



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
811 Boscobel Street
May 15, 2013

Application: New construction - addition
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216029500
Applicant: Ann Nielson
Project Lead: Robin Zeigler, Robin.Zeigler@nashville.gov

<p>Description of Project: Applicant proposes to enclose a rear porch with screen and roof a currently unroofed portion of the rear porch and also screen it in.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
<p>Recommendation Summary: Staff recommends approval with the conditions that Staff review the color for the roofing and the lap siding have a smooth finish and no more than a five (5") reveal.</p>	

Applicable Design Guidelines:

II.B. 2 Porches

Enclosing a porch increases the habitable space of a building and is considered to be an addition.

- a. Original design, dimension, architectural details, materials, and all other visual characteristics should be retained.
- b. Where replacement is necessary, new elements should match the design, dimension, architectural features, materials, and all other visual characteristics of the original porch.
- c. Front porches shall not be screened. The screening of side porches may be appropriate if the visual openness and character of the porch is maintained.

The design of reconstructed porches should be based on documentary, physical, or pictorial evidence. When such evidence does not exist, a simple design, using the overall proportions and materials of porches appropriate to the style of the house, is usually best.

The Metropolitan Codes Department may require a railing on a new or repaired porch. On house styles for which porch railings are not historically appropriate, exemptions can be requested from the Board of Zoning Appeals with the support of the MHZC.

Porch elements may include, but are not limited to, columns, railings, balusters, brackets, cornice, ceilings, decking, and steps.

II.B.5 Materials

- a. Original building materials should be retained.
- b. Where replacement is necessary, new materials should match the design, dimension, detail, and all other visual characteristics of the originals, based on physical or historical documentation.

Original building materials may include, but are not limited to, wood, brick, stone, terra cotta, stucco, cast stone and concrete.

- c. Masonry
 - 1) Mortar for re-pointing should match original color, joint width, depth, and tooling profile.
When repointing brick, new mortar with a high concentration of portland cement should be avoided. Temperature and moisture cause brick and mortar to expand and contract. During expansion, the two materials press against each other, and over time, the softer of the two deteriorates. Typical "redi-mix" type mortar, which contains a high concentration of portland cement, is harder than historic brick. In such circumstances, its use can damage brick. Mortar for repointing should have a low concentration of portland cement.
 - 2) Cleaning of masonry should be done with the gentlest means possible. Sandblasting causes severe damage to brick, stone, and mortar, and is not appropriate.
 - 3) Generally, the use of paint, stain, water repellent, or any other type of coating on brick is not appropriate.
If brick is mismatched due to insensitive repairs, paint or stain on mismatched areas may be appropriate. If brick is so deteriorated that it cannot withstand the weather, a water repellent or paint may be appropriate. In such circumstances, the paint or stain must approximate the natural material color of the original brick. Previously painted brick may be repainted using a color which approximates the natural material color of the original brick.
 - 4) Previously unpainted stone should not be painted. Waterproof coatings shall not be used.
If stone is so deteriorated that it can no longer withstand the weather, a water repellent or consolidant may be appropriate. Previously painted stone may be repainted using a color which approximates the natural color of the stone.

d. Wood

- 1) Original wood siding and wall shingles should be retained.

- 2) Where replacement is necessary, new wood siding or shingles should match the dimension, profile, course width, texture, orientation, and all other visual characteristics of the original material.
Hardboard (Masonite) siding is not approved for use on historic buildings.
- 3) Aluminum and vinyl sidings are not appropriate.

Aluminum and vinyl are bad ideas when it comes to historic buildings for a lot of reasons. Here are a few: 1. Aluminum and vinyl don't look like real wood siding. Among other visual problems, the artificial sidings cup, have distracting seams, use visible channels at intersections, and often cover important architectural details. 2. A building's original materials are almost invariably damaged by the installation of fake siding. 3. Too frequently, artificial siding is used to cover up a deterioration problem. Even if the vinyl or aluminum is installed over sound wood, fake siding will frequently hide new moisture or infestation problems until serious damage is done. And 4. Realtors who work in the historic neighborhoods know that a house that retains its original character sells faster than one that has been significantly altered.

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. An addition should connect to the associated building in such a way that the original form of the building is visually evident.
- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.
- g. New additions should follow the guidelines for new construction.

Background: 811 Boscobel Street is listed in the Edgefield Historic District National Register nomination as contributing structure and described as a 2.5 story brick building with terra cotta, Richardsonian Romanesque flavor, constructed in the late 19th century.

Analysis and Findings:

Location: The enclosure will happen at the rear of the building and utilize the footprint of an existing rear porch. Additions are most appropriate at the rear; therefore, this project meets section III.B.1 for additions.

Enclosure of Porch: An existing two-story porch with parking space at the basement level already exists. The first floor is partially covered by the second-story porch floor. The applicant proposes adding a shed roof to the uncovered portion, and screening in the entire porch. Screening porches is appropriate if they are at the rear of the building, as this one is. The project meets section II.B. 2.

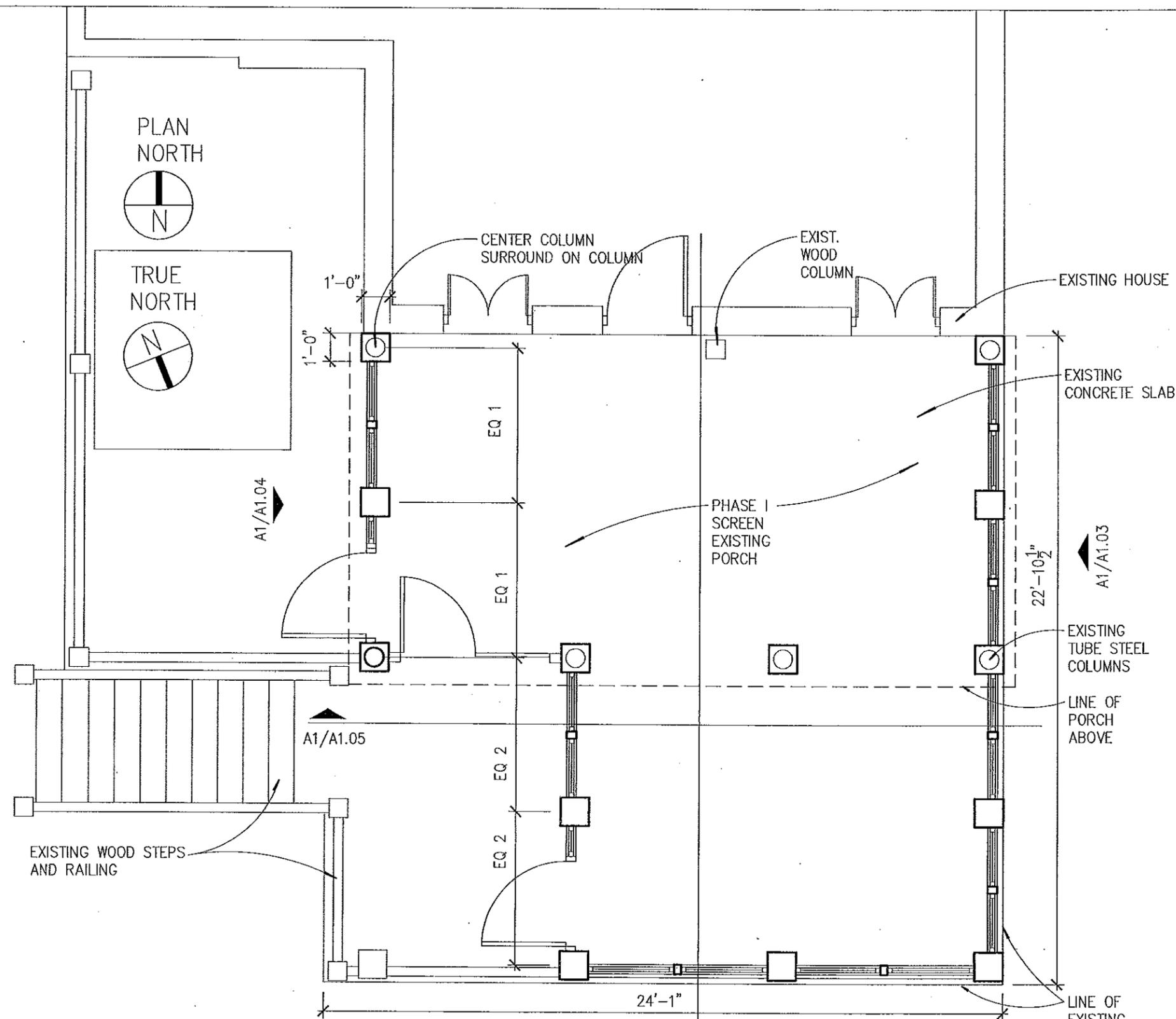
Materials: The porch posts shall be redwood and the partial cladding shall be cement fiber lap siding. Staff recommends that the lap siding have a smooth finish and have no more than a five inch (5") reveal. The new roof shall be standing seam metal and the

color is not indicated. Staff recommends Staff review of the final color. With the condition that the metal roof color be approved by Staff and that the lap siding have a smooth finish with a maximum reveal of five inches (5”), the project meets section II.B.5.

Staff recommends approval with the conditions that Staff review the color for the roofing and the lap siding have a smooth finish and no more than a five (5”) reveal.

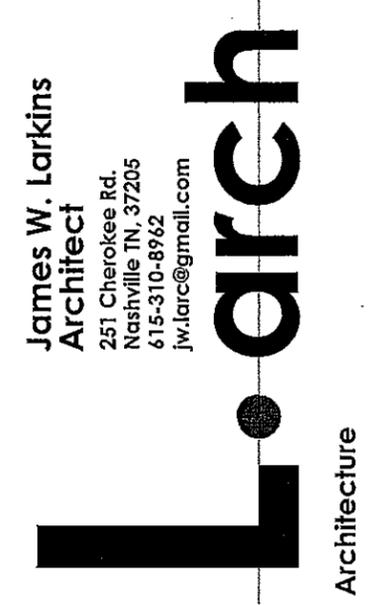






A1 FLOOR PLAN
 1/4" = 1'-0"
 0 1' 2' 4' 8'

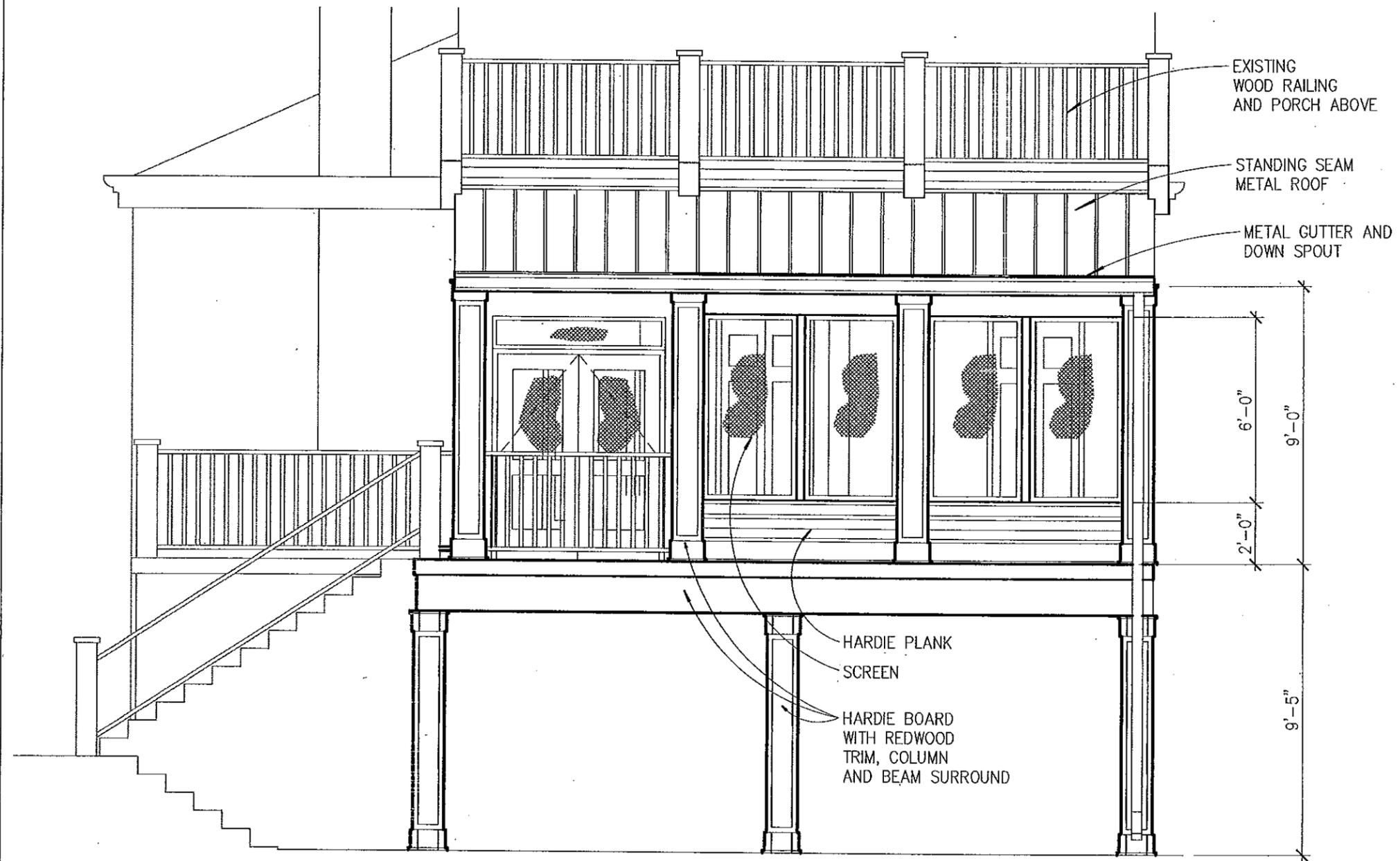
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NIELSON PORCH
811 BOSCOBEL ST
NASHVILLE TN

REV: DATE: NOTE:
 04.26.13 ISSUED FOR REVIEW

PLAN: PHASE I
A1.01



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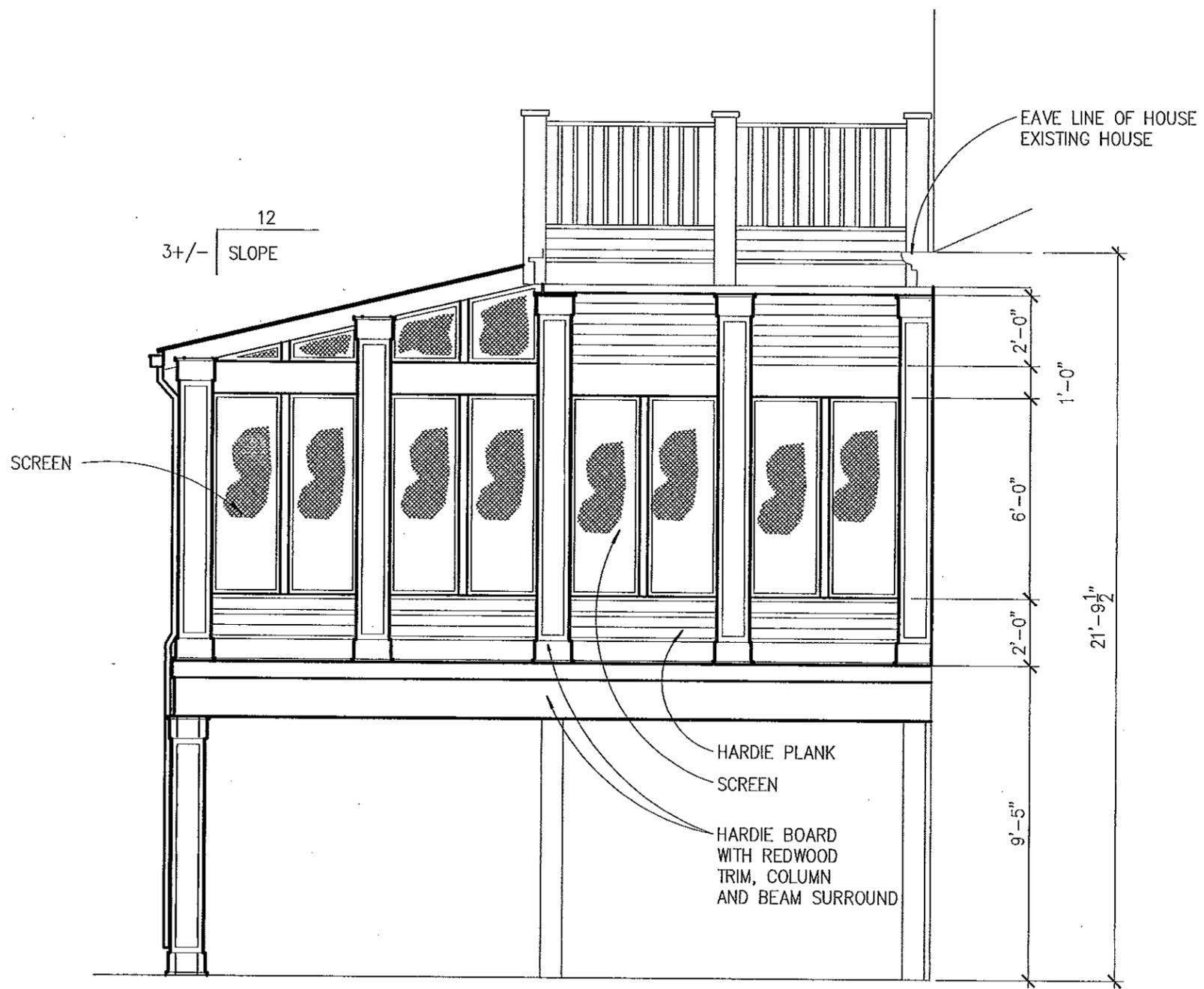
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ELEVATION: PHASE I

A1.02

A1 REAR ELEVATION
 1/4" = 1'-0"





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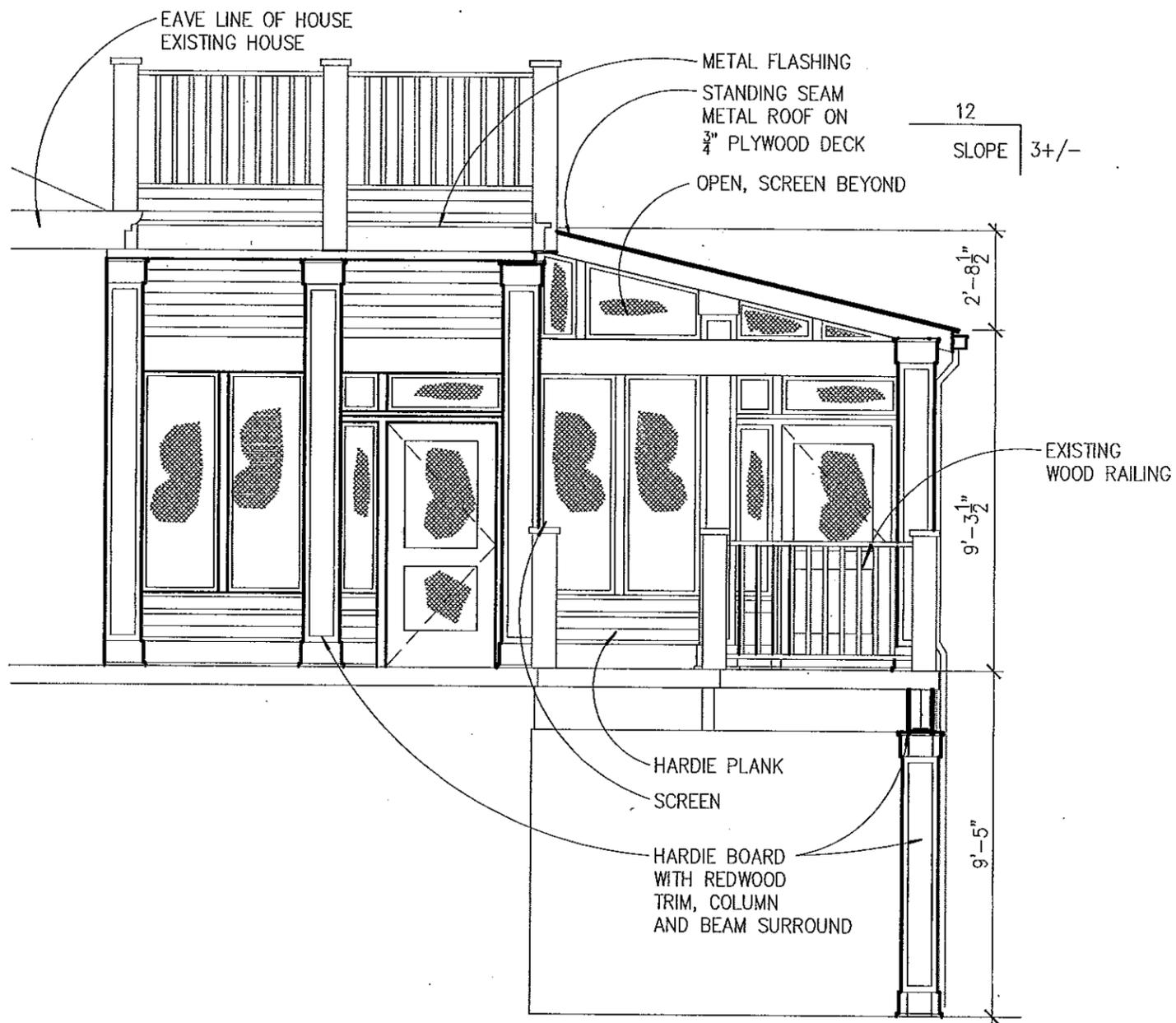
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ELEVATION: PHASE I

A1.03

A1 SIDE ELEVATION
 1/4" = 1'-0"





A1 SIDE ELEVATION
 1/4" = 1'-0"



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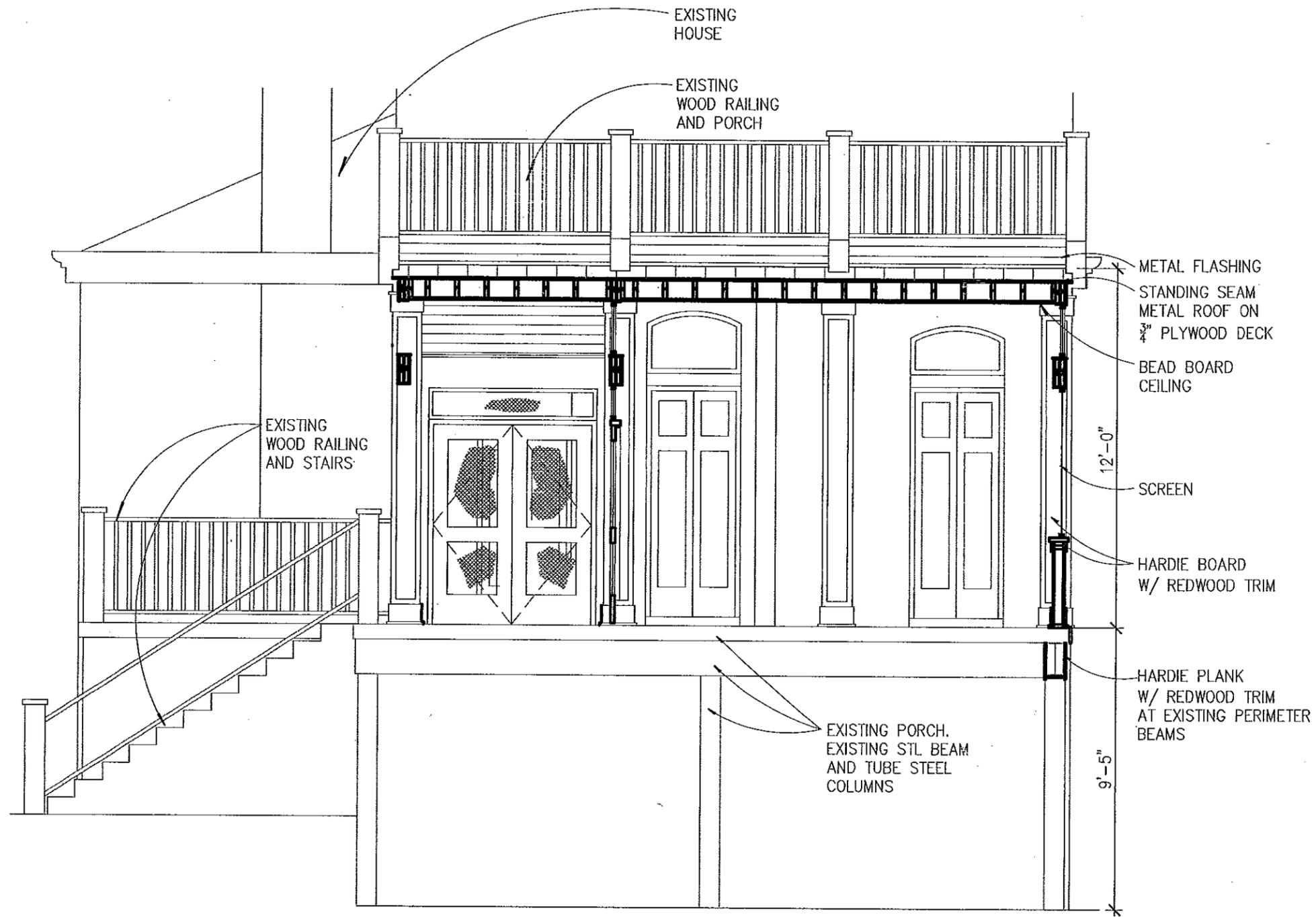
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ELEVATION: PHASE I

A1.04



A1 SECTION
 1/4" = 1'-0"
 0 2' 8'
 1' 4'

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Architecture

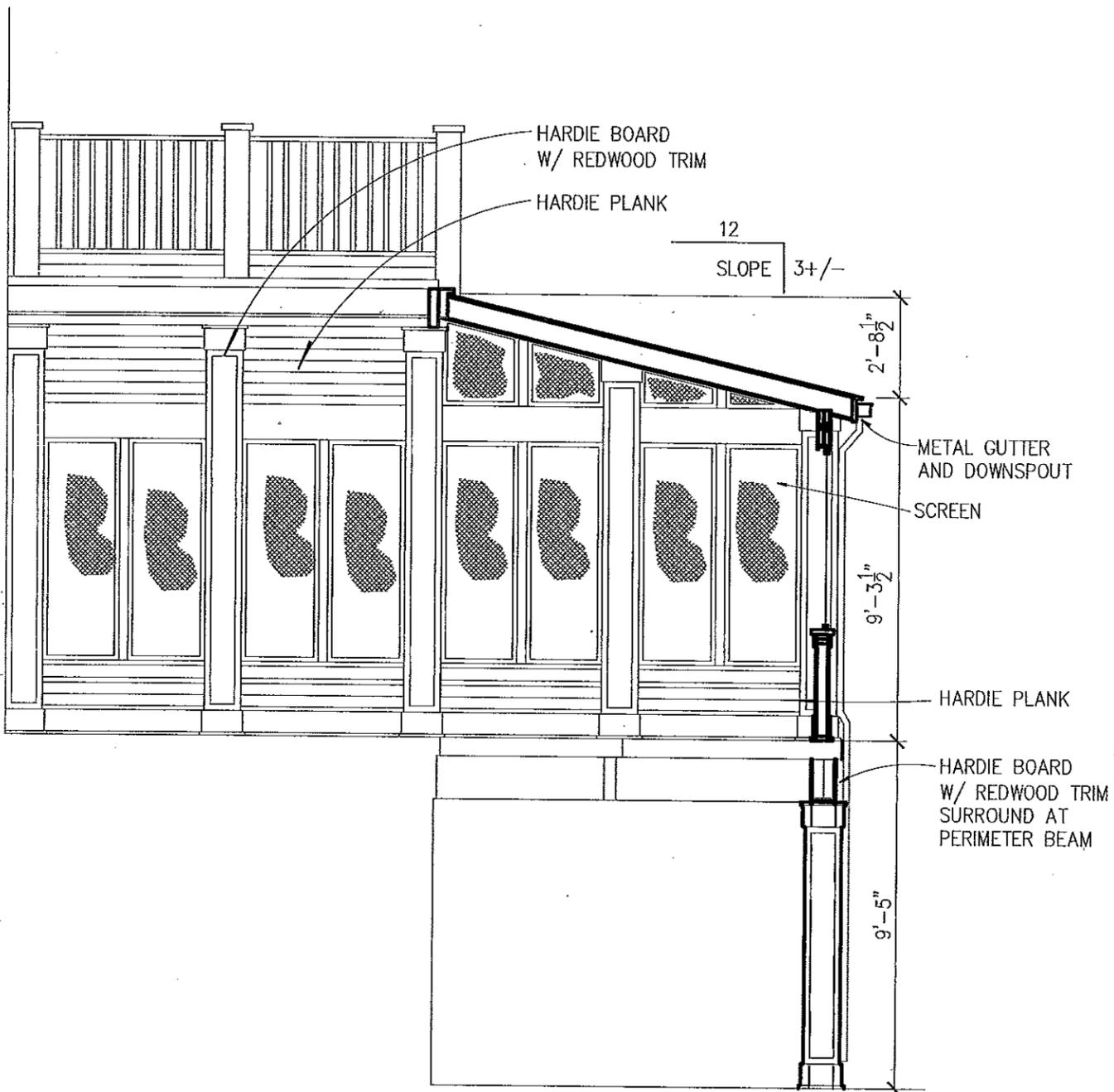
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SECTION: PHASE I

A1.05



A1 SECTION
 1/4" = 1'-0"
 0 2' 8'
 1' 4'

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SECTION: PHASE I

A1.06