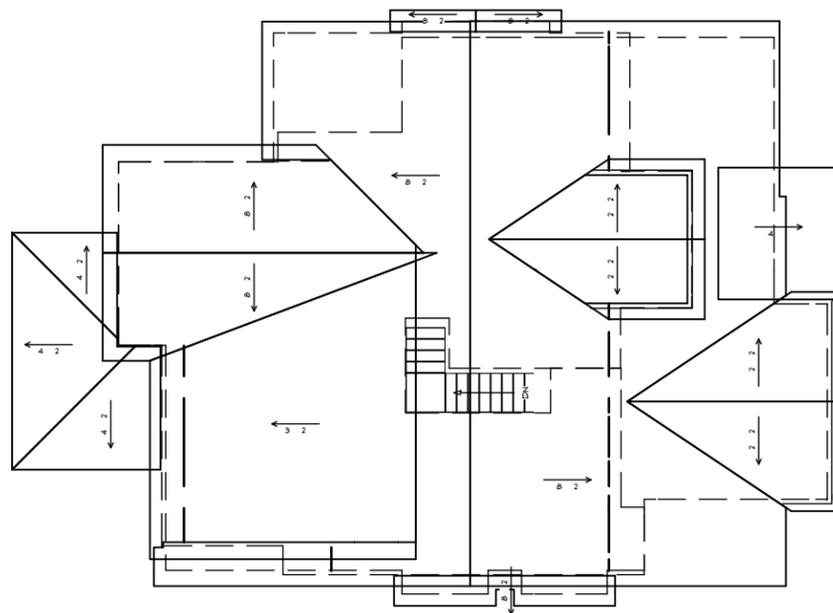
FLOOR PLAN

SHEET NO.:

2 OF 6

ROOF PLAN

NOT TO SCALE



SECOND FLOOR PLAN

SQUARE FOOTAGE:

1ST FLOOR:	2233
2ND FLOOR:	1747
GARAGE BONUS:	432
TOTAL LIVING:	4412
FRONT PORCH:	45
M. BD SIDE PORCH:	64
REAR SIDE PORCH:	82
REAR COVERED DECK:	177
DET. GARAGE:	480
TOTAL COVERED:	5260

TODAY'S DATE:
5 FEB 13

ORIG. DATE:
2/5/13

MOD. DATES:

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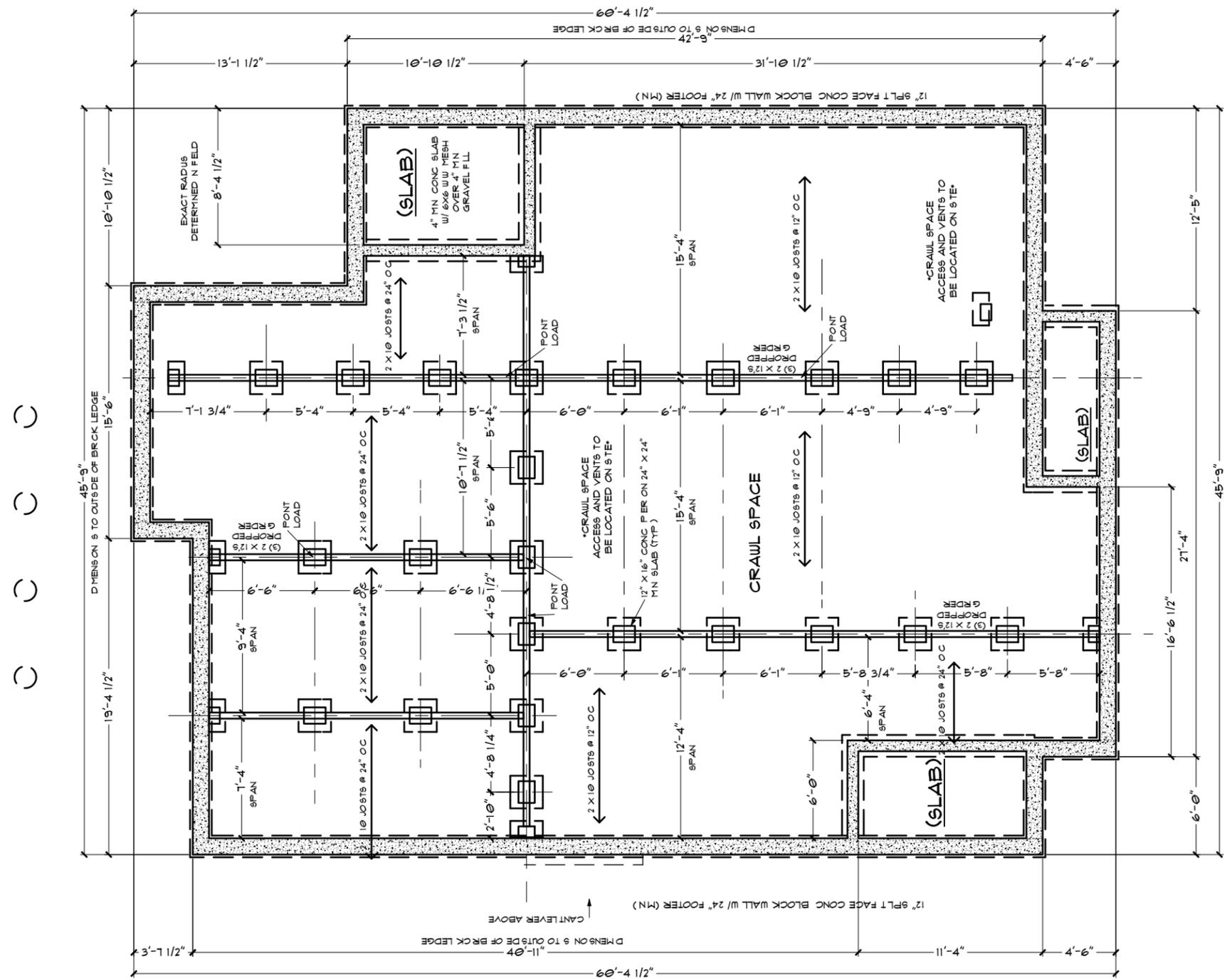
SITE ADDRESS: 1808 SWEETBRIAR



FLOOR PLAN 2

SHEET NO.:

3 OF 6



CRAWL FOUNDATION PLAN

FOUNDATION PLAN NOTES:

1. CRAWL SPACE ACCESS AND VENTS TO BE LOCATED ON SITE.
2. PIERS ARE 12" X 16" CONCRETE BLOCK W/ 24" X 24" SLAB FOOTER (MIN)
NUMBER OF PIERS FOR THIS PLAN = 22, AND 8 HALF PIERS.
3. TYPICAL BEAMS USED ARE (3) 2 X 12'S, DROPPED GIRDERS 9 1/2"
4. FLOOR SYSTEM SPACING AND JOIST DIRECTIONS ARE NOTED ON PLAN.
5. FLOOR SYSTEM TYPICALLY DESIGNED W/ 11 7/8" I-JOISTS @ 16" O.C. UNLESS OTHERWISE NOTED.
6. DIAGONAL DIMENSIONS ARE FROM CORNER OF BLOCK TO CORNER OF BLOCK.

SQUARE FOOTAGE:

1ST FLOOR:	2233
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GARAGE BONUS:	432
TOTAL LIVING:	4412
FRONT PORCH:	45
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TOTAL COVERED:	5260

TODAY'S DATE:
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ORIG. DATE:
2/5/13

MOD. DATES:

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DRAWN BY: **SANDI**

PREPARED FOR: **RIGID DEVELOPMENT**

SCALE: **11 X 17 PRINT: 1/8" = 1'-0"**
24 X 36 PRINT: 1/4" = 1'-0"

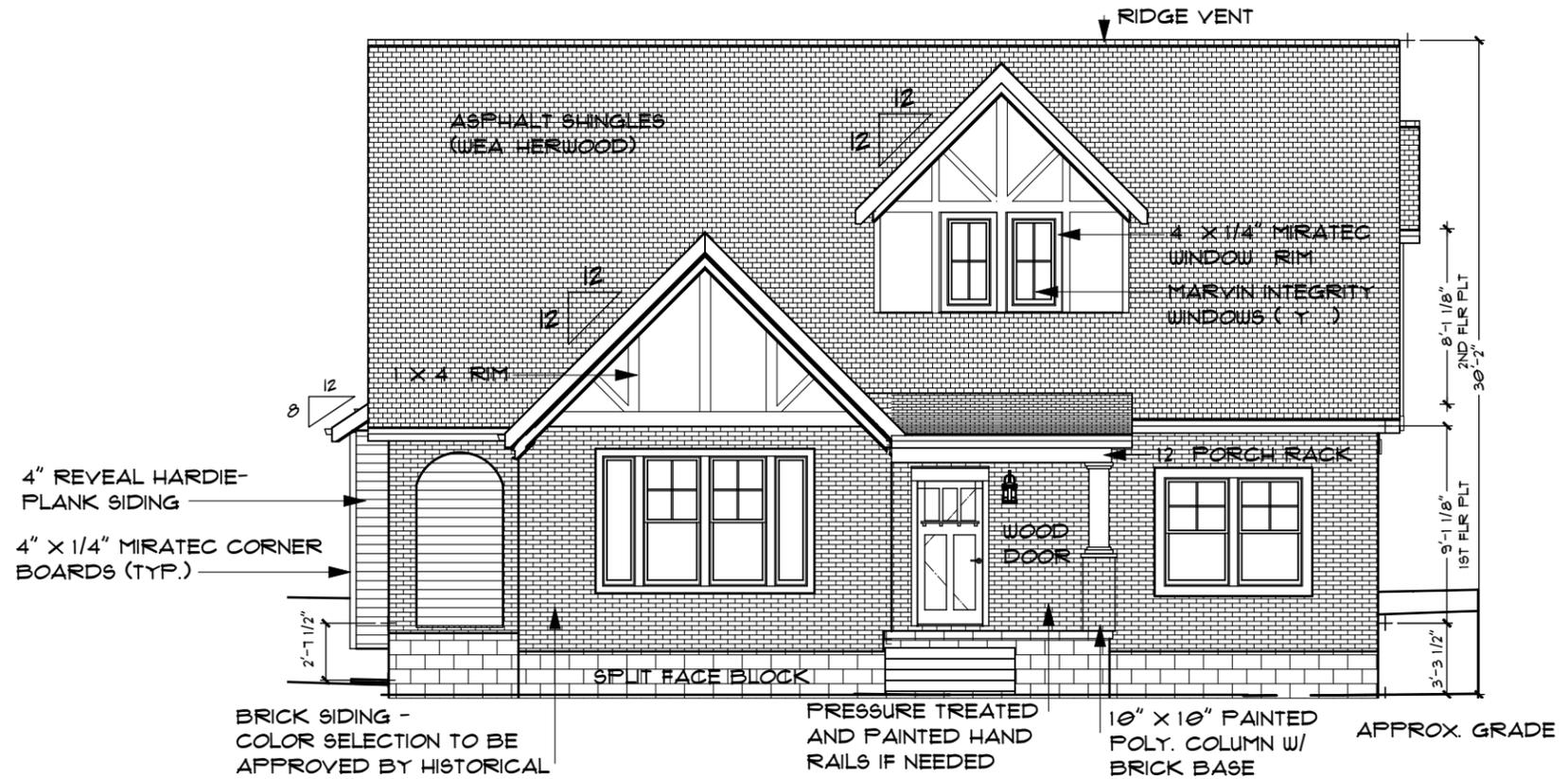
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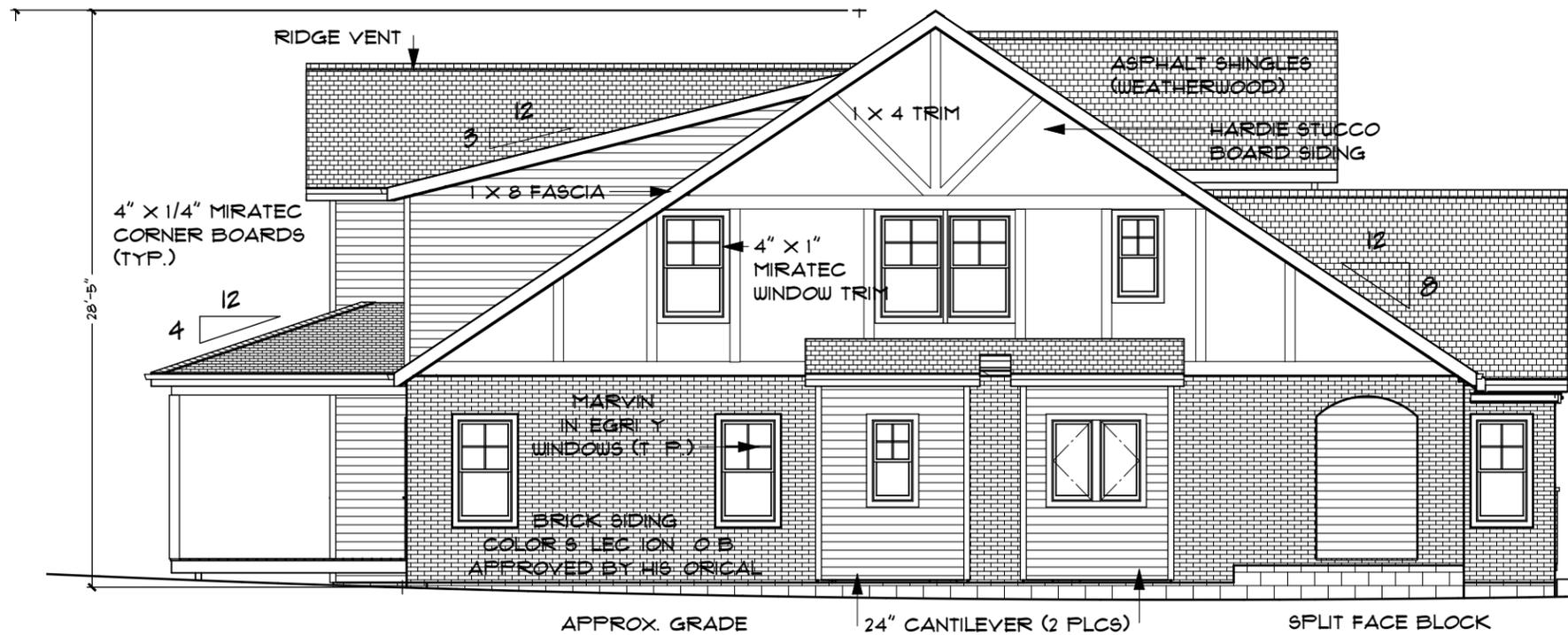
FOUNDATION

SHEET NO.:

4 OF 6



FRONT ELEVATION



LEFT SIDE ELEVATION

TODAY'S DATE:
5 FEB 13

ORIG. DATE:
2/5/13

MOD. DATES:

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DRAWN BY: SANDI

PREPARED FOR: RIGID DEVELOPMENT

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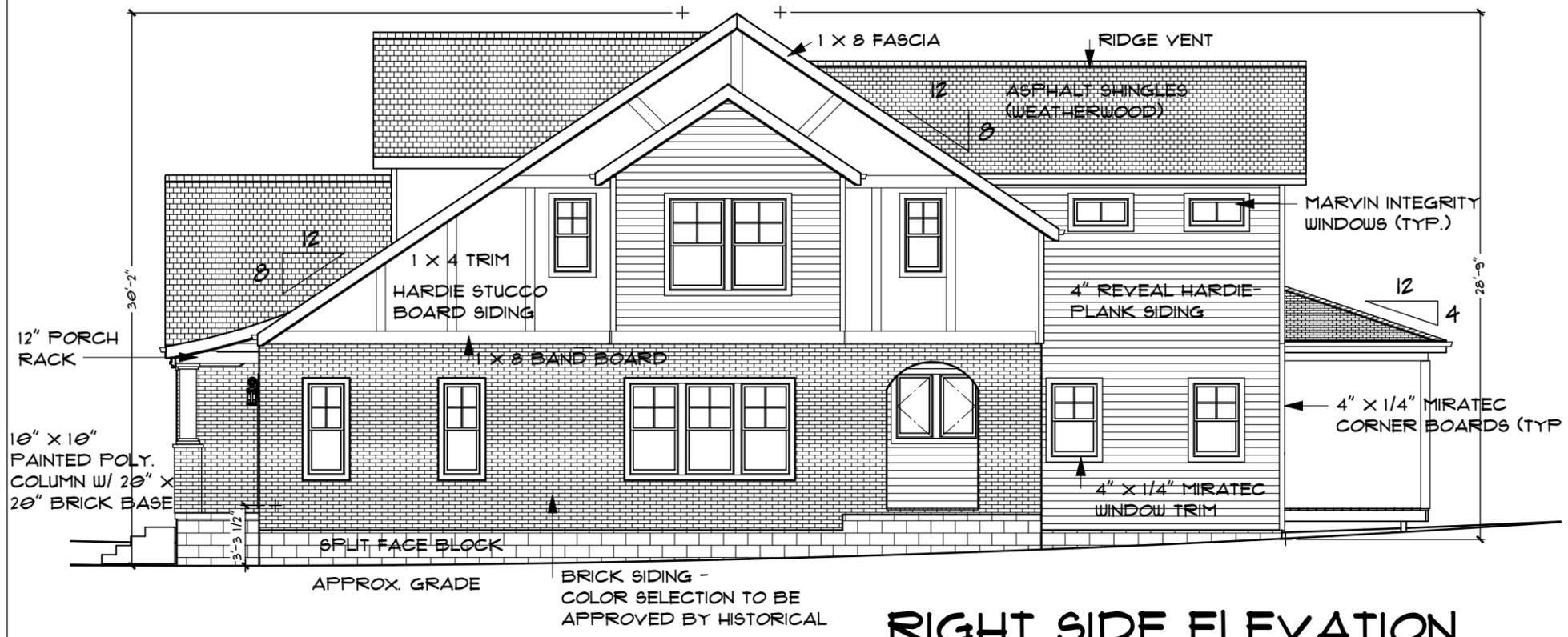
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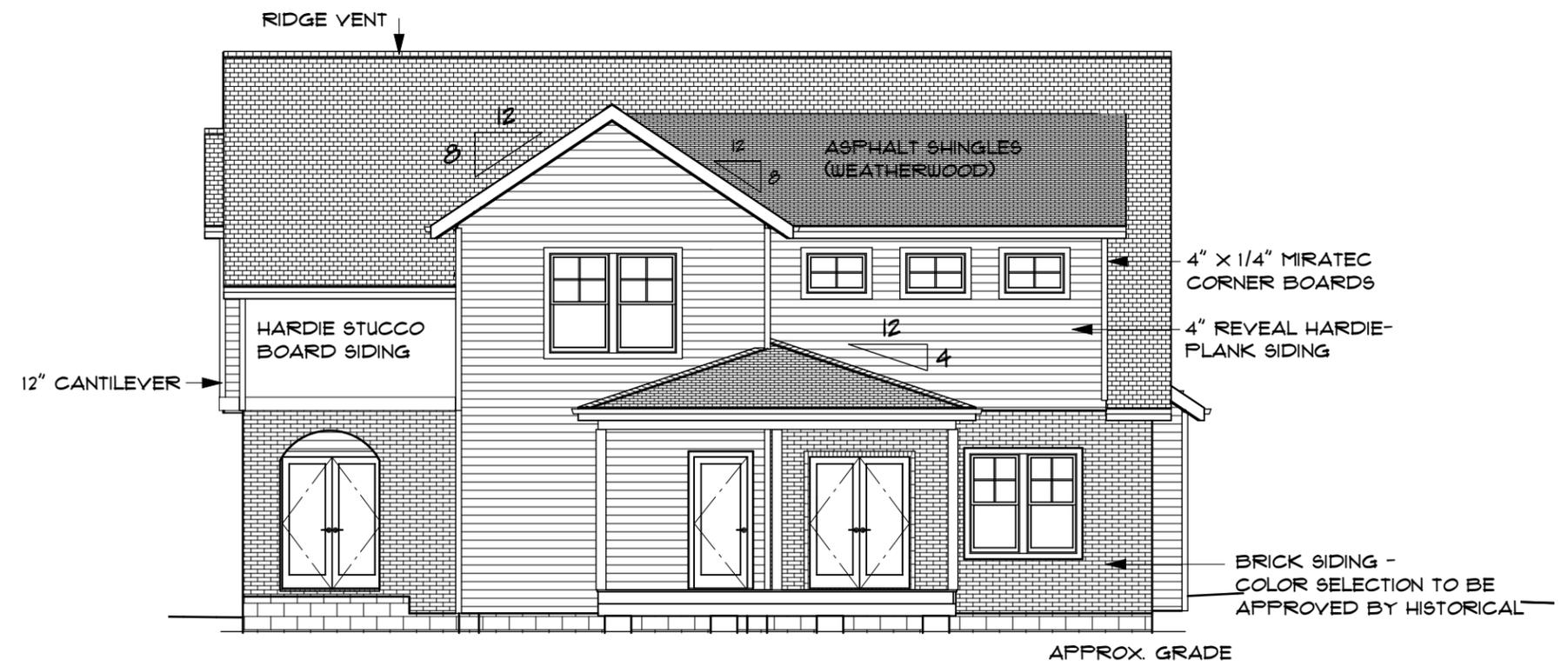
ELEVATIONS 1

SHEET NO.:

5 OF 6



RIGHT SIDE ELEVATION



REAR ELEVATION

TODAY'S DATE:
5 FEB 13

ORIG. DATE:
2/5/13

MOD. DATES:

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SITE ADDRESS: 1808 SWEETBRIAR



ELEVATIONS 2

SHEET NO:
6 OF 6