



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

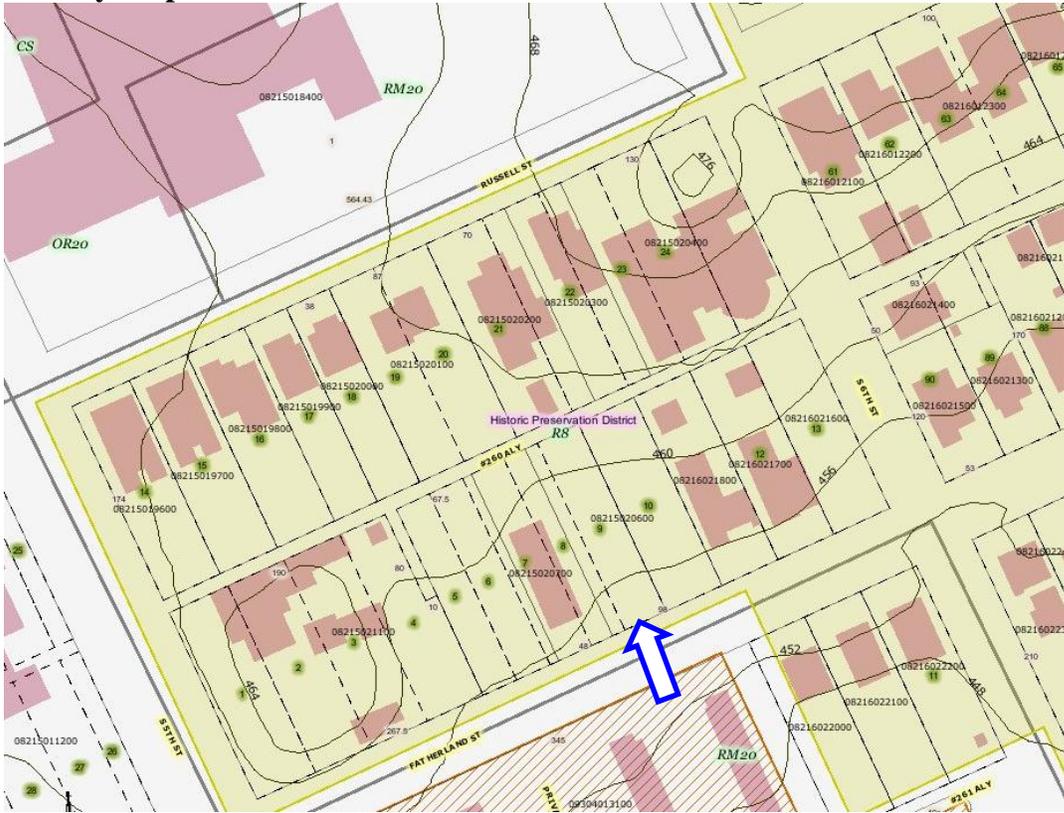
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
513 Fatherland Street
February 20, 2013

Application: New construction -primary structure
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08215020600
Applicant: Peggy Newman
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to construct new primary structure on a vacant lot. The structure will be two stories with a hipped roof.</p> <p>Recommendation Summary: Staff recommends approval of the new primary structure with the following conditions:</p> <ol style="list-style-type: none"> 1. Staff review and approve a brick sample; the windows and doors specifications; the asphalt shingle color; and the material for the porch steps, porch floor, porch columns, and rear deck and deck railing. 2. The rowlock on the projecting bay continue on the left elevation. 3. The utilities be placed in the rear of the house, or on a side façade, beyond the midpoint of the house. 4. Staff review and approve the walkway and parking pad materials. 5. Staff review and approve all appurtenances for the site, including, but not limited to, lighting, fencing, and other landscape features. <p>With these conditions, staff finds that the project meets III.B.2., IV.B.2., and IV.B.4. of the <i>Edgefield Historic Zoning District: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.

The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate. Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear

property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height.
A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

IV.B.4 Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces shall be presented to the MHZC for review for compatibility with the character of the district.

Background: 513 Fatherland is a forty-nine foot wide (49') vacant lot (see Figure 1). The structure at 513 Fatherland Street was demolished sometime between 1951, when it appears on a Sanborn Map, and the creation of the Edgefield Historic Zoning Overlay in 1978.



Figure 1. Vacant parcel at 513 and 515 Fatherland Street

The historic context on the block is limited to the two historic structures at 517 and 519 Fatherland Street, which are both one story in height, and the c. 1930s two-story structure at 538 Fatherland Street, across the street (See Figures 2 & 3). The rest of the block is largely vacant or classified as non-contributing (See Figures 3, 4 & 5).



Figure 2. Historic houses to the right (Nos. 517 & 519)



Figure 3. Historic house at No. 538 and non-contributing structures across the street to the east.



Figure 4. Non-contributing structure to the left of site



Figure 5. Non-contributing structures across the street, to the west, outside of the district.

Analysis and Findings:

Application is to construct new primary structure on the lot that will be subdivided. The structure will be two stories with a hipped roof.

Location, Setback, and Orientation: The structure will be oriented towards Fatherland Street, with a slightly off-center entrance and a porch covering the east half of the structure. The proposal meets all bulk zoning setback requirements. The structure's front wall will match the front setback of the historic house to the east at 517 Fatherland Street, and will be set back approximately thirty-four feet, four inches (34'4") from the front property line. The structure is centered on the lot and will be at least six feet (6') from the two side property lines. Staff finds that the infill meets Sections III.B.2.a. and III.B.2.e. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Height and Building Shape: The proposed structure will be a two-story, gabled-ell. The projecting bay will be brick and the rest of the building will be a lap siding. The

maximum height of the structure is proposed to be twenty-eight feet, nine inches (28'9") from the floor line, or approximately thirty two feet (32') above grade. The height of the structure will be minimized by the hipped roof form, ensuring that the maximum height is not reached until twenty-six feet (26') behind the front wall of the house. The projecting bay will have a lower height. It will have a ridge height of approximately twenty-six feet (26') from grade. Likewise, the rear of the structure will be lower in height, at only one story and between seventeen and nineteen feet tall (17' – 19'). Staff finds that the height of the structure is compatible with the historic structure across the street at 538 Fatherland, which is approximately thirty-feet (30') tall, but with a front gable so that the full height of the house is at the front wall.

The infill will have a maximum width of thirty-five feet, three inches (35'3"). By comparison, the two historic houses at 517 and 519 Fatherland are approximately forty-two feet (42') wide, and the historic house at 538 Fatherland is approximately thirty feet (30') wide. The depth of the infill is sixty-four feet, five inches (64'5"). The two historic houses at Nos. 517 and 519 are deeper, with depths of approximately seventy-six feet (76'). The historic house at No. 538 is shallower, at approximately forty feet (40') deep.

Staff finds that the proposed infill's scale and ratio of open space meets the immediate context. The infill's footprint will be approximately two thousand, one hundred and ninety-six square feet (2,196 sq. ft.), and the percentage of open space for the lot will be seventy-four percent (74%). By comparison, the houses at Nos. 517 and 519 have larger footprints of approximately two thousand, five hundred square feet (2,500 sq. ft.) each and open space ratios of approximately sixty-five percent (65%) each. The house at No. 538 has a smaller foot print of approximately one thousand, one hundred and thirty square feet (1,130 sq. ft.), and a larger ratio of open space at approximately eighty-seven percent (87%). The width, depth, footprint square footage, and open space ratio for the infill fits within the range of these measurements for the historic structures on the block.

The infill's other major measurements also meet the context and design guidelines. The porch depth will be eight feet, four inches (8'4") and the porch eave height will be approximately twelve feet (12'). The eave height of the projecting bay will match that of the main portion of the house, and will be approximately twenty-two feet, six inches (22'6") above grade. The foundation height will be less than three blocks, or two feet (2').

Staff finds that the height, scale and building shape of the proposed infill meets Sections III.B.2. c. and III.B.2.c. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Materials: All of the known materials have been approved by the Commission in the past and meet the design guidelines. The projecting bay will be brick, and staff asks to review a brick sample prior to purchase and installation of the material. Typically, material changes happen at floor levels on historic homes rather than vertically, as proposed here; however, the projecting bay creates its own feature which is appropriate to be of a different material. A rowlock will occur between the first and second stories, at the floor

line, which will help to break up the mass of the brick wall. Staff notes that the rowlock does not appear on the left elevation, and asks that it continue to that façade. The projecting brick bay will be separated from the rest of the house by being in different planes. The rest of the house will be clad in cement fiberboard siding with a five inch (5") reveal. The foundation will be split face concrete block, and the windows and doors will be wood. Staff asks to review and approve the window and door specifications prior to purchase and installation. The roof will be architectural asphalt shingles, and staff asks to review and approve the shingle color. The materials for the front porch steps, porch floor, and porch columns were not specified, and staff asks to approve them prior to purchase and installation. Similarly, the material for the rear deck and rear deck railing was not specified, and staff asks to approve the material.

With the staff's final approval of a brick sample, windows, door, asphalt shingle color, porch steps, porch floor, porch columns, and rear deck and deck railing, and with the continuation of the brick rowlock to the left elevation, staff finds that the materials for the primary structure meet Section III.B.2.g. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Roof: The house's primary roof form will be hipped with a slope of 5/12. This roof form can be found in the Edgefield district, is common for two-story homes, and will help minimize the perceived height of the structure. At the back of the house, lower, one-story portions of the house will have gabled roof forms with a slope of 4/12. Staff finds that the house's roof forms meet Section III.B.2.d. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The windows at the front of the structure, and on the front half of the side façades are all taller than they are wide, and meet the typical historic proportions for window openings. On the projecting bay, the windows on the second story are eight inches (8") shorter and eight inches (8") narrower than the windows on the ground floor, which is appropriate. On the side façades, beyond the midpoint of the house and on the rear façade, the window openings are smaller and less historic in proportions. Staff finds these window openings to be appropriate because they are not on a primary façade, and will be less visible since they are towards the back of the house. There are no large expanses of wall space without a window or door opening on the infill's façades. Staff finds that the window proportions and rhythm of openings meets Section III.B.2.f. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Utilities: The location of the HVAC system is unknown at this time. Staff recommends that it be located at the rear of the home or on the side, beyond the mid-point of the house.

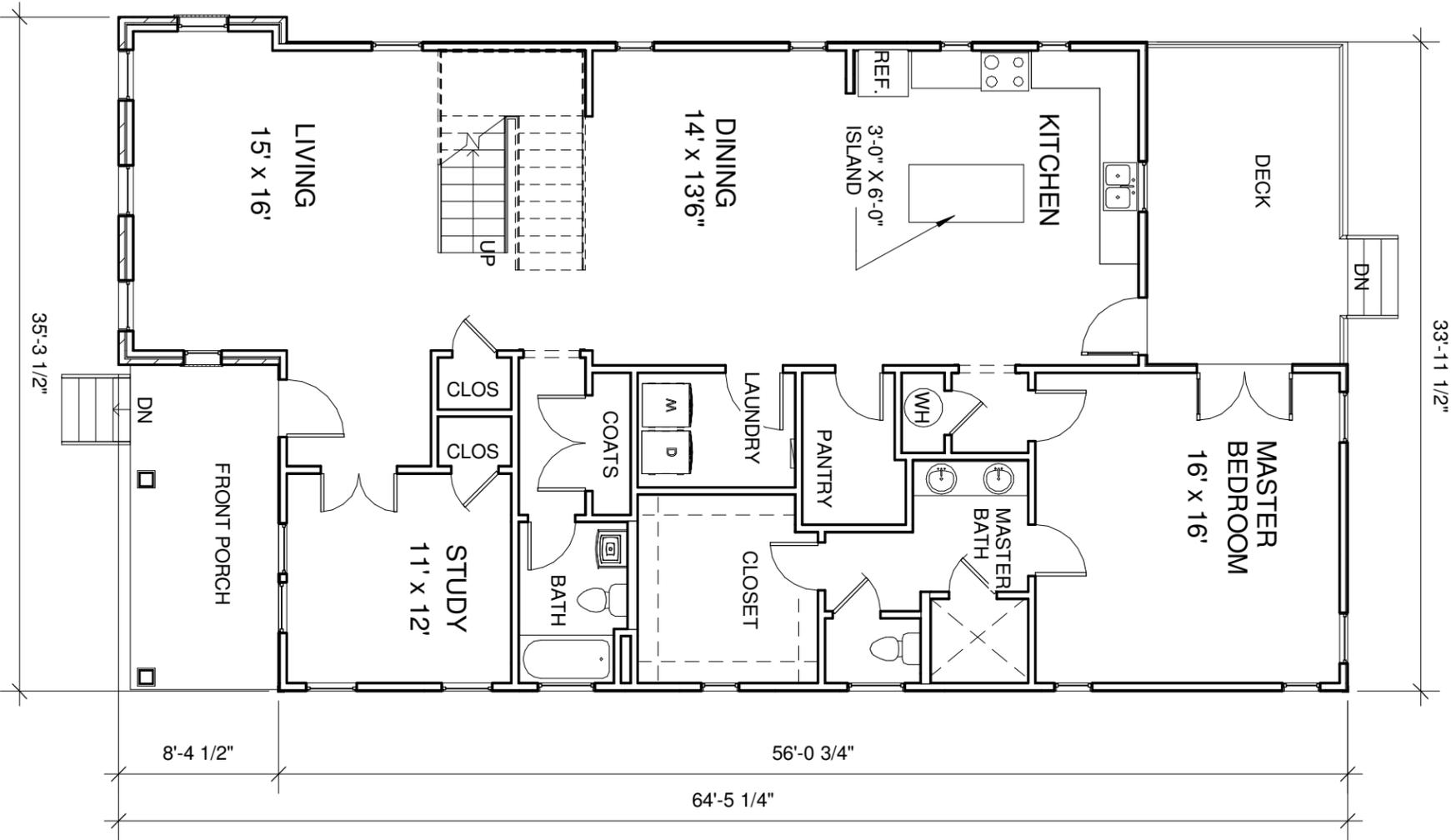
Fences: No fences were called out on the site plan, and staff reminds the applicant that in the Edgefield Historic Zoning Overlay, all fences must receive a preservation permit.

Permanent Built Landscape Features & Public Space: The applicant is proposing a central walkway leading from the sidewalk to the front porch, which is appropriate. Another walkway will be installed in the rear, leading from the deck to a new parking pad. Staff finds these landscape features to be appropriate, and asks to review the walkway and parking pad material prior to installation. No other lighting, walkways, walls, or other appurtenances were indicated on the drawings, and staff asks to review and approve any new appurtenance. With the approval of the material, staff finds the walkways and parking pad to meet Sections IV.B.2. and IV.B.4. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Recommendation Summary: Staff recommends approval of the new primary structure with the following conditions:

1. Staff review and approve a brick sample; the windows and doors specifications; the asphalt shingle color; and the material for the porch steps, porch floor, porch columns, and rear deck and deck railing.
2. The rowlock on the projecting bay continue on the left elevation.
3. The utilities be placed in the rear of the house, or on a side façade, beyond the midpoint of the house.
4. Staff review and approve the walkway and parking pad materials.
5. Staff review and approve all appurtenances for the site, including, but not limited to, lighting, fencing, and other landscape features.

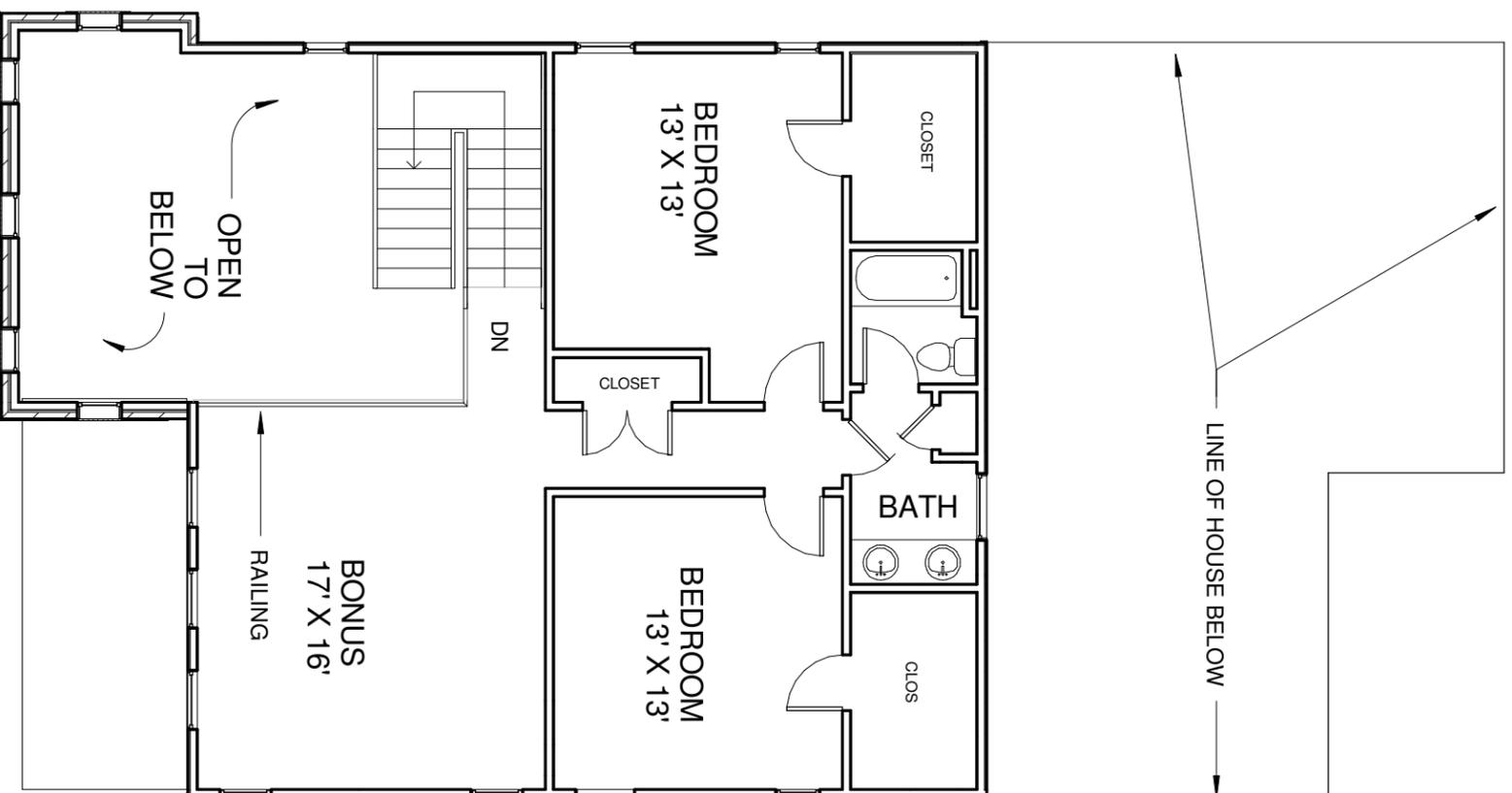
With these conditions, staff finds that the project meets III.B.2., IV.B.2., and IV.B.4. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.



513 FATHERLAND
FIRST FLOOR PLAN

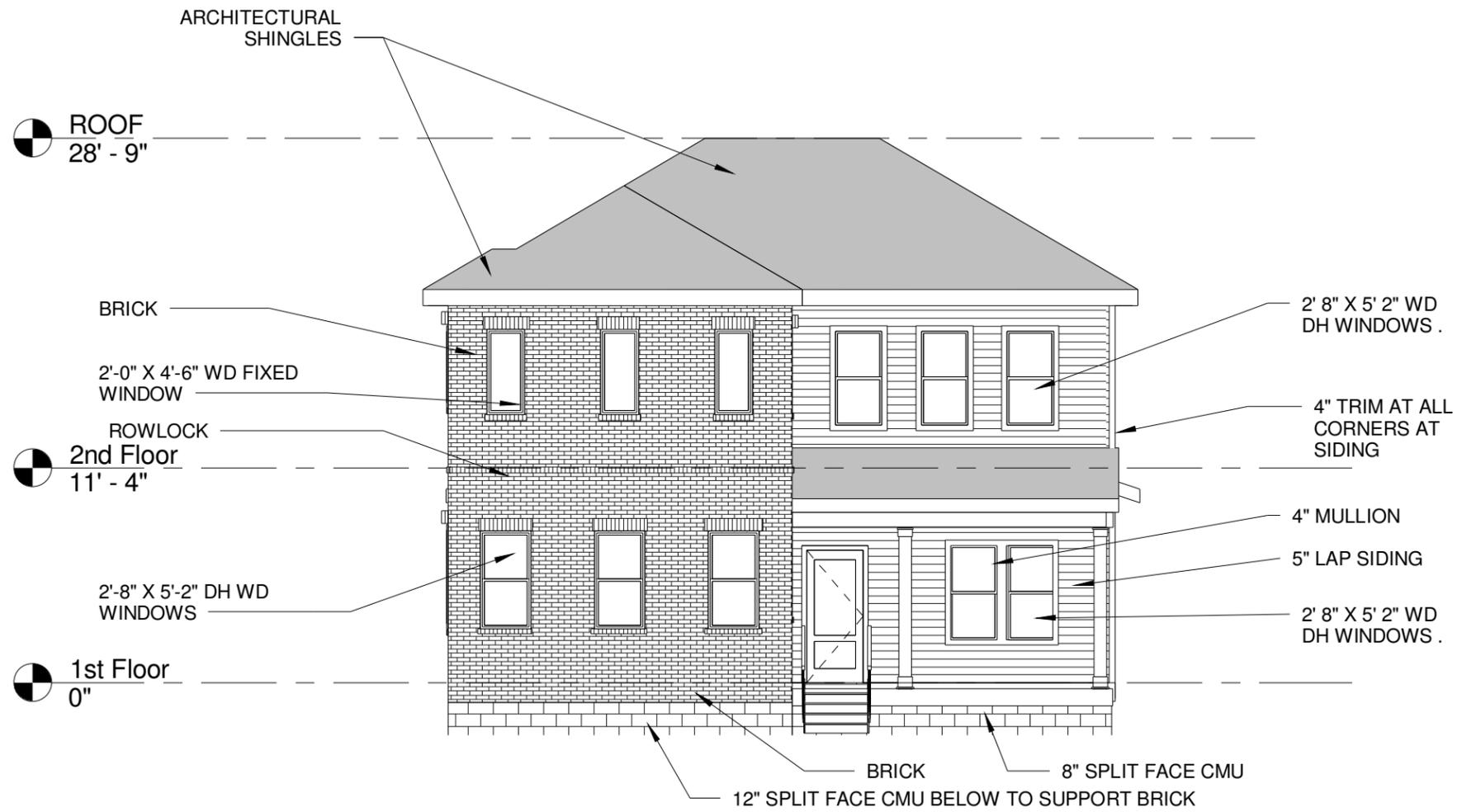
SCALE 1/8" = 1' 0"

FIRST FLOOR: 1787 SQ FT
 SECOND FLR: 914 SQ FT
 TOTAL: 2701 SQ FT



**513 FATHERLAND
SECOND FLOOR PLAN**

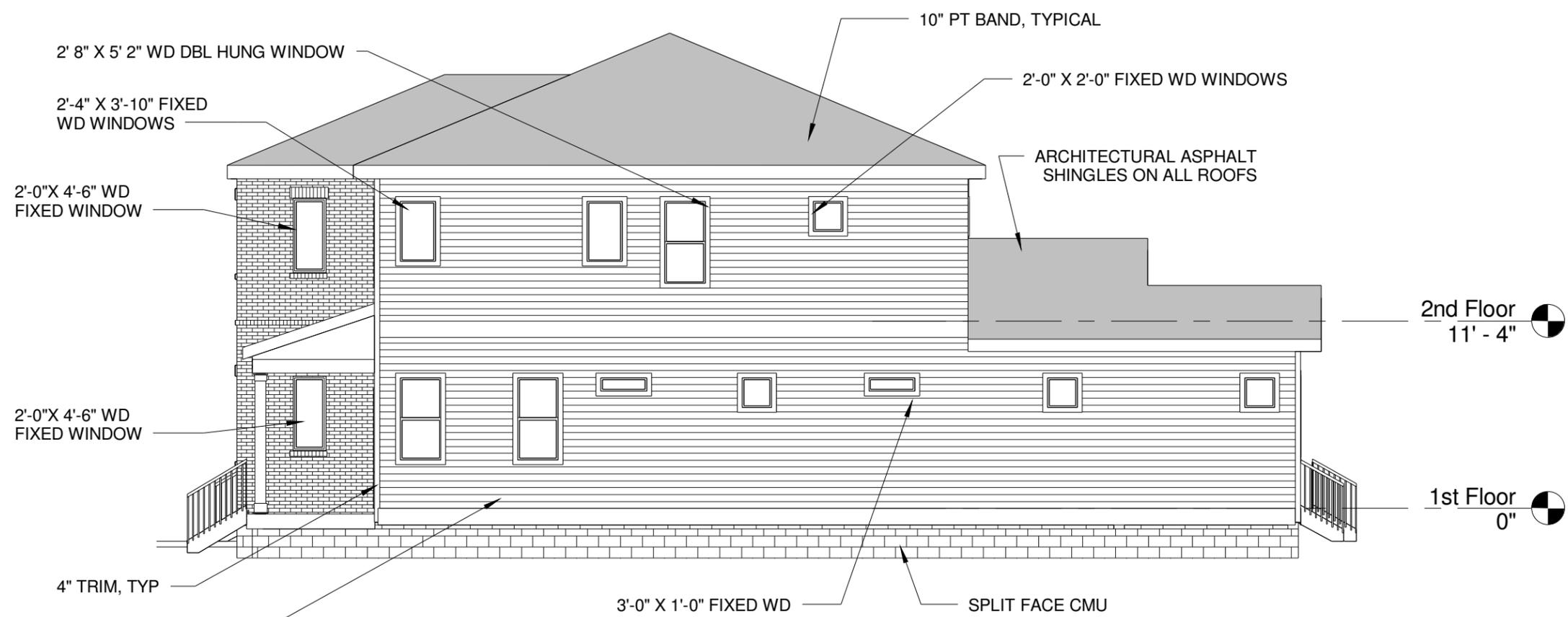
SCALE 1/8" = 1'-0"



513 FATHERLAND

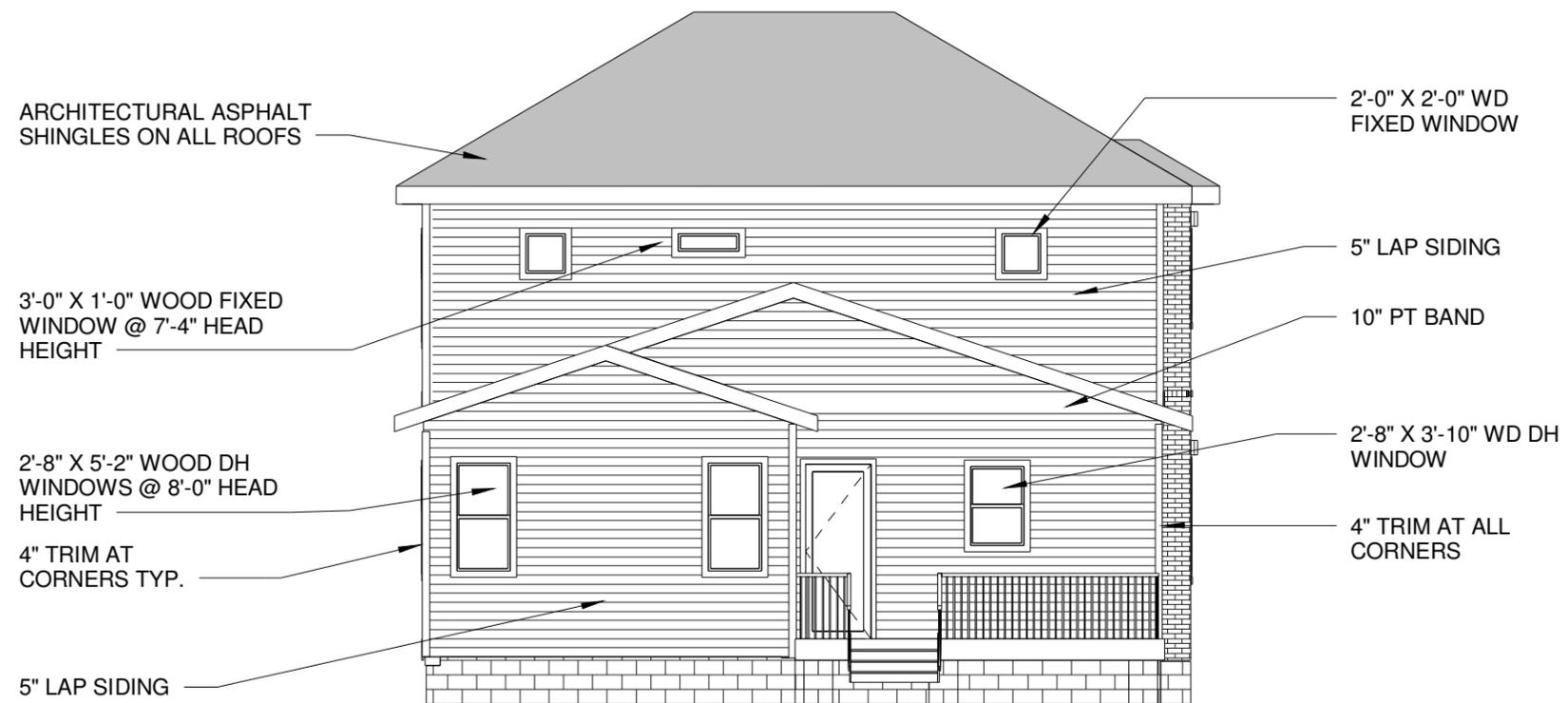
FRONT ELEVATION

SCALE 1/8" = 1'-0"



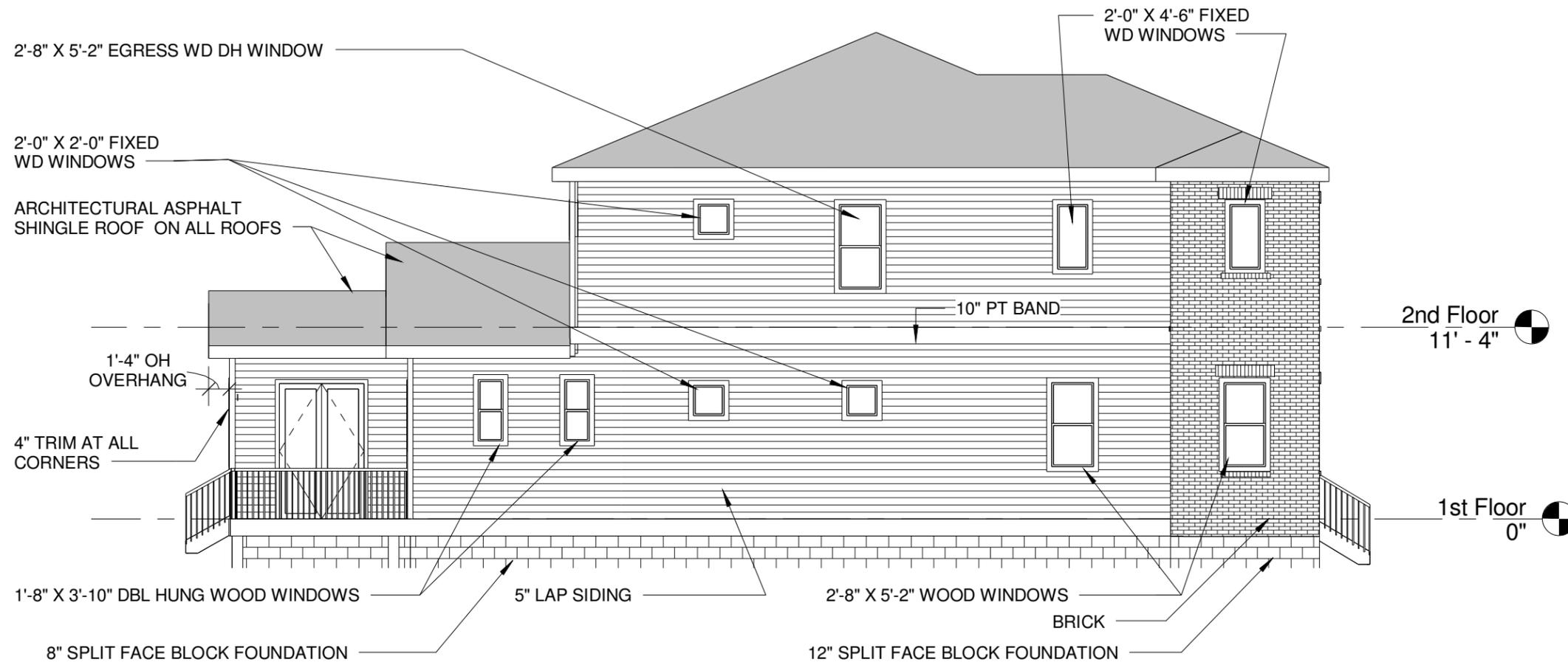
513 FATHERLAND RIGHT ELEVATION

SCALE 1/8" = 1'-0"



513 FATHERLAND REAR ELEVATION

SCALE 1/8" = 1'-0"



513 FATHERLAND

LEFT ELEVATION

SCALE 1/8" = 1'-0"