



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1222 7th Avenue North
April 17, 2013

Application: New construction-addition
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209025900
Applicant: Jack Link, Owner; James Johnson, Contractor
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to enlarge the structure with a rear addition. In order to differentiate the new construction from the historic, the addition will set in from the sides of the historic house at the rear. The addition will be three feet, six inches (3'-6") taller than the roof of the historic house, but because it is at the rear and set in, the visibility of the addition and its impact on the historic house will be minimal. The exterior materials of the addition will match those of the historic house.</p> <p>Recommendation Summary: Staff recommends approval of the rear addition to 1222 7th Avenue North, with the conditions that:</p> <ol style="list-style-type: none"> 1. the rear porch columns have bases and capitals; 2. staff review and approve the foundation material, window selections, and any new or relocated appurtenances; <p>finding the project to meet the applicable sections of the design guidelines for the Germantown Historic Preservation Zoning Overlay.</p>	<p>Attachments</p> <p>A: Sanborn Maps B: Photographs C: Site Plan/ Roof Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.1 General Principles

2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.

2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.

2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.

2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.

2.1.7 The MHZC does not review paint colors on wood or metal surfaces.

2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.

5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
 6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.
- 2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.
- 2.2.3 Massing and Scale
1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
 2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
 3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings.

Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.

Generally, historic single-family residential structures are one or two stories in height.

Special features of limited height such as towers or turrets may be acceptable.

Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.

Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.

2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.

2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.

2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.

2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.

2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.

2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)

2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.

2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.

2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)

2.6.2 Tinted, reflective, or colored glass are generally not appropriate.

2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.

2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.

2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

2.6.1 Primary building entrances should be oriented towards the street.

2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).

2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).

2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.

2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

4.0 Additions

An ADDITION consists of an extension to an existing structure that increases the floor area or height of that structure.

4.1 General Principles

4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets –*

Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.

4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.

4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.

4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding.

4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

4.2.5 Contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

Background:

The house at 1222 7th Avenue North is a one-story Folk Victorian style house, constructed in the late 19th century. The original form of the house, shown on the 1897 Sanborn Map, is that of a gabled-L, but one of its more distinctive features is a pyramidal addition added to the rear sometime before 1914. Because of its age and architectural detail, it is considered to contribute strongly to the historic character of the district.

A non-contributing rear addition and non-contributing accessory building were recently demolished, with MHZC Staff approval.

Analysis and Findings:

The applicant proposes to enlarge the structure with a rear addition. In order to differentiate the new construction from the historic, the addition will set in from the sides of the historic house at the rear. The addition will be taller than the roof of the historic house, but because it is at the rear (36' from front wall) and set in, the visibility of the addition will be minimal and its impact on the historic house will be minimal.

Site and Building Planning

The side walls of the new addition will step in from the sides of the existing building by one foot (1'), carry back to the rear two feet (2'), and then step back flush with the walls of the house. The addition will increase the depth of the house thirty-two feet (32'), just over half the depth of the existing house.

The addition will be two stories tall, whereas the existing house is only one story. However, by reducing the ceiling heights in the addition the new roof will only be three-feet, six inches (3'-6") taller than the existing roof. The upperstory walls will step in an additional one foot (1') from the sides of the wall below, with an "eyebrow eave" or pent-roof at the transition between floors. Staff finds this added height is appropriate because it sets in sufficiently from the sides of the house, is entirely behind the mass of the historic house, and will not have a substantial impact on the historic house form.

The addition will match the orientation of the existing house, will maintain the rhythm of spacing between buildings, and will meet or exceed the three foot (3') minimum setback required by the MUN base zoning.

Staff finds the addition to meet the Setbacks, Orientation, Massing and Scale, and Height sections of Guideline 2.2.

Foundation

The foundation will match the height of the existing foundation. This meets Guideline 2.3.1. The foundation material will be slump-stone block, resembling the color and texture of the limestone foundation on the historic house. Staff recommends a condition for final approval of the texture of the block, prior to construction, to ensure compliance with Guideline 2.3.2.

Walls/Exterior Materials

The exterior walls of the addition will be clad with wood (cypress) lap siding, matching the reveal and profile of the original siding (the original siding will be also replaced, as more than 50% is significantly deteriorated). The cornerboards, window casings, and other trim will be wood to match the original materials. A rear porch will have wooden columns, but the drawings do not show them as having capitals and bases. The roof will be composite dimensional shingles, gray-brown color. Staff finds that these materials are appropriate and meet Guideline 2.4.

Doors, Windows

The new windows on the addition will be double-hung wood windows with single-light sashes, matching those on the historic house. The windows on the historic house are not being removed. There will be no new visible doors on the addition. Staff finds this to meet Guidelines 2.5 and 2.6. Final approval of the windows by MHZC is needed to ensure compliance with the guidelines.

Roof

The roof of the addition will be a 3:12 pitched hip, with a gable facing the rear. This pitch is significantly lower than that of historic house, which is 12:12. Although a lower pitch is not always appropriate, in this circumstance it helps to reduce the height and visibility of the addition overall. The house has two brick chimneys that will be rebuilt, reusing the existing brick. Staff finds this to meet guideline 2.7.

Utilities/Mechanical

The location of the HVAC and other exterior utilities is not indicated on the site plan. Staff will need to approve their location, if they are moving. There is an existing concrete walkway on the front and left side of the house, which will not be removed. There is a chain-link fence on the sides and rear of the property, for which no change has been indicated. The only new appurtenance shown is a new paved parking area at the rear of the property that is accessed from the alley. Staff finds the retention of existing appurtenances and the new paved parking at the rear of the lot to be appropriate and to meet Guideline 2.8. New appurtenances or relocation of existing appurtenances should be approved by MHZC staff.

Additions

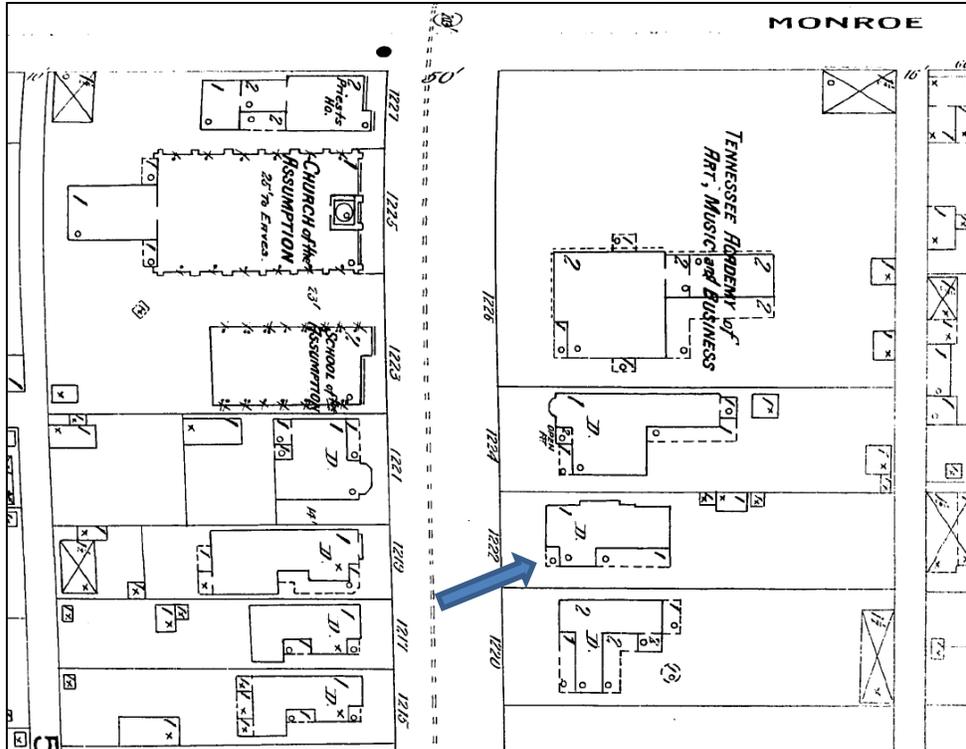
Staff finds that because the addition will be at the rear of the existing building and will set in sufficiently from the sides, it will not obscure or damage historic character-defining features. It will be clearly distinguishable as an addition, and could be removed at a later date without impairing the integrity of the original house. Additionally, staff finds the scale and materials to be compatible with those of the historic building. Overall, staff finds the proposed addition to meet Guideline 4.2.

Recommendation:

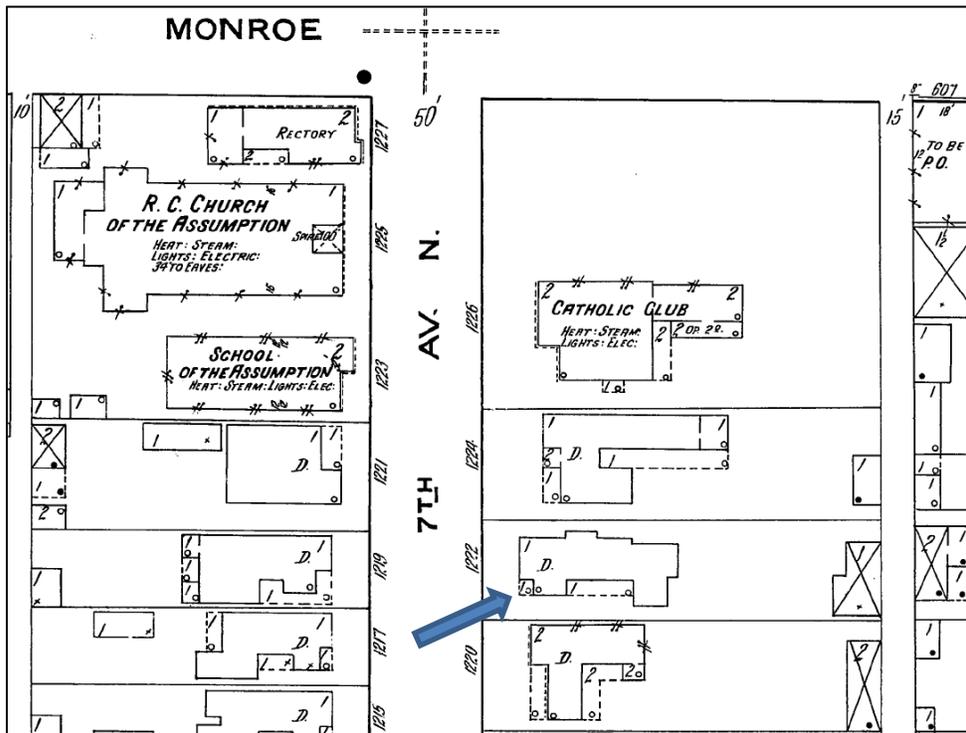
Staff recommends approval of the rear addition to 1222 7th Avenue North, with the conditions that:

1. the rear porch columns have bases and capitals;
2. staff review and approve the foundation material, window selections, and any new or relocated appurtenances;

finding the project to meet the applicable sections of the design guidelines for the Germantown Historic Preservation Zoning Overlay.



1897 Sanborn Map Detail



1914 Sanborn Map Detail



Figure 1 Porch floor and post detail



Figure 2 Gable trim detail



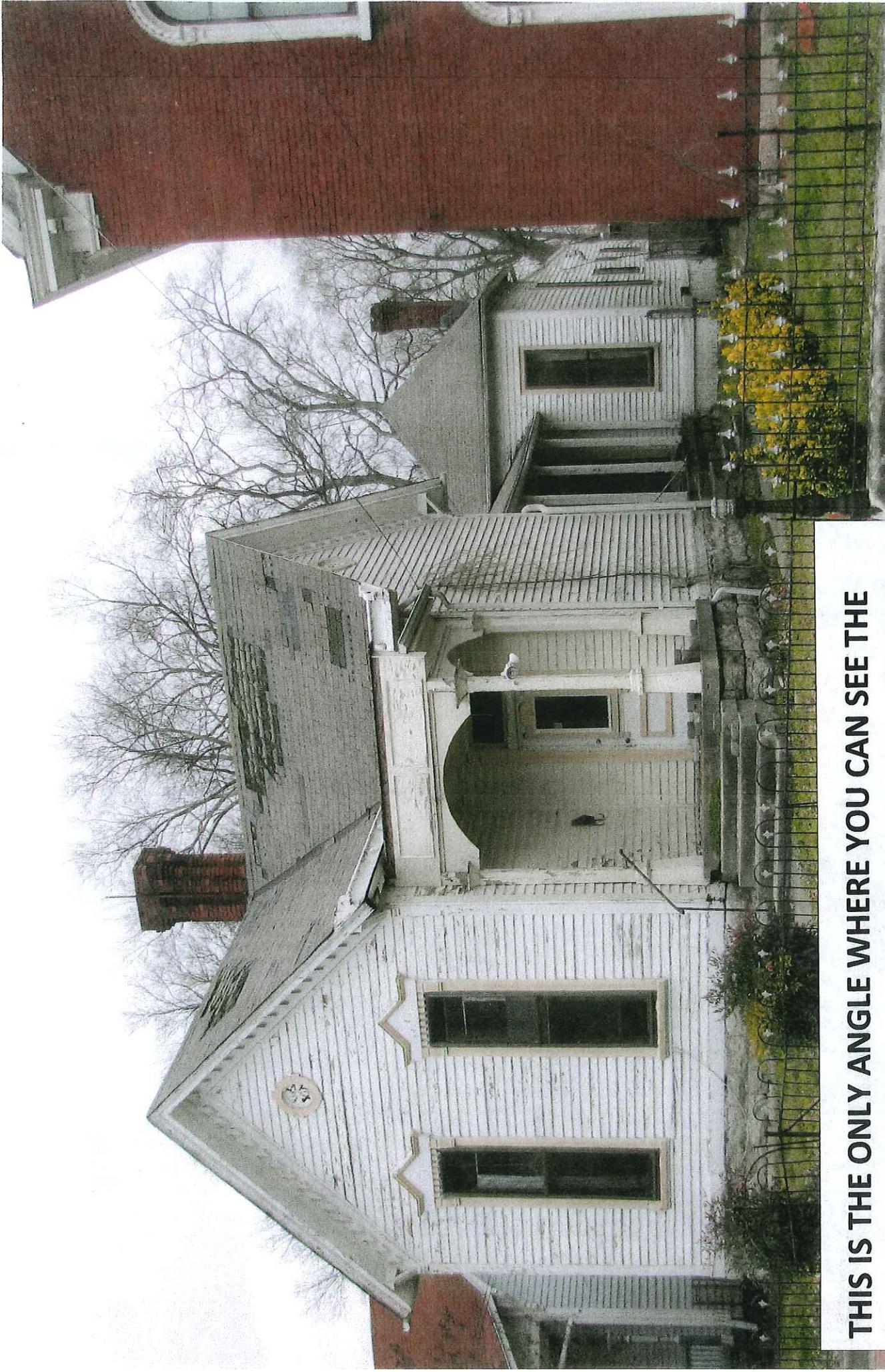
Figure 3 Siding and corner board detail



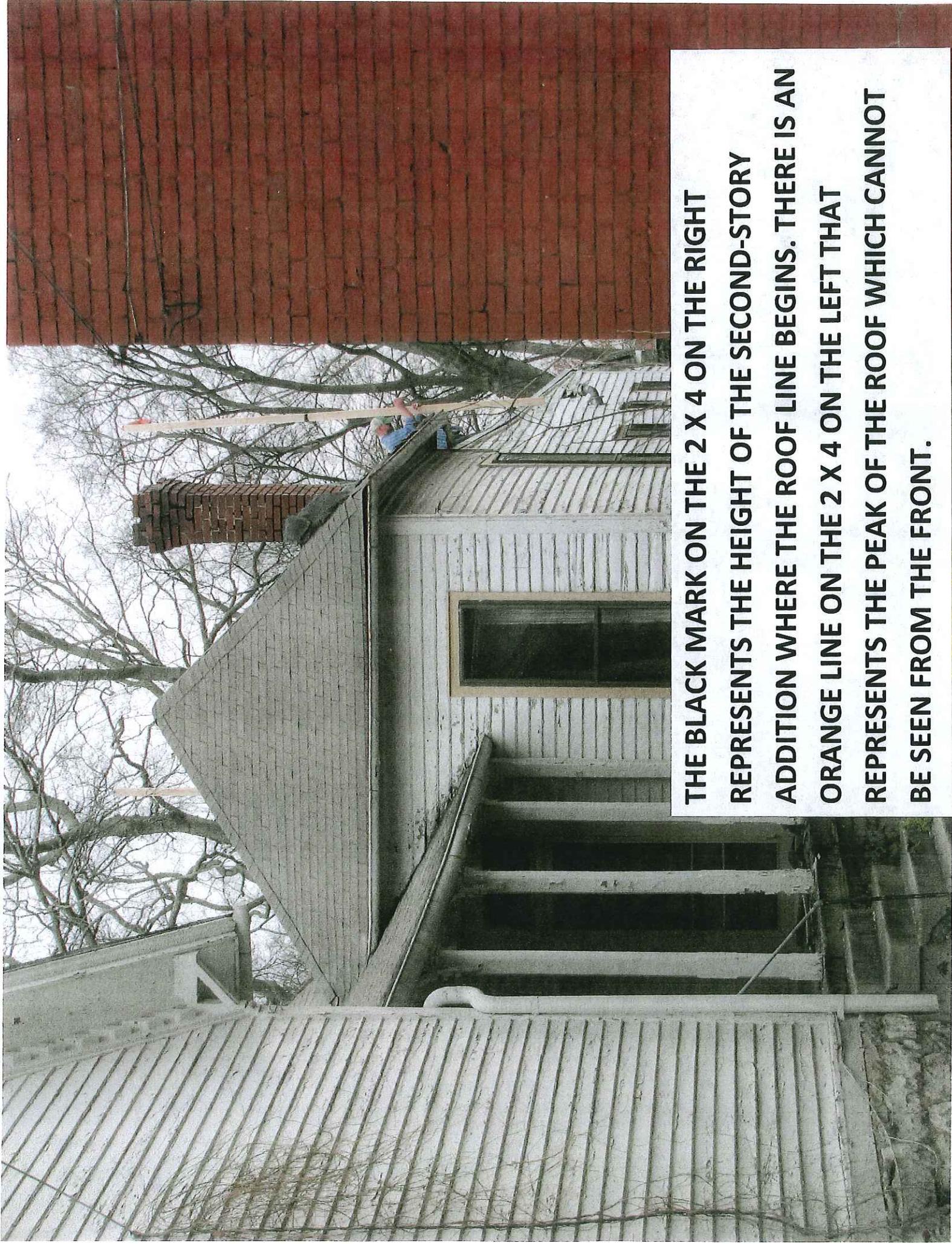
Figure 4 Gutter and downspout detail



Figure 5 Porch ceiling detail



THIS IS THE ONLY ANGLE WHERE YOU CAN SEE THE TWO-STORY ADDITION FROM THE FRONT OR SIDES OF THE HOUSE ON THE STREET.



THE BLACK MARK ON THE 2 X 4 ON THE RIGHT REPRESENTS THE HEIGHT OF THE SECOND-STORY ADDITION WHERE THE ROOF LINE BEGINS. THERE IS AN ORANGE LINE ON THE 2 X 4 ON THE LEFT THAT REPRESENTS THE PEAK OF THE ROOF WHICH CANNOT BE SEEN FROM THE FRONT.

1222 7TH AVE. N.

TWO-STORY ADDITION SPECIFICATIONS

1. Crawlspace foundation to be natural colored slump stone block.
2. Cypress wood siding to have 4 ½ inch exposure with beveled edge same as existing house. See figure 3
3. Wood corner boards and window trim to be 1" x 6" . See figure 3
4. Gutters to be ½ round style 6" across the top and 4" deep to match existing house. See figure 4
5. Rear porch flooring to be 3 1/2" wide tongue and groove wood to match existing side porch. See figure 1
6. Rear porch ceiling to be 3 1'2" wide tongue and groove wood to match existing side porch. See Figure 5
7. 6" x 6" rear porch post.
8. All roof overhangs to be 1' to match existing house.
9. Roof material to be dimensional composition shingles to match existing house.
10. Double hung wood windows stained to match existing house.
11. 1" x 6" wood fascia boards with crown mold on gable end.
12. Wood rear entry door to be stained to match existing house.
13. All siding, trim and gutters to be primed and painted white.

1222 7TH AVE N.

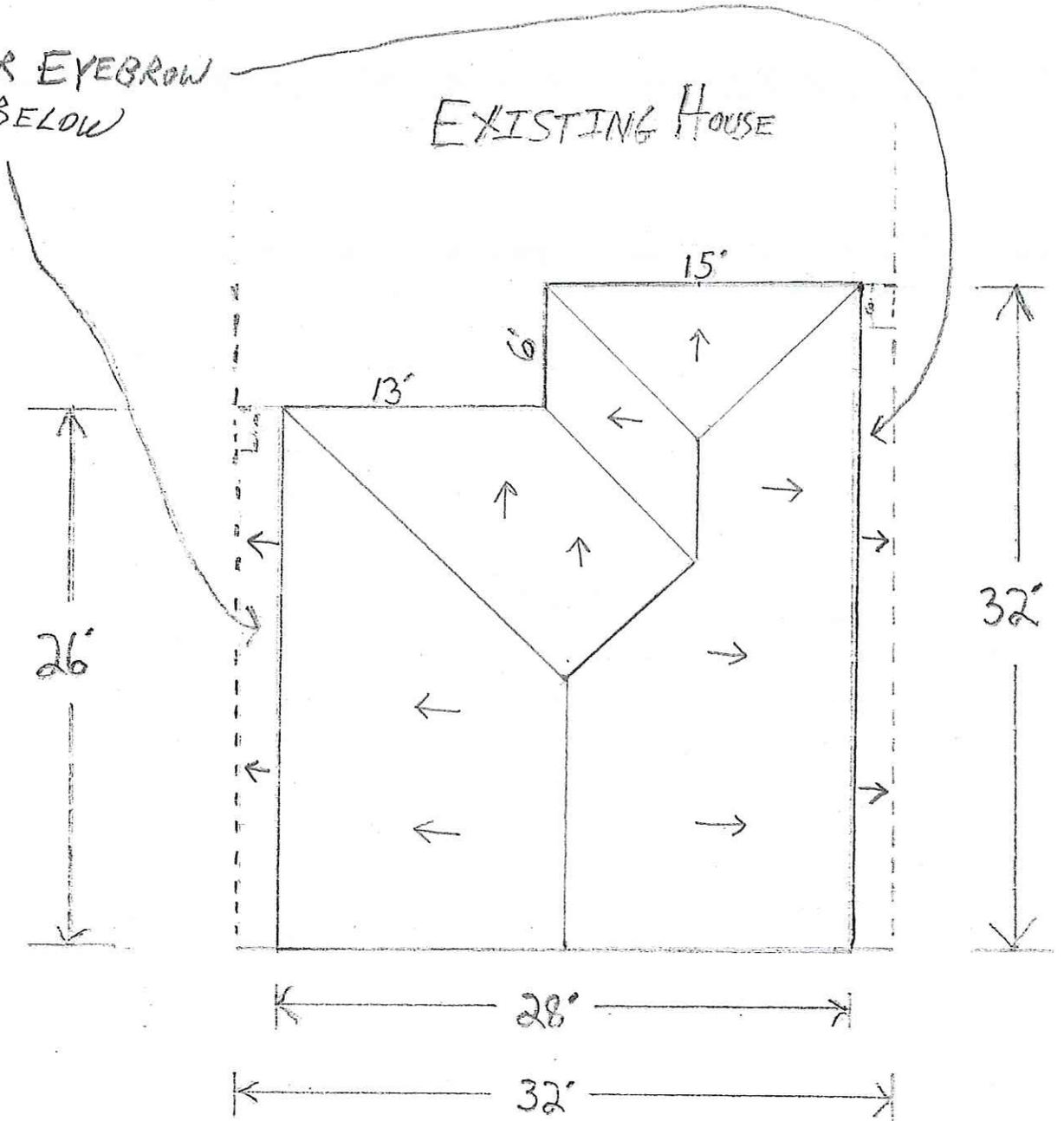
NEW ADDITION

2ND FLOOR ROOF PLAN ^{3/12}

1/8" = 1'

1ST FLOOR EYEBROW
ROOF BELOW

EXISTING HOUSE

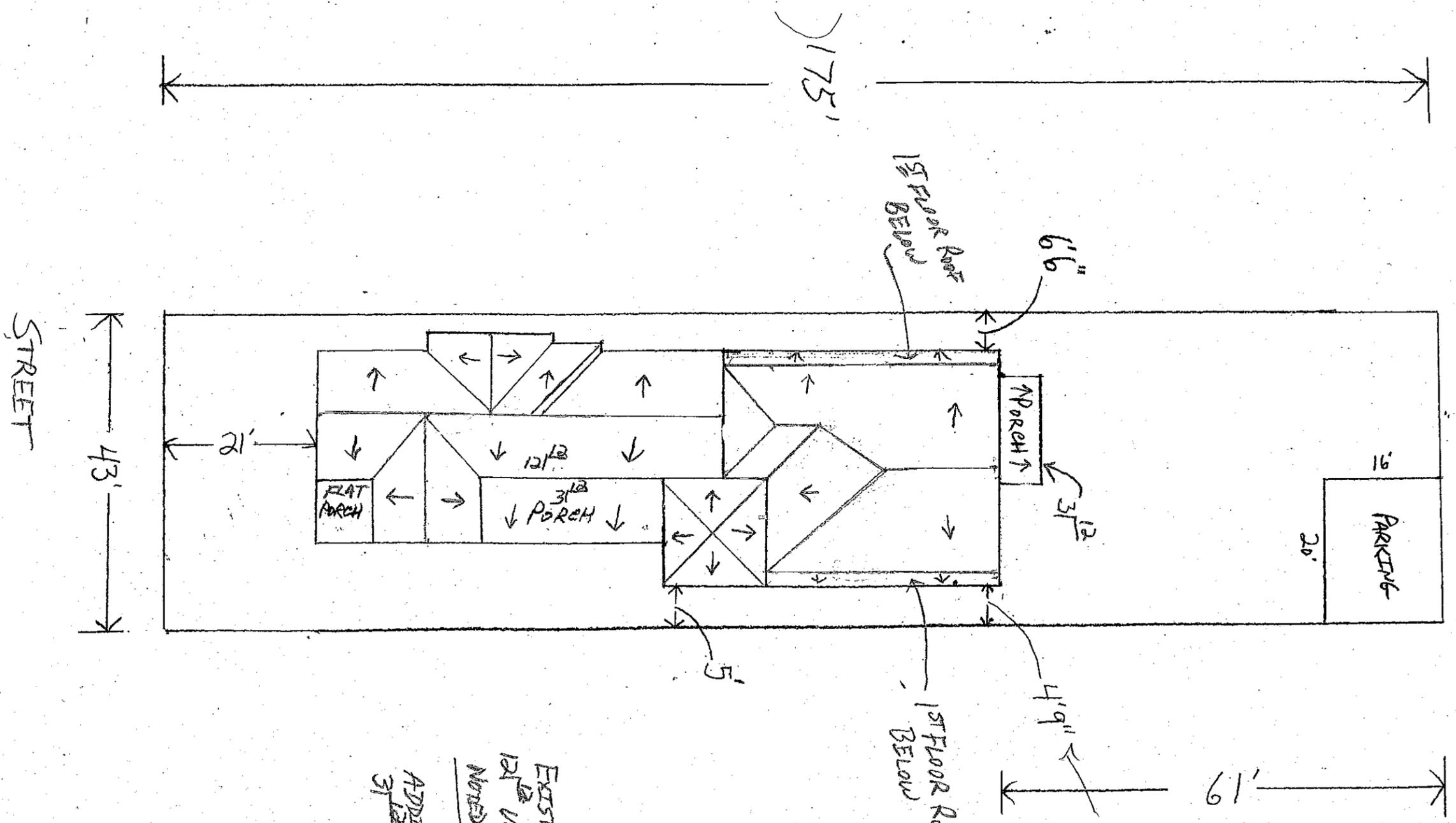


ALLEY

1222 7TH AVE. NORTH
 1/16" = 1'

ROOF PLAN

ALLEY



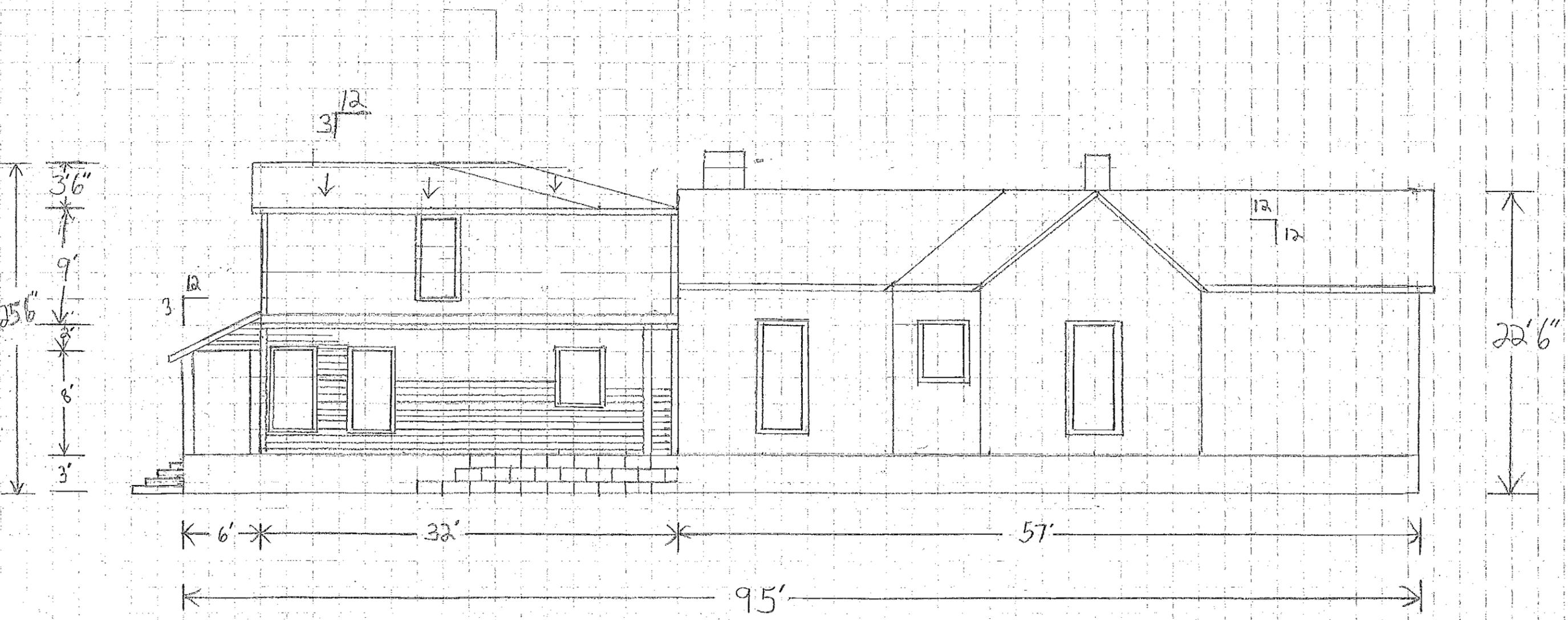
MUN Minimum Side Setback is 3'

EXISTING HOUSE
 12' 1/2" UNLESS OTHERWISE NOTED
 ADDITION IS ALL 3' 1/2"

1222 7th AVE. N.

1/8" = 1'

LEFT ELEVATION



1222 7th AVE. N.
1/4" = 1'
REAR ELEVATION

