



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
915 Fatherland Street
April 17, 2013

Application: New construction
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216018100
Applicant: Van Pond, Jr./ Van Pond Architect, PLLC
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

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| <p>Description of Project: The applicant proposes to alter a non-contributing building and construct a three-car garage.</p> <p>Recommendation Summary: Staff recommends approval of the alterations to the non-contributing building and construction of the garage with the condition that the applicant provide a sample brick and brick color to staff for final review. With this condition, staff finds the project to meet Section II.B for new construction and outbuildings.</p> | <p>Attachments A: Photographs B: Site Plan C: Elevations</p> |
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- a . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.

The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings.

Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate.

Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height. *A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

Background

915 Fatherland Street is a non-contributing building constructed in 1973. Although the proposed alterations are additions to the existing house, staff applied the guidelines for “new construction” alone, rather than “additions” since this non-contributing building does not need to follow the type of guidance provided for historic properties under “additions.”



Analysis and Findings:

III.B.2 New Construction

Setback and Rhythm of Spacing: The setbacks meet all bulk zoning requirements and only the front and rear setbacks will change. The front setback will change due to the addition of the front porch and will now be in line with the historic home to the right. The project meets section II.B.2.a.

Height: The height of the first half of the building is existing and will not change. The proposed addition will be twenty-four feet (24') from the lowest grade on the front, which is in keeping with the range of heights in the immediate vicinity which are between eighteen and thirty four feet (18'-34') tall. The addition will be approximately six feet (6') taller than the existing building, which could be inappropriate for a historic home but is appropriate for this building which is shorter than the majority of historic buildings in the area. The additional height is also mitigated by the fact that it does not take place until forty-five feet (45') beyond the front wall of the house and the majority of exposed material on the front elevation is roof rather than siding. The foundation height of the addition will match the height of the existing foundation. The eave height of the porch will match the eave height of the existing house. The project meets section II.B.2.b.

Building Shape: The existing building shape is a simple rectangle; the shape of the building after construction of the addition will remain a collection of three simple geometric shapes which are typical of historic homes with additions in the neighborhood. The project meets section II.B.2.c of the design guidelines.

Roof Shape: The existing roof shape will not be altered. The addition will use gabled roof forms with pitches of 5/12 and 4/12. Typical historic roof pitches are not less than 6/12; however, the addition will be minimally visible and the pitches are consistent with the non-contributing house, which the applicant does not request to alter. The project meets section II.B.2.b.

Orientation: The home's orientation will not change and is consistent with historic buildings in the neighborhood. The house will address Holly Street with a centered primary entrance, the addition of a front porch and a walkway leading to Holly Street. The project meets section II.B.2.e. of the design guidelines.

Proportion and Rhythm of Openings: The location of windows and doors will be altered which is appropriate since the building is non-contributing. Windows on the primary house will not meet the proportion of historic buildings in the neighborhood but instead will match the proportions of existing windows, which is appropriate in this case, because of the low wall height compared to historic buildings. In addition, the client hopes to reuse existing windows. The addition will have ground floor windows that are more in keeping with historic proportions. The front of the building has no linear wall space without a break with a window or door that is more than four feet (4') and the right side

has no space greater than eleven feet (11') without a break. The left wall has an expanse of sixteen feet (16') but maintains two full size windows. The project meets section II.B.2.f.

Materials Texture, Details, and Material Color: The foundation is split-face CMU block, the roofing is Tamko heritage asphalt shingle in a weathered wood color, the trim is wood, the chimney is stucco and the walkway is concrete. The front porch will have brick piers and wood columns, concrete floor and steps, powder coated iron handrails, roofing to match the house and cedar shingles in the gable field. The rear porch will be cedar.

The cladding of the addition will be cement fiber lap siding with a five inch (5") reveal. Because of the alteration of window and door opening locations, replacement brick will be needed on the existing house and is expected to match the existing brick in color and dimension. The frame section on the front of the house will also be replaced with brick. The applicant proposes to paint the brick the same color as the existing brick. Painting of brick is generally discouraged but is appropriate for a non-contributing building. Staff recommends a stain rather than a paint, as it allows more of the brick's original texture to show through and that the final color be approved by staff. Staff recommends providing approval of the replacement brick and the brick paint color which should be a historic brick color.

Existing windows will be reused. New windows will be Jeld-Wen Sitaline Ex all wood windows. The front door will be a Simpson wood door and the rear doors will be salvaged vertical grain douglas fir. Staff recommends final approval of the windows and doors.

With the condition that Staff provide final review of brick and paint color, the project meets section II.B.2.g. of the design guidelines.

Outbuildings

The project includes a 3-bay, two story garage at the rear of the lot.

Location: The outbuilding is located at the rear of the lot, as typical of historic outbuildings and utilizes the alley for vehicular access.

Materials & Design: The character, materials, and roof pitch match the proposed addition, which is more appropriate than matching the existing house since it is non-contributing.

Massing & Scale: Outbuildings are typically subordinate in scale to the primary dwelling; however, in this case the existing building is out of scale for the district. Staff compared the outbuilding to the proposed addition, which is more in keeping with the scale of the district in terms of height but still has a smaller massing than the majority of homes. The garage will have eave and ridge heights that are approximately one foot



shorter (1') than the addition. The width of the garage is thirty-five and one-half feet (35' 6") compared to the addition which is thirty-two feet (32') wide. Although the garage is barely subordinate to the addition, it is in keeping with other outbuildings in the area.

This image shows nearby garages that are associated with houses that have more appropriate massings than the small non-contributing house of this proposal and are much more visible than this garage will be.

The project meets section II.B.h of the design guidelines.

Fences

A six foot (6') tall cedar privacy fence is planned for the rear yard and will only come as far forward as the existing rear wall of the existing house. There is no fencing indicated for the front yard. The fencing meets section IV.B.1 of the design guidelines.

Permanent Built Landscape Features

Other than the front walkway discussed in "orientation" and "materials", there is no known addition of pavement, gravel, driveways, lighting, and other such appurtenances. Utilities will remain in their current location at the right side of the existing house. IV.B.2.

Recommendation

Staff recommends approval of the alterations to the non-contributing building and construction of the garage with the condition that the applicant provide a sample brick and brick color to staff for final review. With this condition, staff finds the project to meet Section II.B for new construction and outbuildings.



Non-contributing home on left and historic home on right.



Two existing homes to the left of the project.



This image shows how the home is setback enough from the historic building to the right that the addition of a front porch will still maintain the established historic front setbacks.



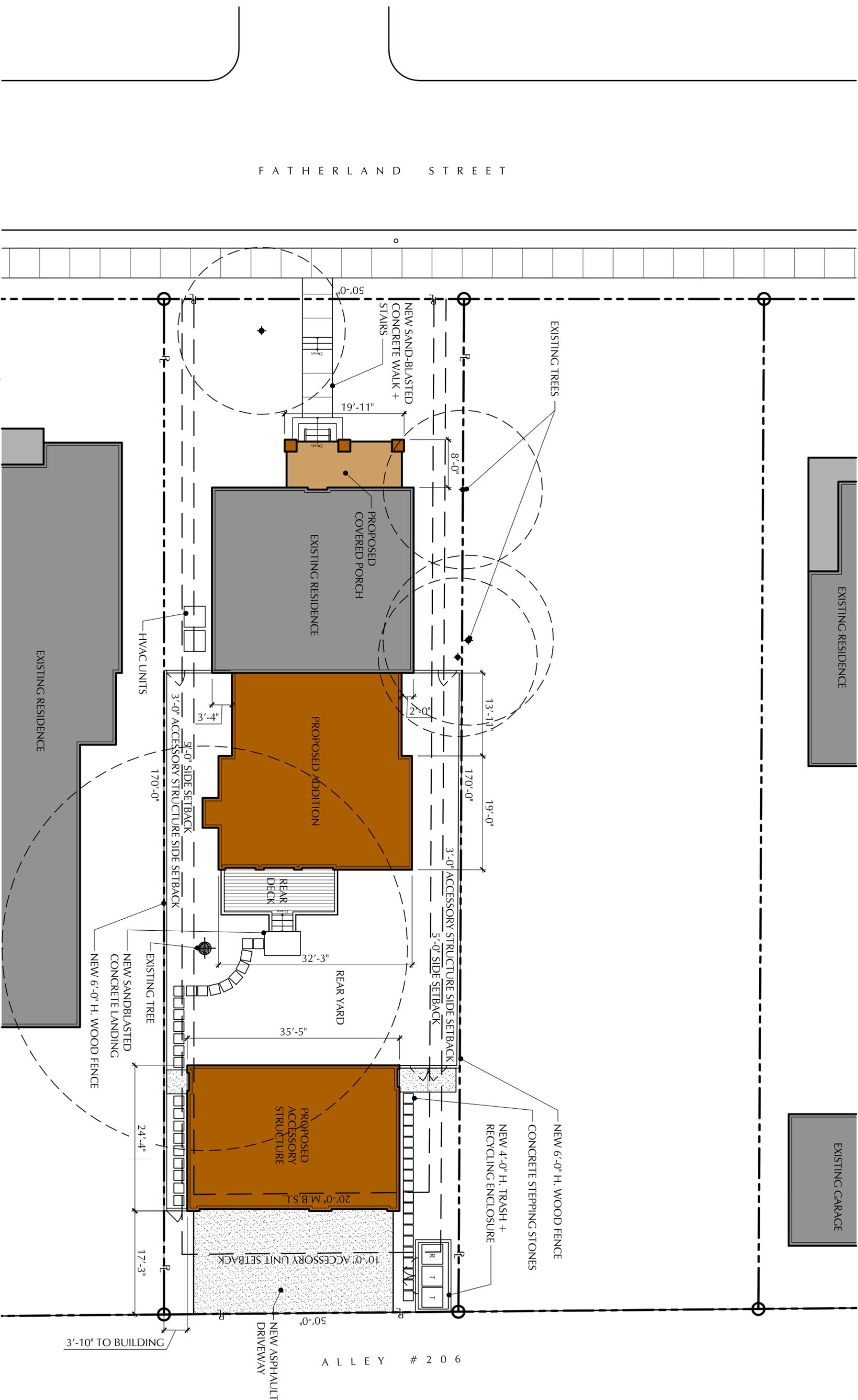
Rear of house.

RENOVATIONS + EXTENSIONS TO:
915 Fatherland Street

Nashville, Tennessee 37206

Historic Submittal

1 April 2013
 REVISED: 4 April 2013



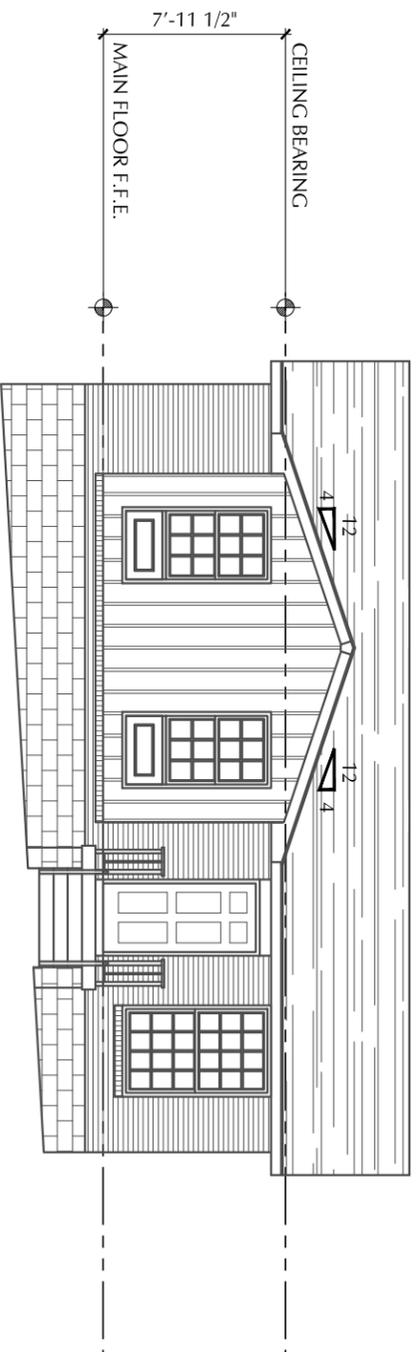
Proposed Site Plan



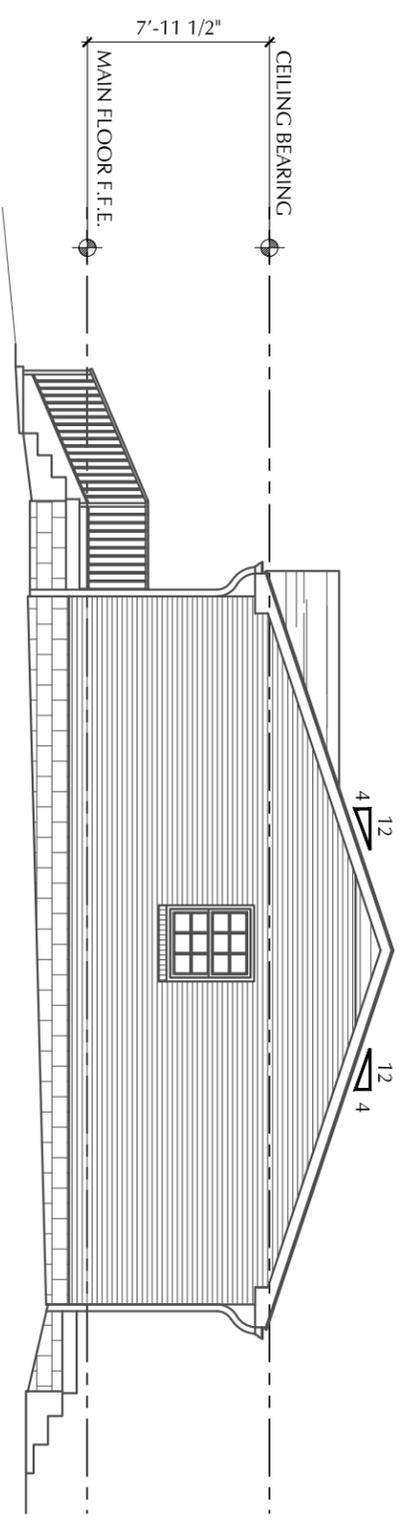
Van Pond Architect^{ARC}

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 Suite 101
 Nashville, Tennessee 37203

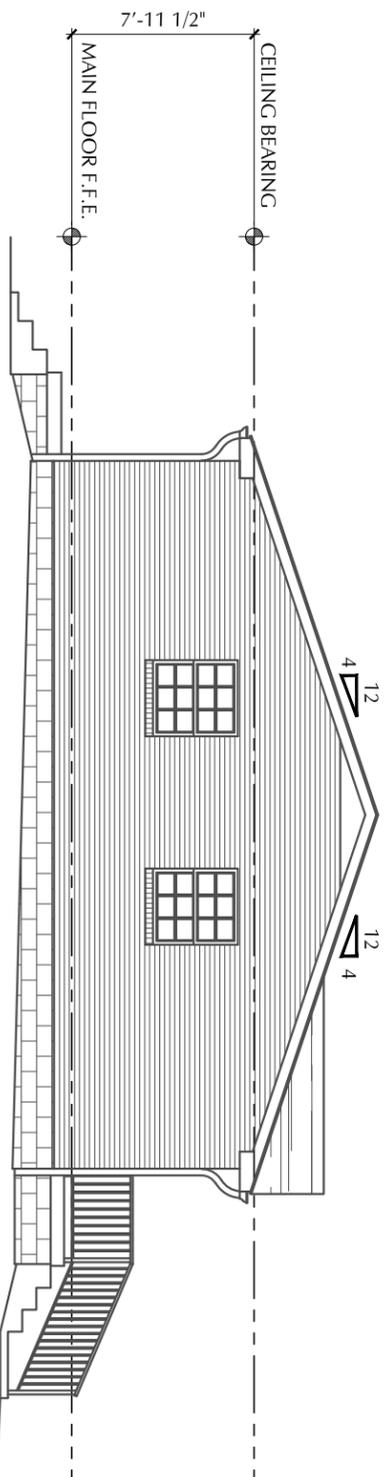
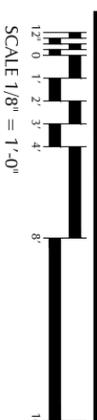
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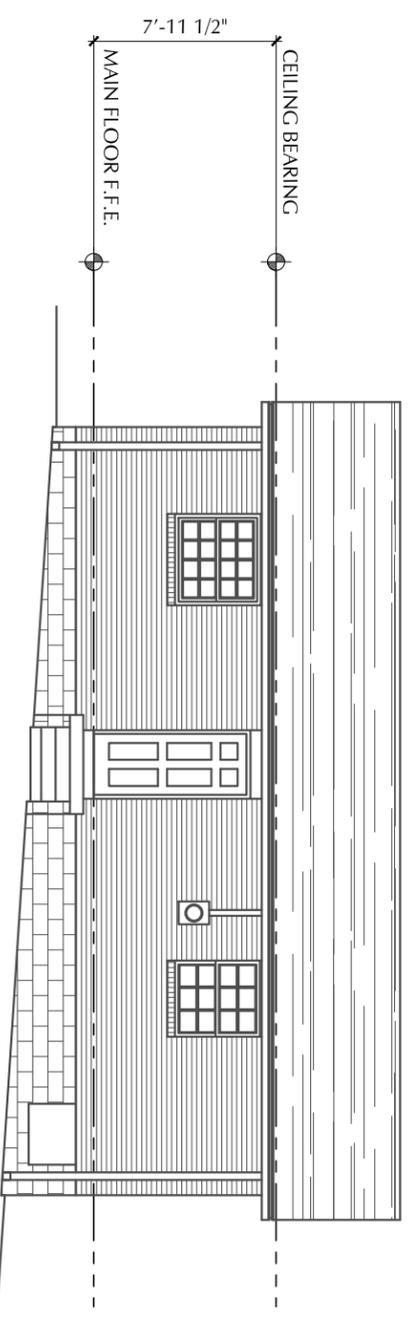
Existing Fatherland Street Elevation (South)



Existing Side Elevation (East)



Existing Side Elevation (West)



Existing Rear Elevation (North)



RENOVATIONS + EXTENSIONS TO:
915 Fatherland Street

Nashville, Tennessee 37206
 Historic Submittal
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Van Pond Architect^{ARCH}

1200 Division Street
 Suite 101
 Nashville, Tennessee 37203
 615.499.4387
 vanpondarchitect.com



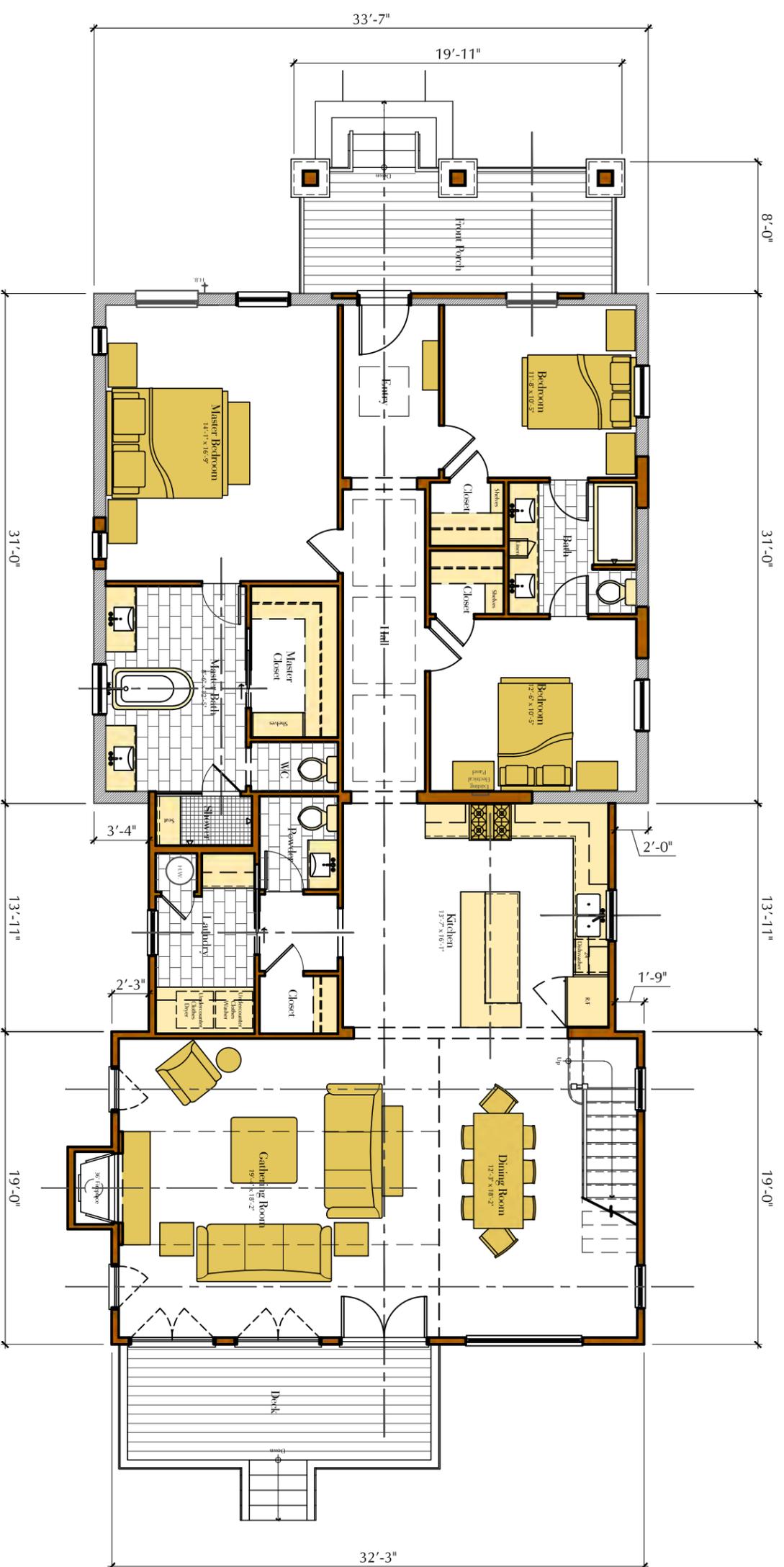
Proposed Main Plan
 1/2" = 0' 1" = 2' 3' 4'
 SCALE 1/8" = 1'-0"

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PLLC

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 Nashville, Tennessee 37203
 615.499.4387
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Proposed Main Plan
 1/2" = 1'-0"
 1" = 2'-0"
 2" = 4'-0"
 4" = 8'-0"
 8" = 16'-0"
 SCALE 1/8" = 1'-0"

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915 Fatherland Street

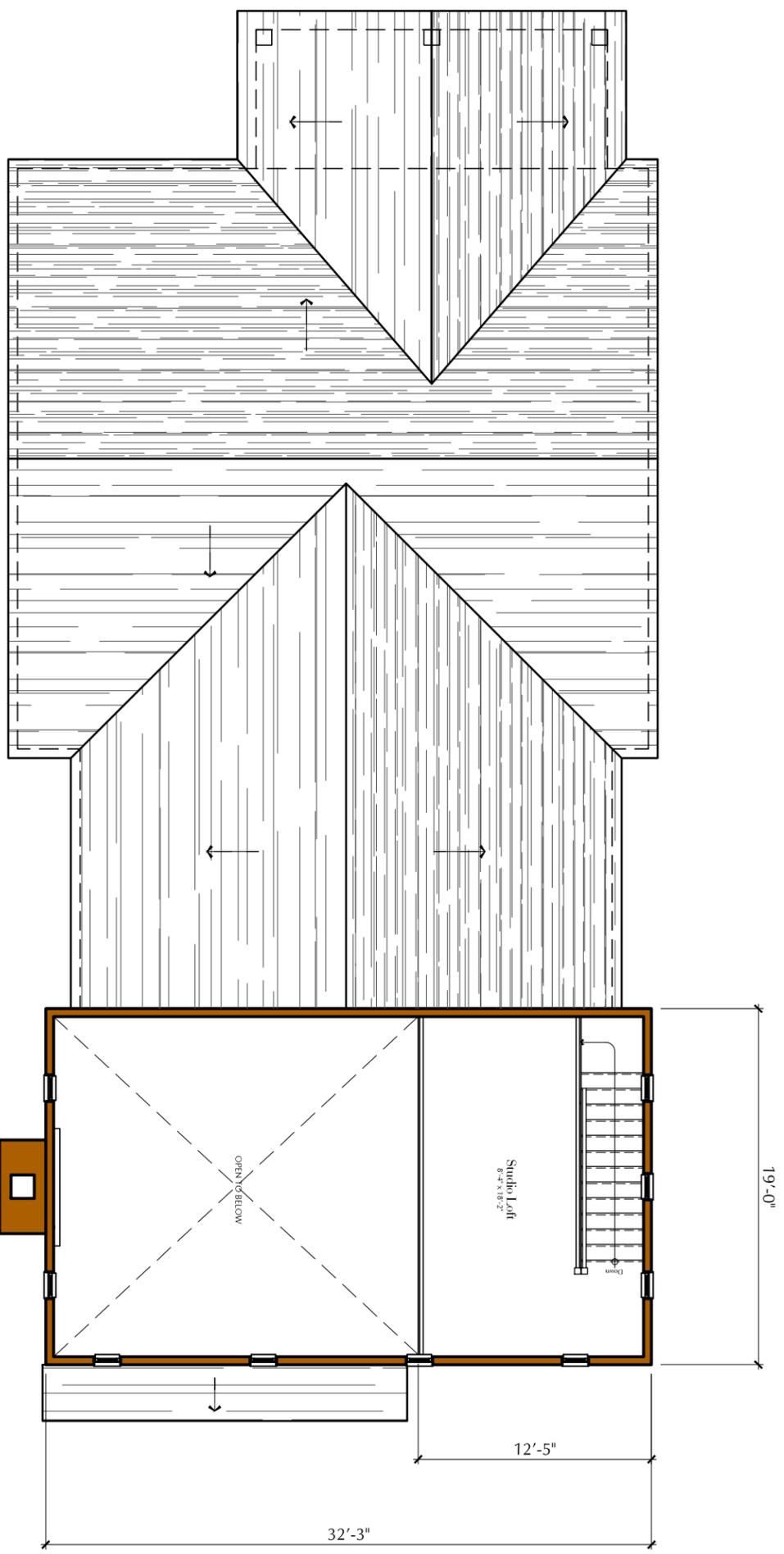
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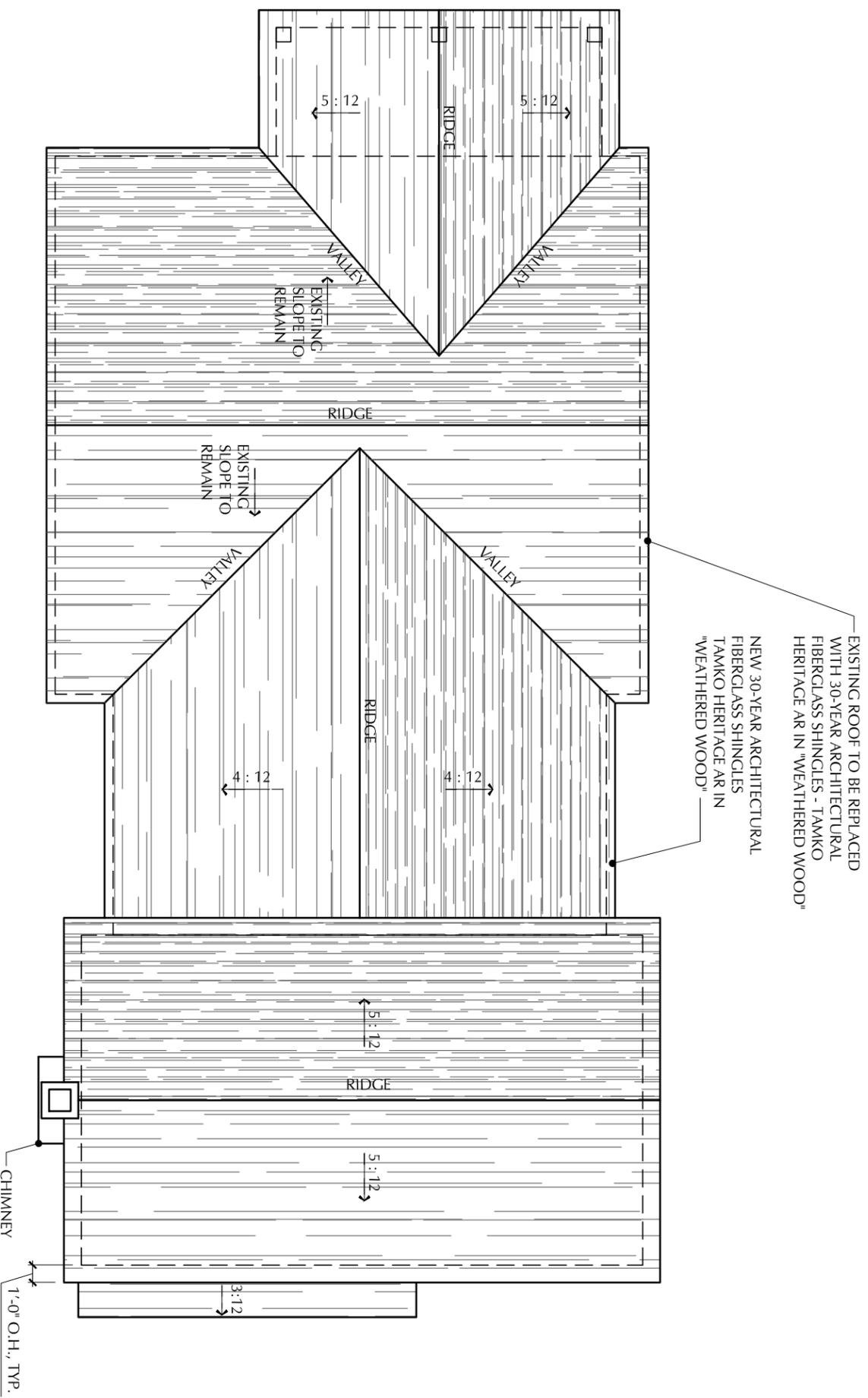
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Proposed Studio Level Plan
SCALE 1/8" = 1'-0"

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Proposed Roof Plan

12' 0" 1' 2' 3' 4' 8' 16'

SCALE 1/8" = 1'-0"

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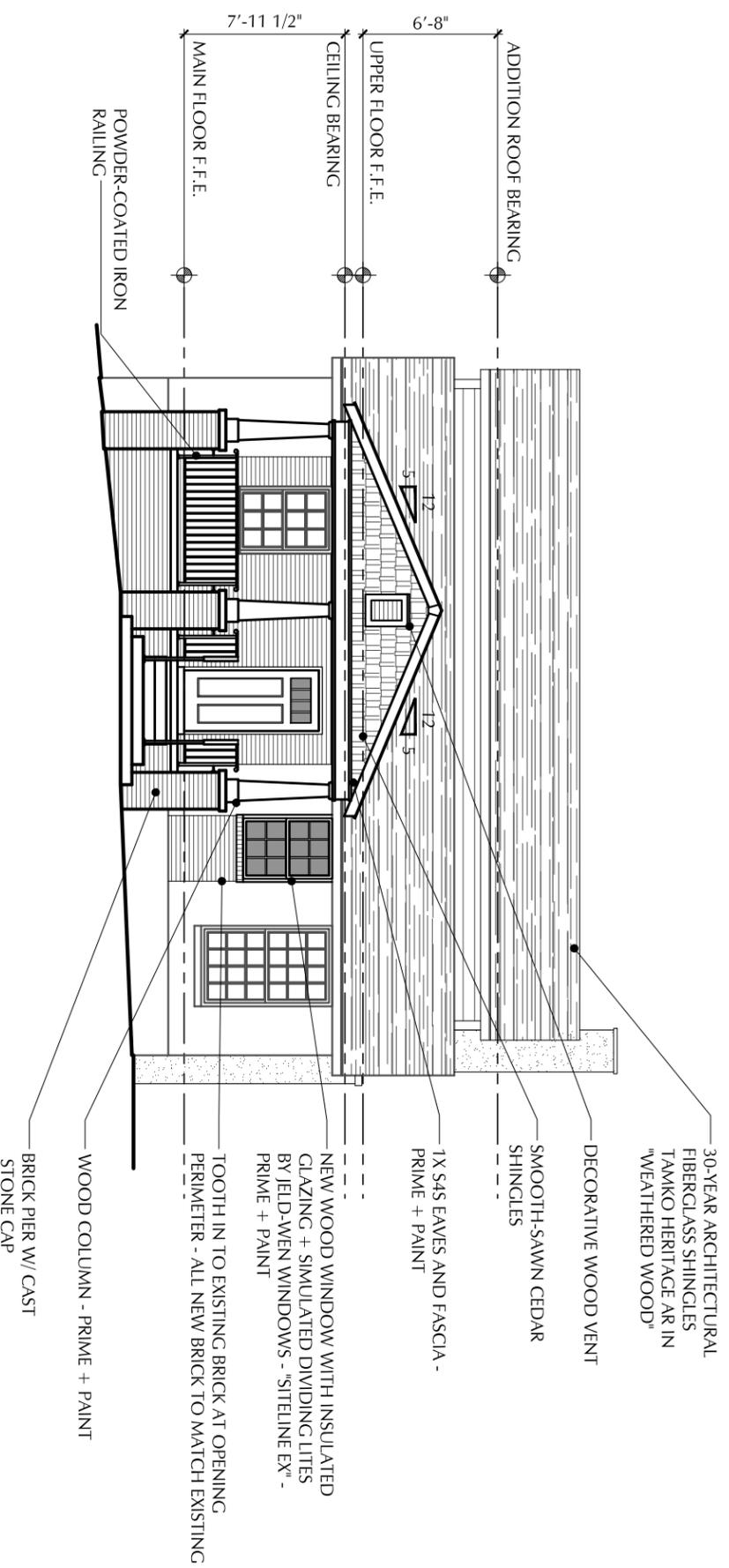
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915 Fatherland Street

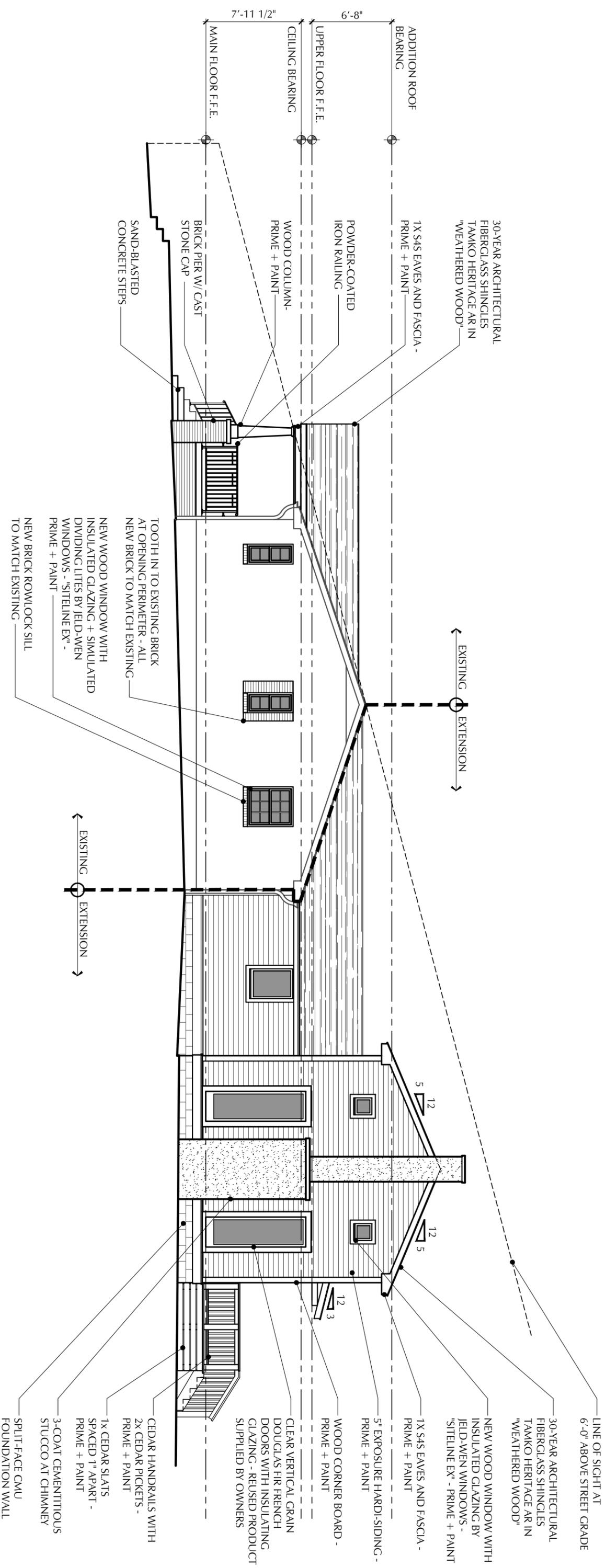
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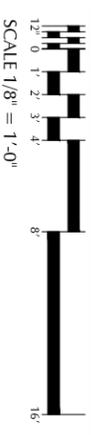
Proposed Fatherland Street Elevation (South)
SCALE 1/8" = 1'-0"

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Proposed Side Elevation (East)



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915 Fatherland Street

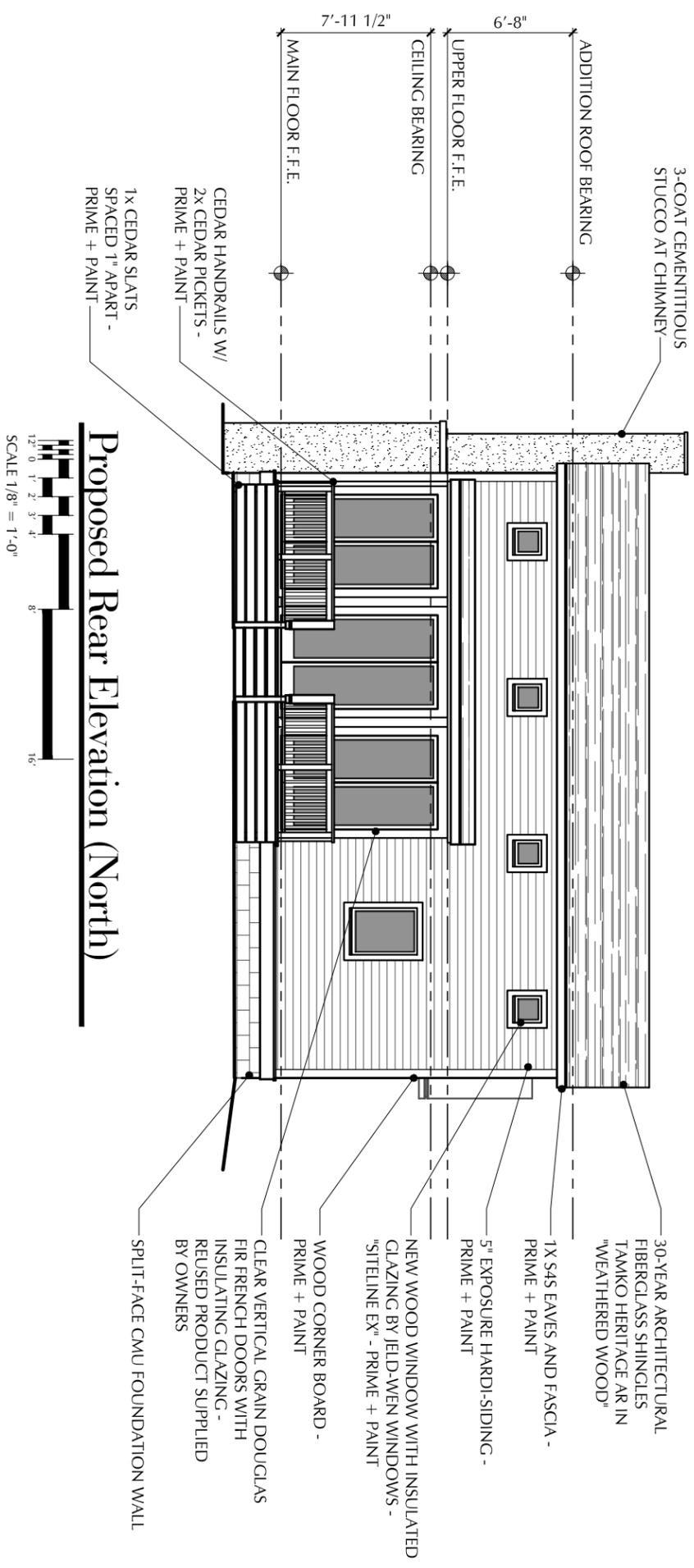
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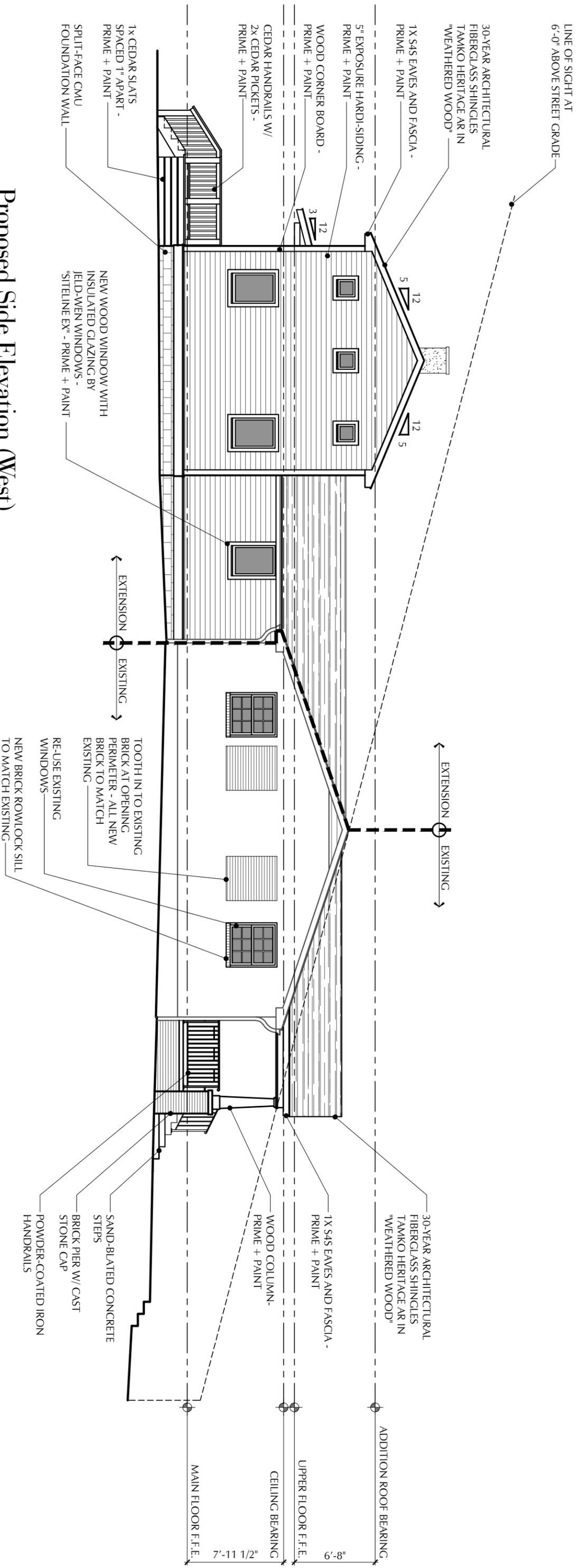
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Proposed Side Elevation (West)

SCALE 1/8" = 1'-0"

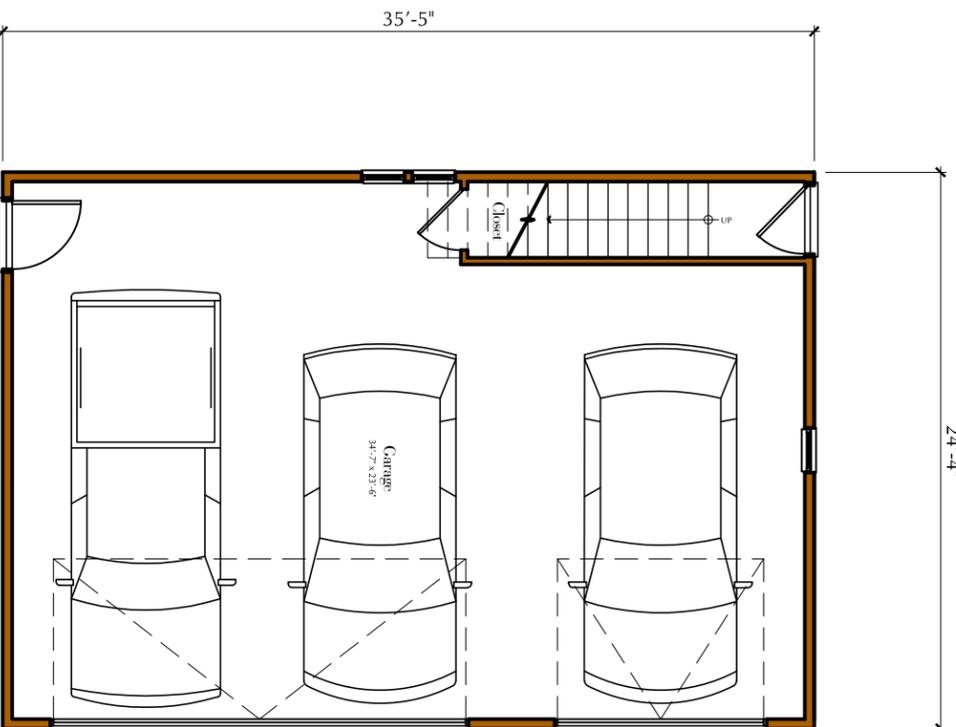
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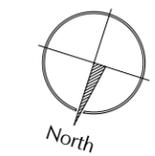
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24'-4"

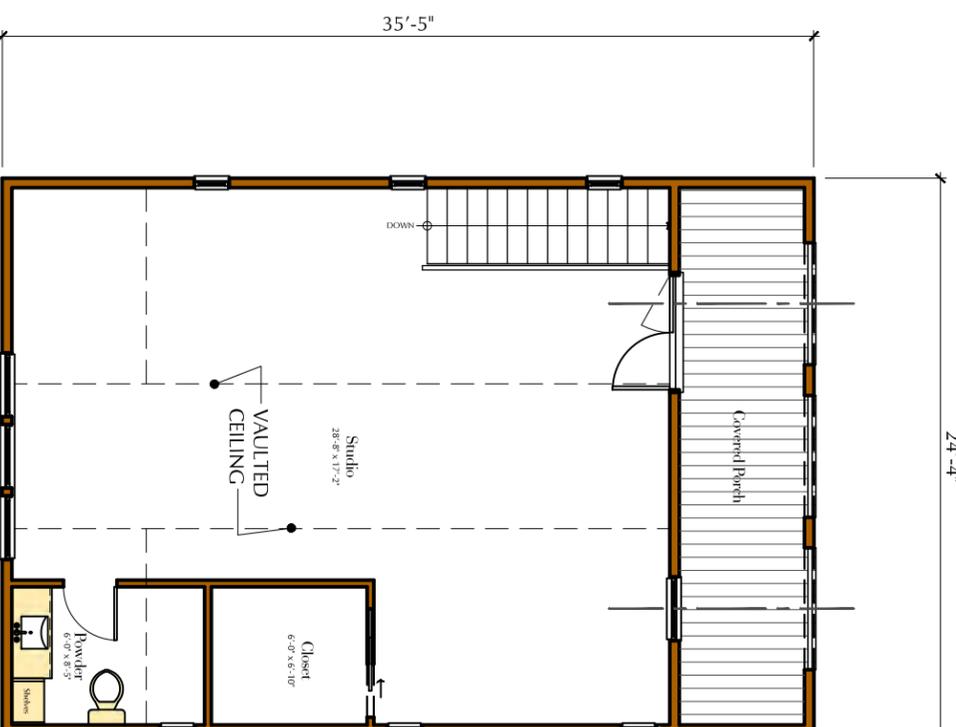


Detached Garage Floor Plan

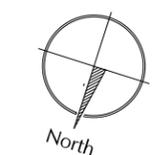


SCALE 1/8" = 1'-0"

24'-4"

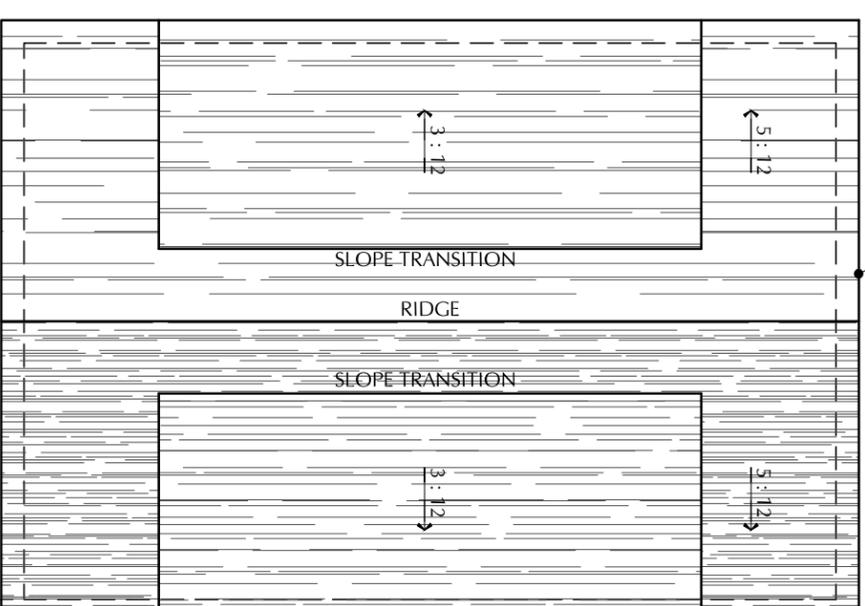


Detached Garage Upper Studio Plan



SCALE 1/8" = 1'-0"

NEW 30-YEAR ARCHITECTURAL
FIBERGLASS SHINGLES
TAMKO HERITAGE AR IN
"WEATHERED WOOD"



1'-0" O.H., TYP.

Detached Garage Roof Plan



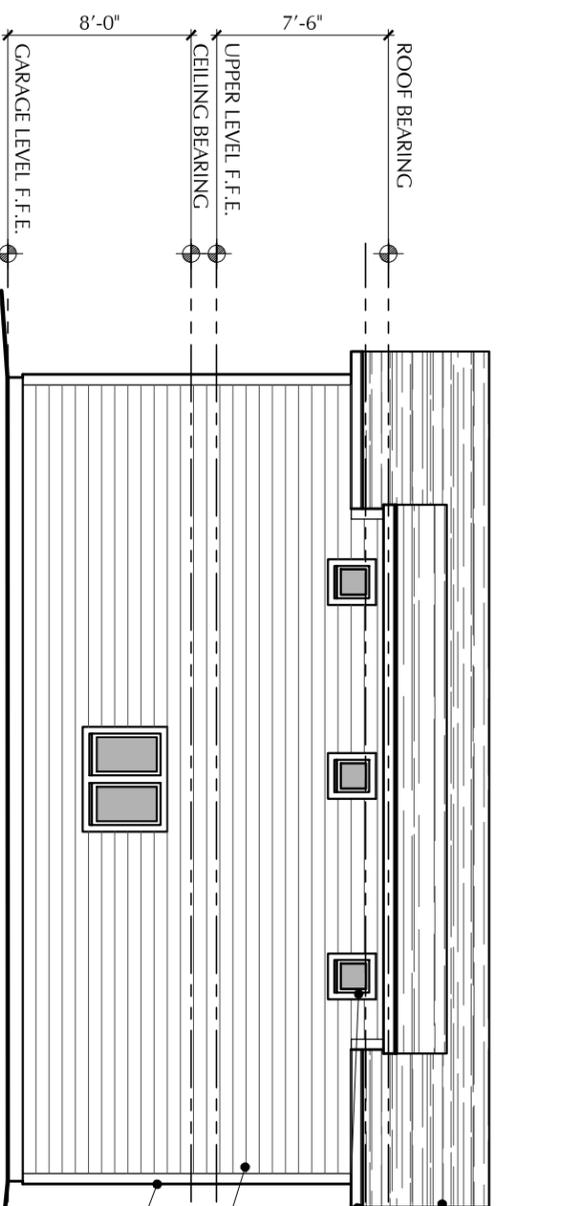
SCALE 1/8" = 1'-0"

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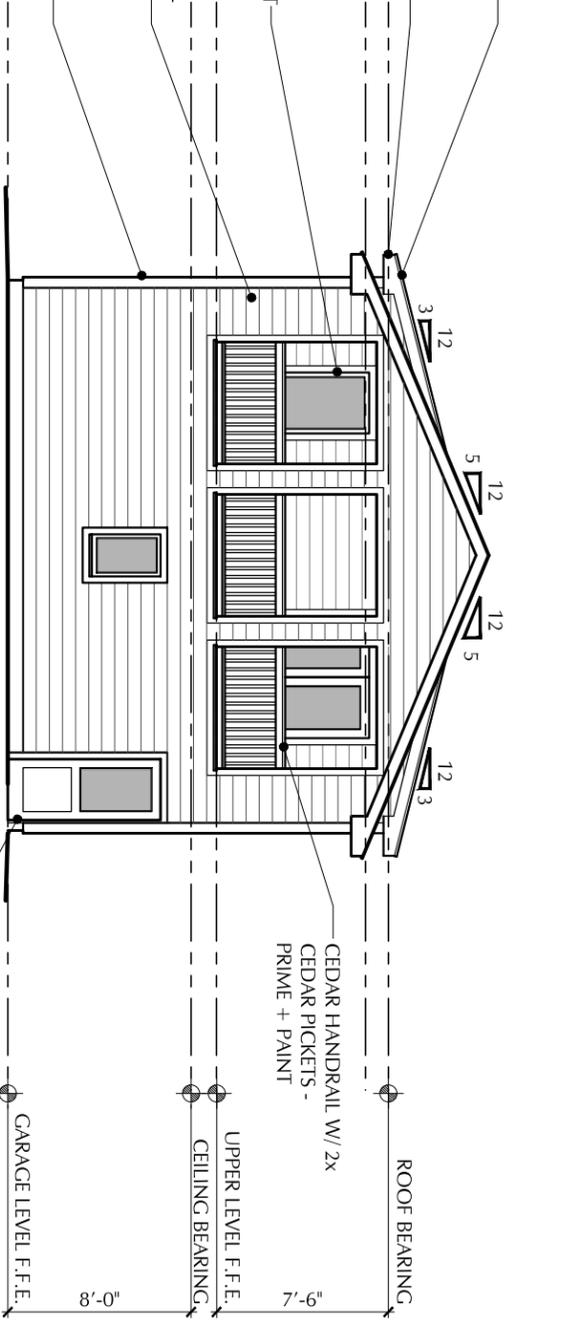
30-YEAR ARCHITECTURAL
FIBERGLASS SHINGLES
TAMKO HERITAGE AR IN
"WEATHERED WOOD"

1X S4S EAVES AND FASCIA -
PRIME + PAINT

NEW WOOD WINDOW
WITH INSULATED GLAZING
BY JELD-WEN WINDOWS -
"SITELINE EX" - PRIME + PAINT

5" EXPOSURE HARDI-SIDING -
PRIME + PAINT

WOOD CORNER BOARD -
PRIME + PAINT



WOOD HALF-LIGHT DOOR
WITH INSULATING GLAZING -
PRIME + PAINT

CEDAR HANDRAIL W/ 2x
CEDAR PICKETS -
PRIME + PAINT

Proposed Detached Garage Elevation (South)



Proposed Detached Garage Elevation (West)

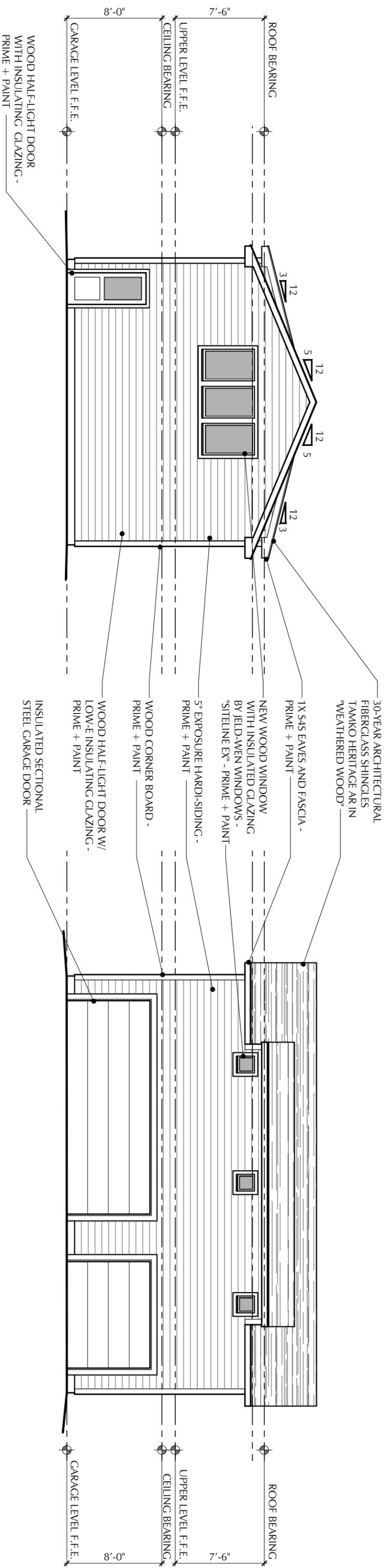


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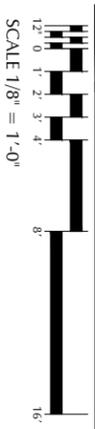
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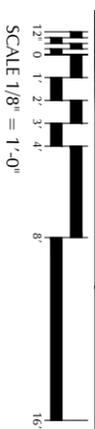
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Proposed Detached Garage Elevation (East)



Proposed Alley Elevation (North)



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