



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**2203 Grantland Avenue**  
**May 15, 2013**

**Application:** Demolition—Outbuilding; New Construction—Outbuilding; Setback reduction

**District:** Woodland in Waverly Historic Preservation Zoning Overlay

**Council District:** 17

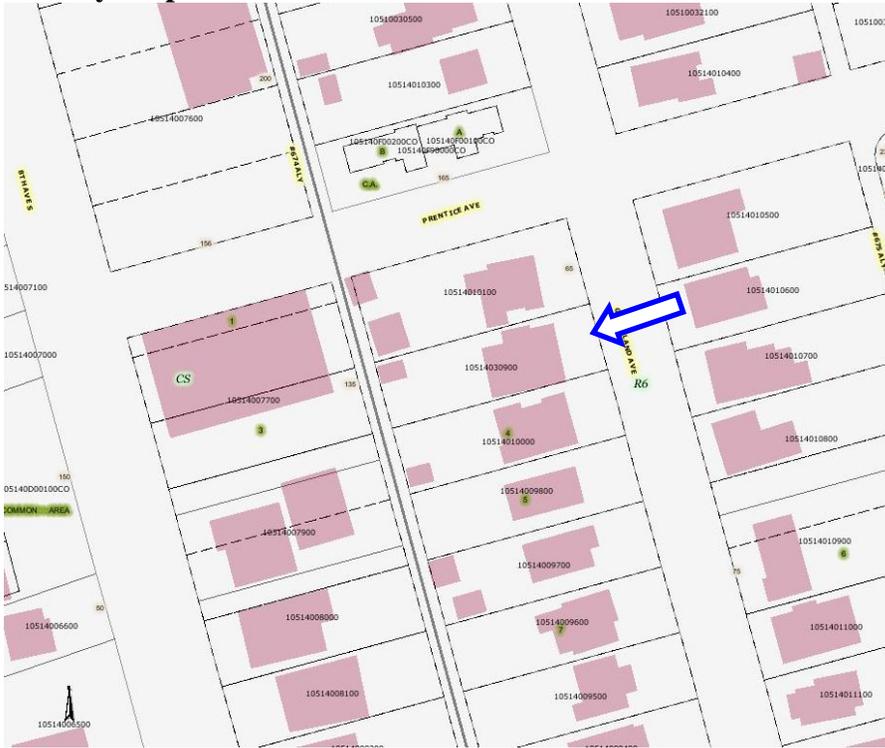
**Map and Parcel Number:** 10514030900

**Applicant:** Lynn Taylor

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to demolish an existing outbuilding and construct a new garage with an attached carport. The structure requires a setback reduction.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
<p><b>Recommendation Summary:</b> Staff recommends approval with the condition that staff approve the windows, doors, asphalt shingle color, and post material. With this condition, staff finds that the project meets III.B.2 and V.B.2. of the <i>Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines</i>.</p>	

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III.B.2 New Construction

- a . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- b . Scale: The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- c . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
- d . Materials, Texture, and Details and Material Color: The materials, texture, and details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl, aluminum, and T-1-11 panel siding are not appropriate.
- e . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- f . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- g . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- h. Outbuildings:
  - 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board - and -batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4. Decorative raised panels on publicly visible garage doors are generally not appropriate. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.*
  - 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Historic garages are usually located as near to a rear corner of a parcel as possible.*
- i. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fencing, and walls, shall be compatible, by not contrasting greatly, with the characteristics of the surrounding historic buildings.

### V.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 91.65 of the historic zoning ordinance.

**Background:** 2203 Grantland is a c. 1910 one-and-a-half story, multi-gabled house that is listed as a contributing structure in the Woodland-in-Waverly National Register of Historic Places nomination report (see Figure 1). In June 2012, staff issued an administrative permit to reconstruct the front porch.



Figure 1. 2203 Grantland Avenue.

**Analysis and Findings:**

Application is to demolish an existing outbuilding and construct a new garage with an attached carport. The structure requires a setback reduction.

Demolition: The application involves demolishing an existing outbuilding (see Figure 2). Staff finds that the existing outbuilding does not contribute to the historic or architecture character of the site or the district and finds that its removal meets Section V.B.2.b. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.



Figure 2. Rear of the property from the alley. The structure to the left will be demolished.

**Setback and Rhythm of Spacing:** The outbuilding is located in the rear of the property, as is appropriate for outbuildings. The enclosed portion of the structure has a footprint of seven hundred and twenty-four square feet (724 sq. ft.), and attached to it is an open carport structure that is three hundred and twelve square feet (312 sq. ft.). Base zoning requires that an outbuilding that is more than seven hundred square feet be five feet (5') from the side property lines and twenty feet (20') from the rear property line. In this case, the outbuilding will be three feet (3') from north side property line, four feet (4') from the south side property line, and six feet (6') from the rear property line. Staff finds the reduction of the setbacks to be appropriate in this instance because historically this property had an outbuilding on it that sat on the rear property line. In addition, the 1914 Sanborn map shows that several properties had outbuildings that sit on the rear property line and less than five feet (5') from the side property lines (See Figure 3). Staff further finds the setback reduction to be appropriate because, currently, there are several outbuildings on the street that do not meet the base zoning requirements for setbacks (see Figures 4 & 5).

Staff finds that the location of the outbuilding and the setback reduction meet Sections III.B.2.c. and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

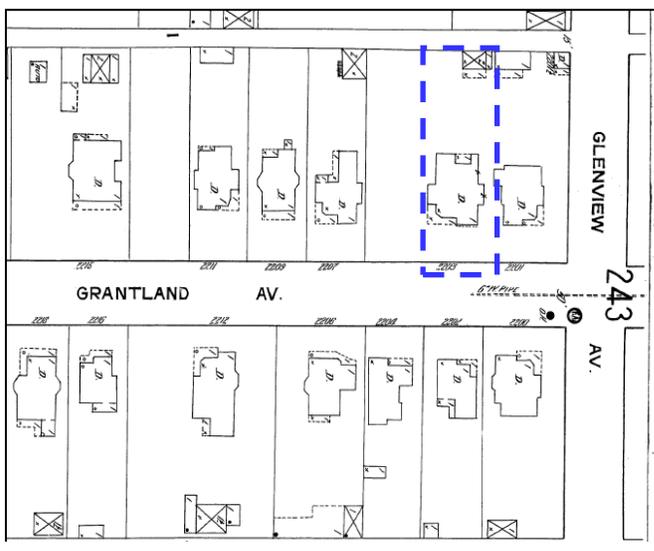


Figure 3. The 1914 Sanborn map shows that this property and many others in the vicinity had outbuildings that sat on or very near to the property lines.



Figures 4 & 5. Some of the outbuildings don't seem to meet the base zoning setbacks

**Orientation:** The garage is oriented so that its garage doors face the alley, which is appropriate. Staff finds that the structure's orientation meets Section III.B.2.f. and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

Height and Scale: The outbuilding has an enclosed garage element and an open carport element. The enclosed garage is one and a half stories with an eave height of approximately thirteen feet, three inches (13'3") from grade and a ridge height of approximately twenty-two feet, nine inches (22'9"). The enclosed garage is thirty feet (30') wide and twenty-four feet (24') deep, and therefore its footprint is seven hundred and twenty-four square feet (724 sq. ft.). The open carport element is one story in height with an eave height of approximately eight feet, five inches (8'5") and a ridge height of approximately eleven feet, eight inches (11'8"). The open carport element is thirteen feet (13') wide and twenty-four feet (24') deep, and therefore it has a footprint of three hundred and twelve square feet (312 sq. ft.). In total, the new structure will have a footprint of one thousand and thirty-six square feet (1,036 sq. ft.). This footprint is larger than typical outbuildings in the neighborhood, but staff finds it to meet the design guidelines because approximately one-third of the structure will be an open carport element that is only one-story in height. In addition, the footprint of the outbuilding is subordinate to that of the house, which has a footprint of approximately two thousand, four hundred square feet (2,400 sq. ft.). Staff also finds that the height of the outbuilding is subordinate to that of the house and does not contrast greatly with other outbuildings in the district. The addition of the outbuilding does seem to negatively affect the site's open space.

Staff finds that the height and scale of the outbuilding meet Sections III.B.2.a., III.B.2.b., and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

Materials: The known materials for the outbuilding have all been approved by the Commission in the past. The primary cladding material will be Hardiplank lap siding with a five inch (5") reveal. Hardishingle siding to mimic cedar shake will be used in the gable and dormer fields. The trim will be wood, the foundation will be a concrete slab, and the roof will be architectural shingles. Staff asks to review the shingle color. The materials for the windows, doors, and posts were not specified, and staff asks to approve them prior to purchase and installation. With the staff's final approval of the windows, doors, asphalt shingle color, and post material, staff finds that the materials meet Sections III.B.2.d. and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

Roof Shape: The roof form for the enclosed portion of the outbuilding will be a side gable with a roof slope of 8/12. The structure includes a covered entryway with an 8/12 slope. The house-facing façade of the structure will have a shed dormer with 3/12 slope. The dormer is not inset from the wall of the structure, but that can be appropriate on an outbuilding. The covered carport portion of the addition will have a side gable with a slope of 3/12. The outbuilding's roof forms are all found in the district and are appropriate for an outbuilding. Staff finds that the roof form meets Sections III.B.2.e. and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

Proportion and Rhythm of Openings. The structure's proportion and rhythm of openings are appropriate for a detached outbuilding in the rear of the lot. Staff therefore finds that the structure's proportion and rhythm of openings meet Sections III.B.2.g. and III.B.2.h. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

**Recommendation Summary:** Staff recommends approval with the condition that staff approve the windows, doors, asphalt shingle color, and post material. With this condition, staff finds that the project meets III.B.2 and V.B.2. of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

4/29/2013

2203 Grantland Avenue  
Nashville, TN 37204

**S 74°30'47" W 165.00'**



EXISTING OVERHEAD  
POWER LINE TO BE  
CHANGED  
TO UNDERGROUND

**TOTAL AREA:  
8,259.29 SQ.FT.  
OR 0.19 ACRES**

**N 74°30'47" E 165.00'**

FENCE  
AT O  
PROPE

OVE

PRO

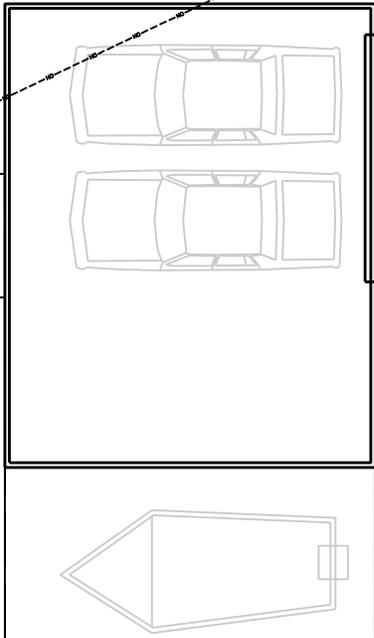
12.1'

FENCE

0.5± NC  
PROPE

4'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION



30'-0"

13'-0"

3'-0"

**N 15°30'10" W**

**50.06'**

**74**

**&  
VEY  
9**

24'-0"

6'-0"

**E 0.7±  
NTH OF  
RTY LINE**



4/29/2013

# 50' R.O.W. GRANTLAND AVENUE

S 15°30'10" E  
50.06'

49.99'

# SITE PLAN

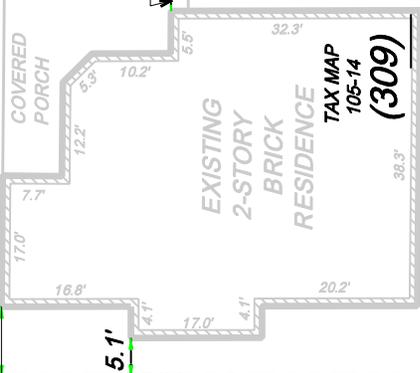
2203 Grantland Avenue  
Nashville, TN 37204

2203

29.4'

9.1'

OVERHANG 16½"  
SOUTH OF  
PROPERTY LINE



FENCE CORNER  
AT OR NEAR  
PROPERTY LINE

FENCE 0.3½"  
SOUTH OF  
PROPERTY LINE

S 74°30'47" W 165.00'

TAX MAP  
105-14  
**(100)**  
DAVID & PATRICIA  
EARNHARDT  
D.B. 9879 PG. 641  
R.O.D.C., TN.

TOTAL AREA:  
8,259.29 SQ.FT.  
OR 0.19 ACRES

N 74°30'47" E 165.00'

FENCE 0.2½"  
SOUTH OF  
PROPERTY LINE

TAX MAP  
105-14  
**(101)**  
CRYSTAL DISHMON &  
KATHERINE MCCARTNEY  
INST. # 2011115-0089019  
R.O.D.C., TN.

FENCE 0.7½"  
SOUTH OF  
PROPERTY LINE

FENCE CORNER  
AT OR NEAR  
PROPERTY LINE

OVERHEAD LINE  
CROSSING  
PROPERTY LINE

EXISTING OVERHEAD  
POWER LINE TO BE  
CHANGED TO UNDERGROUND

24'-0"

6'-0"

OVERHANG LINE  
CROSSING  
PROPERTY LINE

12.1'

350.25'

FENCE CORNER  
0.5½" NORTH OF  
PROPERTY LINE

4'-0"

30'-0"

13'-0"

3'-0"

2203 Grantland Avenue  
Nashville, TN 37204

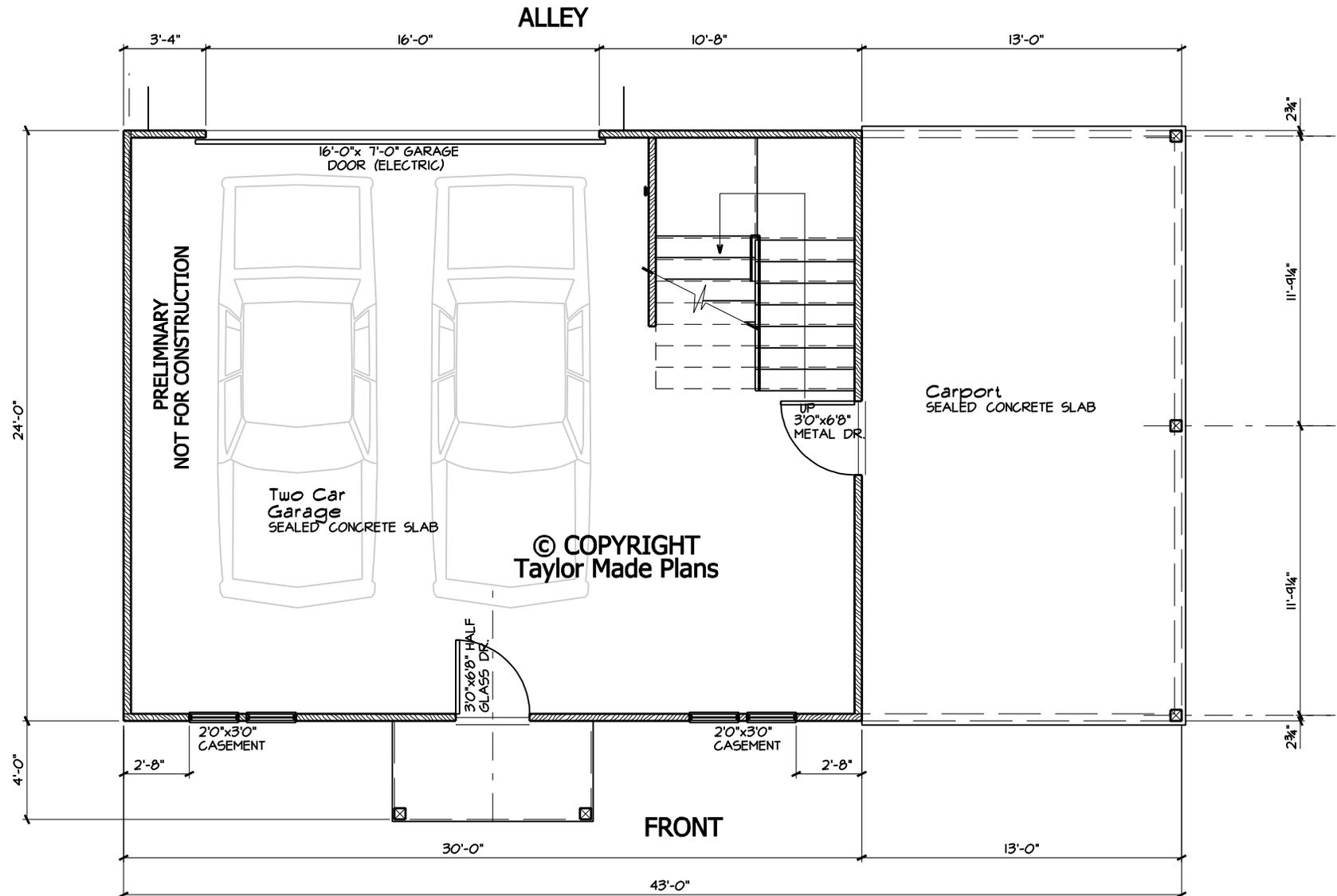
N 15°30'10" W  
50.06'

15' ALLEY #674



4/29/2013

2203 Grantland Avenue  
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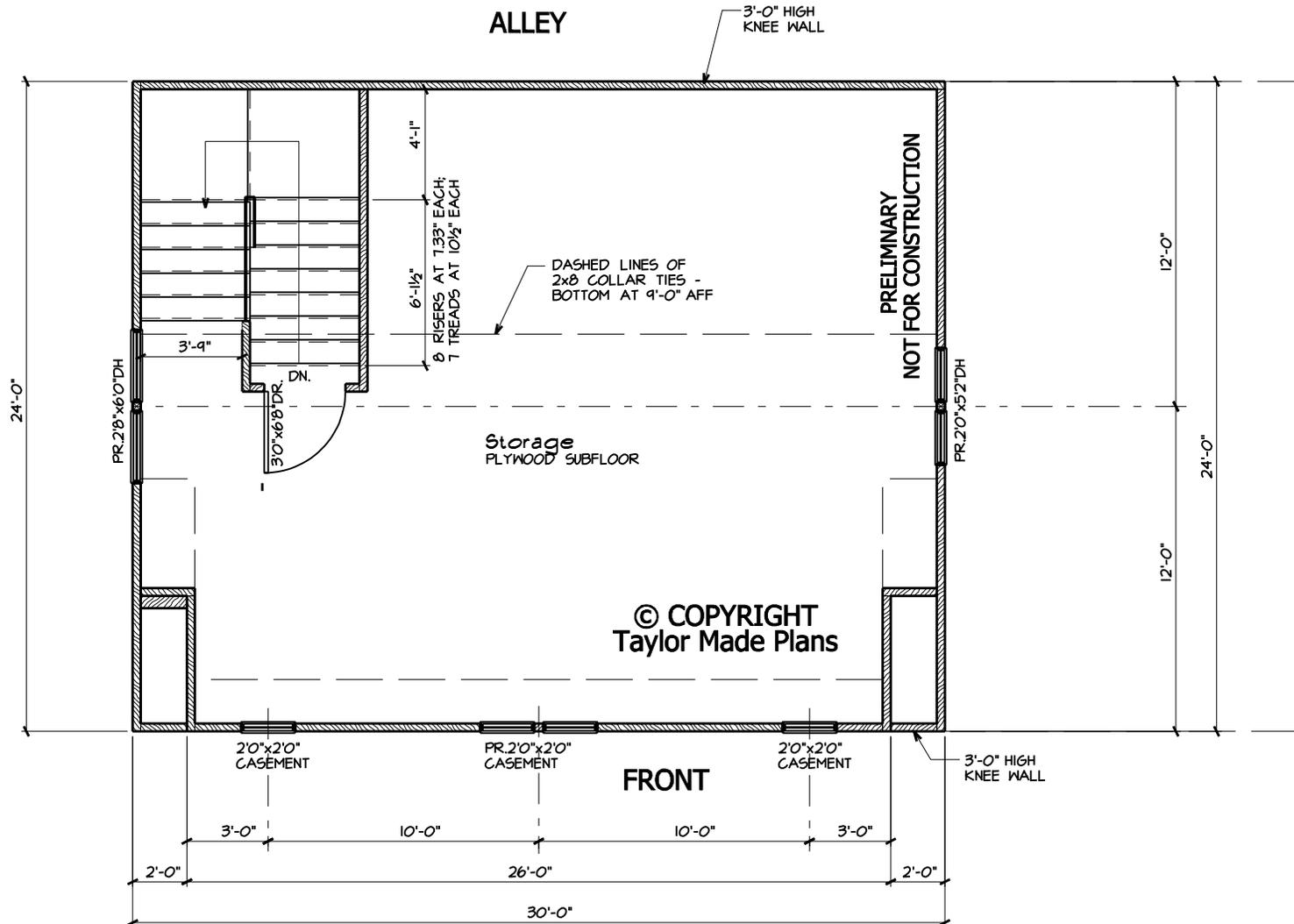


# FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

4/29/2013

2203 Grantland Avenue  
Nashville, TN 37204



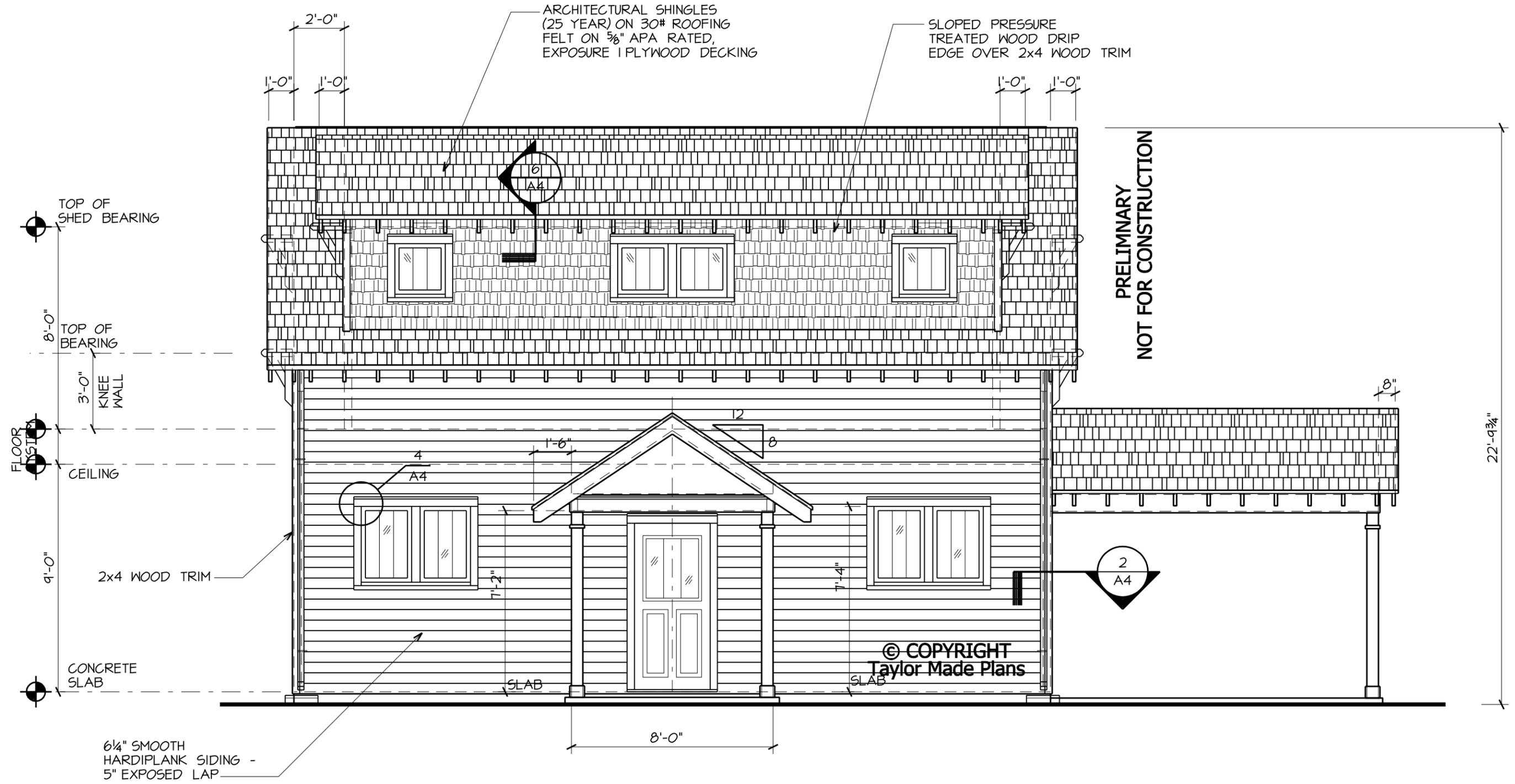
## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Taylor Made Plans

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Nashville, TN 37204

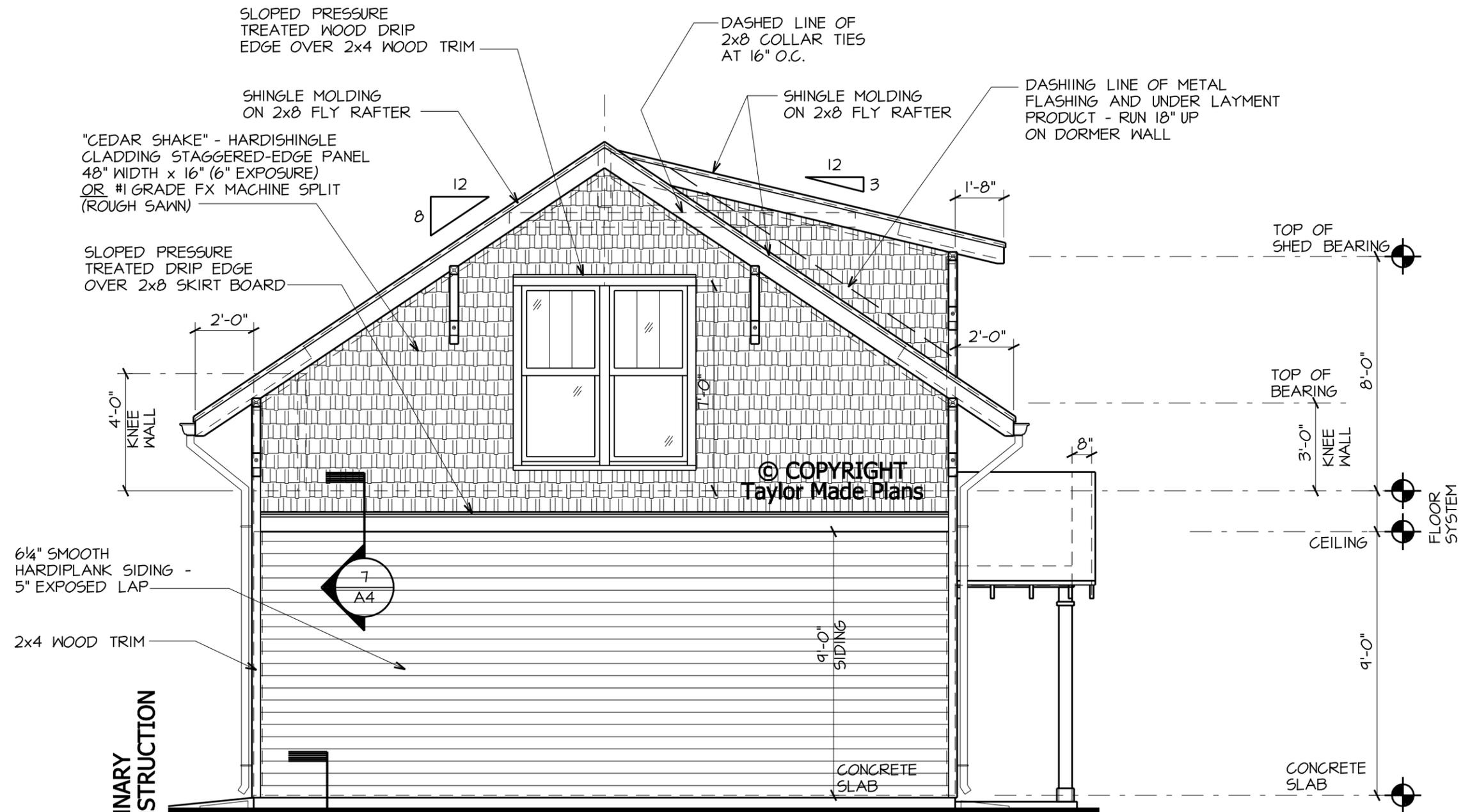


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

4/29/2013

2203 Grantland Avenue  
Nashville, TN 37204



PRELIMINARY  
NOT FOR CONSTRUCTION

2

LEFT SIDE ELEVATION

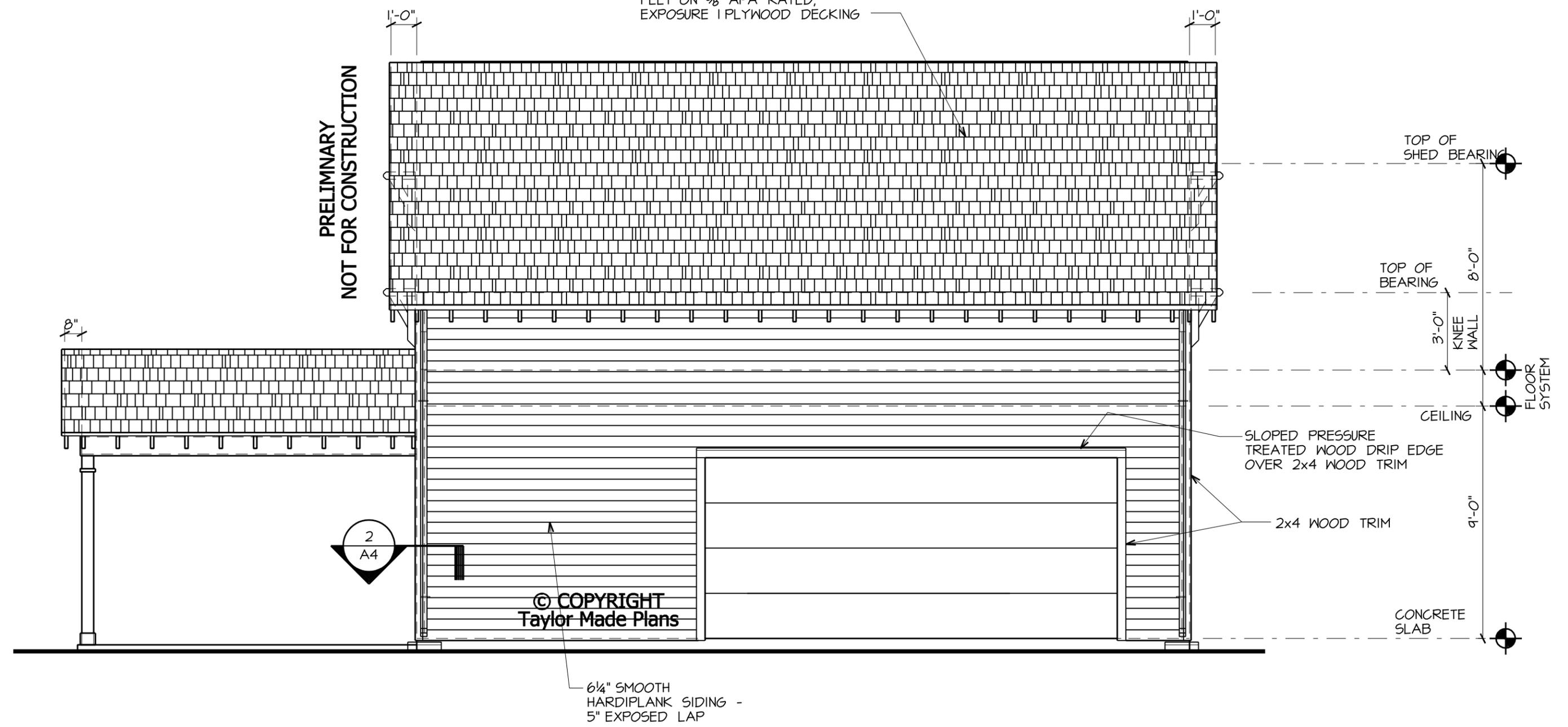
SCALE: 1/4" = 1'-0"

4/29/2013

2203 Grantland Avenue  
Nashville, TN 37204

DASHED LINE OF  
2x8 COLLAR TIES  
AT 16" O.C.  
ARCHITECTURAL SHINGLES  
(25 YEAR) ON 30# ROOFING  
FELT ON 5/8" APA RATED,  
EXPOSURE 1 PLYWOOD DECKING

PRELIMINARY  
NOT FOR CONSTRUCTION



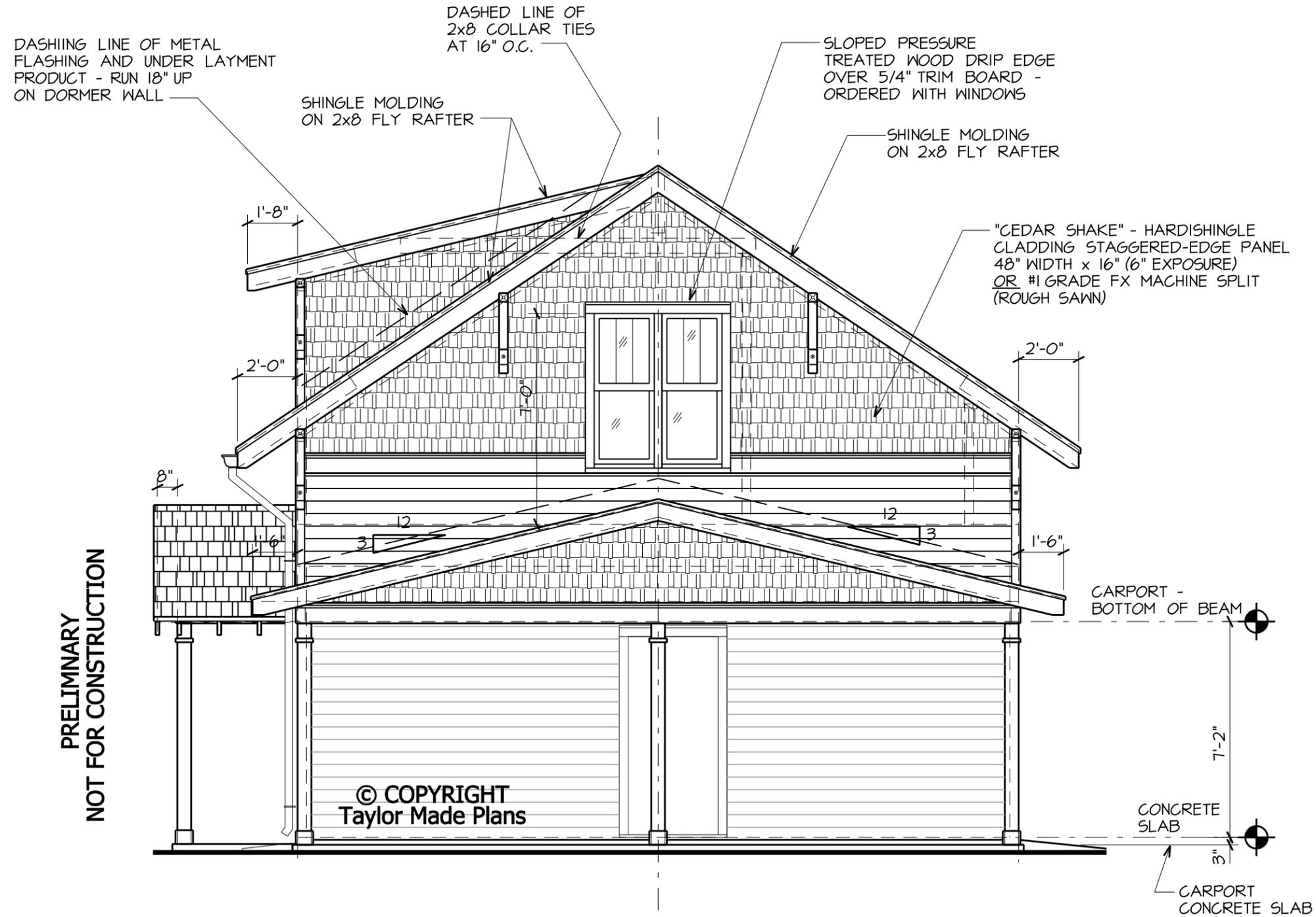
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Taylor Made Plans

6 1/4" SMOOTH  
HARDIPLANK SIDING -  
5" EXPOSED LAP



# REAR ELEVATION

SCALE: 1/4" = 1'-0"



3

## RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"