



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1906 Holly Street**  
**June 19, 2013**

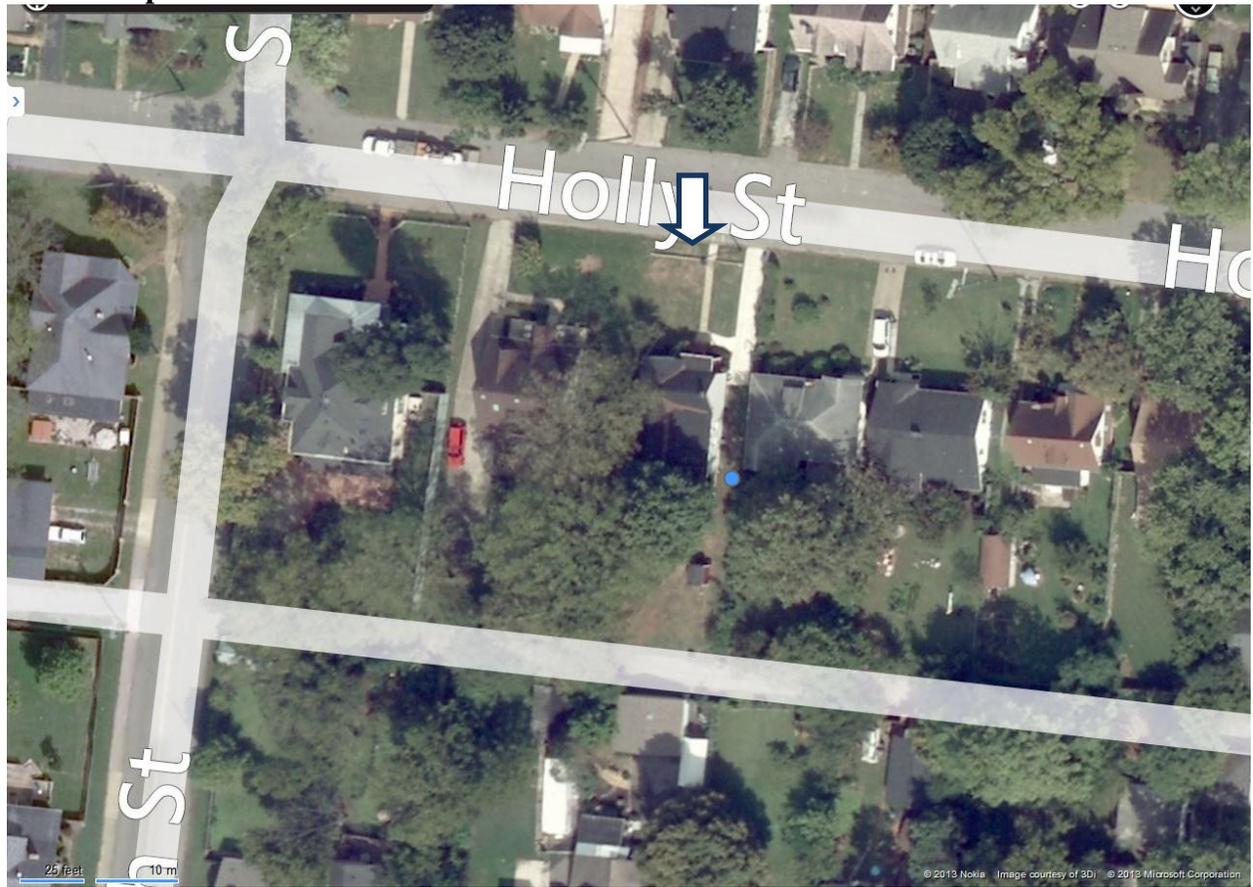
**Application:** Demolition-partial; New construction-addition  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08314007900  
**Applicant:** Ronee Swafford and Daniel Long  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> The applicant is proposing to construct a two-story addition to a one-story house. The new addition will be taller than the historic structure and requires the removal of portions of the existing house, roof, and a chimney.</p> <p><b>Recommendation Summary:</b> Staff recommends disapproval, finding that the height, scale, roof shape, and proportion and rhythm of openings do not meet Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b>  <b>A:</b> Photographs  <b>B:</b> Applicant's description of work  <b>C:</b> Site Plan  <b>D:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

#### **2. Scale**

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **3. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

## 5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

## 6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

## 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

## 10. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

*A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

## *Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

*In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

*In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

*When an addition needs to be taller:*

*Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*

*When an addition needs to be wider:*

*Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

*In addition, a rear addition that is wider should not wrap the rear corner.*

## *Ridge raises*

*Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.*

## *Sunrooms*

*Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.*

## *Foundation*

*Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.*

*Foundation height should match or be lower than the existing structure.*

*Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.*

## *Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).*

#### *Rear & Side Dormers*

*Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.*

*The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.*

*Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.*

*Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:*

- *New dormers should be similar in design and scale to an existing dormer on the building.*
- *New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- *The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- *Dormers should not be added to secondary roof planes.*
- *Eave depth on a dormer should not exceed the eave depth on the main roof.*
- *The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- *The roof pitch of the dormer should generally match the roof pitch of the building.*
- *The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- *Dormers should generally be fully glazed and aprons below the window should be minimal.*
- *The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

c. Additions must not imitate earlier styles of periods of architecture.

*The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.*

*Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*

*To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

*Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.*

*Side porch additions may be appropriate for corner building lots or lots more than 60' wide.*

d. The creation of an addition through the enclosure of a front facade porch is inappropriate and should be avoided.

*Additions should follow all New Construction guidelines.*

#### **IV. B. Demolition**

##### **Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

##### **Demolition is appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** 1906 Holly is a one-story house constructed c. 1920 with a gabled-ell form (Figure 1). The structure was included in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay expansion in 2004.



Figure 1. 1906 Holly from street

On the left side of the house is an addition with a shed roof that was constructed sometime after 1986 because it does not appear in a photo from that year (Figures 2 & 3).



Figures 2 & 3. The 1986 photo (left) doesn't show the current addition seen in the right photo.

On the right side of the house, behind the bay, is a gabled portion of the house that staff believes to be part of the original structure of the house, although at least the roof framing has been reconstructed (see Figures 4 & 5). The foundation material on this side of the house matches the rest of the house, although the house was likely originally built on piers and the foundation block added later. A similar addition appears in a photo of the house from 1969 (See Figure 6). Staff inspected the interior framing, and the framing for this portion behind the bay appeared to be new and did not match the framing of the rest of the historic house. However, the wood framing in the attic space was painted, suggesting that the house suffered a fire. The Codes' department database shows a permit to repair fire damage at this house from 2003. Staff believes that this portion of the house was reconstructed in 2003 to closely match the original form.



Figures 4 & 5. The gabled portion of the house appears to have been an original part of the house that was reconstructed after a fire in 2003.



Figure 6. 1906 Holly Street in 1969, showing a similar rear to what is behind the bay now.

**Analysis and Findings:**

The applicant is proposing to construct a two-story addition to a one-story house. The new addition will be taller than the historic structure and requires the removal of portions of the existing house, roof, and a chimney.

Partial Demolition: The applicant is proposing to demolish the back wall of the house, but to retain all other existing exterior walls (Figure 7). Staff finds that the removal of the rear exterior wall, which is not visible from the street, will not negatively affect the historic integrity of the house or the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. The project also requires the removal of a chimney on the front gable section of the roof (Figure 8). Staff asks that the applicant submit more information about the chimney’s current condition so that staff can assess whether or not it is appropriate to remove the chimney.



Figure 7. Rear wall that will be demolished



Figure 8. Applicant is proposing to remove this chimney.

Setback: The proposed addition meets all base zoning requirements for setbacks. Staff therefore finds that proposed addition meets Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: Staff finds that the proposed height and scale of the addition does not meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The applicant is proposing an addition that is four feet (4') taller than the historic house. The design guidelines state the following about additions that are taller than the historic structure:

*Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*

Staff finds that the addition does not meet these guidelines in several respects. The addition ties into, or just below, the ridge of the side gable portion of the roof, and continues at the height of the existing structure for approximately one foot (1'). After that point, the structure rises in height at a slope of 7/12, according to the left side elevation drawing, to be four feet (4') taller than the historic house. The four foot (4') extra height begins at a point that is approximately twenty-one feet (21') behind the front of the house. This is significantly less than the forty feet (40') that the design guidelines state should be the distance.

In addition, because the applicant is proposing to construct the addition on top of existing walls, the addition does not step in from the walls and the roof of the house as the Commission typically requires of additions. Typically, the Commission has required that two-story additions step in two feet (2') from the roof and the side walls of the house. On the left façade, the addition will stack on top of the walls and the roof of the historic side gable as well as on top of the non-historic addition behind the side gable. On the right façade, the addition will stack on top of a portion of the front gable walls and roof and will be located on top of the one-story bay feature.

Not stepping in from the roof and sidewalls of the historic house and having the two-story, four-foot (4') taller portion of the addition start just twenty-one feet (21') behind the front wall of the house will result in an addition that overwhelms the historic structure. When viewed from across Holly Street, the addition will be visually jarring and will not appear to be subordinate to the historic structure (see Figures 9-12 on next page).



Figure 9. Photo taken from left/east, standing at the curb across Holly Street. The arrow approximates the location of the addition.



Figure 10. Photo taken from left/east, standing at the curb across Holly Street. The arrow approximates the location of the addition.



Figure 11. Photo taken from right/west, standing at the curb across Holly Street. The arrow approximates the location of the addition.



Figure 12. Photo taken from left/east, standing at the curb across Holly Street. The arrow approximates the location of the addition.

The addition will add approximately twenty-four feet (24') to the depth of the structure.

The proposal will alter the original form of the house and not meet the stated objectives of the design guidelines to be “compatible in scale,” not be “visually jarring or contrasting,” and “should not disturb public facades.” Because the addition is four feet (4') taller than the historic house at a point only approximately twenty-one feet (21') behind the front wall of the house, and because it does not step in from the house's sidewalls and roofs but rather stacks on top of the house's walls, staff finds that the proposed addition does not meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: This historic house has a gabled ell form with a 12/12 slope. The proposed addition will necessitate the removal of significant portions of the original roof form, particularly on the right side of the house. The proposed addition will stack on top of several feet of the front gable and the roof of the right bay. These portions of the historic roof should be preserved, and any new structure should be constructed behind these roof forms. On the left side, because the addition will not step in the recommended two feet (2') from the back slope of the gable roof form, the historic roof form will be negatively impacted.

The addition's roof will be a three-sided hip. While hip roofs are recommended when an addition is proposed to be taller than the historic structure in order to minimize its visibility, in this instance, the location of the addition is so close to the front of the house makes the roof form inappropriate. The roof of the addition will have side slopes with a slope of 3/12. The design guidelines states that roof pitches should generally be a minimum of 6/12 in order to match the historic context.

Because the addition removes a significant portion of the historic house's roof form, and because the slope of the addition's roof is less than 6/12, staff finds that the roof form does not meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The drawings indicate that no changes are proposed to the historic house's window and door openings. Staff finds that the proposed proportion and rhythm of openings on the right façade are appropriate since this façade will be located behind the existing bay and therefore the fenestration pattern will be less visible. On the left side, staff finds that windows that meet the historic proportions of being generally twice as tall as they are wide are needed towards the front of the addition. In addition, this façade should have a window opening of at least four square feet every eight to ten feet (8'-10'). Staff therefore finds the project's proportion and rhythm of openings do not meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: No major changes to the historic house's materials were indicated on the drawings. The addition will primarily be clad in

smooth face cement fiberboard. Cement fiberboard skirt boards, corner trim boards, and window and door trim will also be used. The materials for the foundation and roof were not specified. Staff finds that the known materials meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*, and requests more information on the materials for the roof, foundation and windows and doors.

Appurtenances: An existing driveway on the site will remain. No other appurtenances were indicated for the site.

**Recommendation Summary:**

Staff recommends disapproval, finding that the height, scale, roof shape, and proportion and rhythm of openings do not meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*.

**Additional Photos:**





## Preservation Permit Application

1906 Holly St., Nashville, TN 37206

Applicant/ Owner: Ronée Swafford 213.840.3574

[rswofford@mac.com](mailto:rswofford@mac.com)

Daniel Long 310.867.9558

[daniellong@mac.com](mailto:daniellong@mac.com)

### Description Of Work

We would like to expand the square footage and change our current 2 bedroom, 1 bath home into a 4 bedroom 3 ½ bath home while not overdeveloping the lot or going higher than the homes surrounding us. We believe this addition will add value to our home, value to surrounding properties, and value to our neighborhood, while maintaining the integrity of our historic home and district as well as providing our growing family with a suitable home for generations to come.

We would like to add a second story to the existing house, achieving this through a tie in that begins at the first side gable of the house and extends to the back of the house. We would like to have this tie in reach 4 feet high before the recommended 40 feet in the guidelines, as the existing house is barely 40 feet long. If we begin the rise of the tie in with a lower grade than the existing roof, allowing 7 feet for it to reach the maximum of 4 feet it will be unnoticeable from the front of the house. The slope or grade of the yard also causes a higher elevation in the back of the house, since the house will cut into that grade to maintain a level foundation the effect of the rise will not feel imposing from the street view.

We would also like to extend the back of the house 20 feet in order to increase square footage while still maintaining a yard. It is our understanding that there is a 2 foot inset required in order to separate the historic portion of the home from the new construction. Since the house currently has an addition of new construction in the back and this is the portion we will be adding onto we would like to forgo the inset as it will no longer be serving the purpose of differentiating the old from new but will instead be differentiating an addition from an addition.

Our goal with the expansion is to increase the size of the home to one suitable for modern family living, while impacting the character of the exterior of the home as little as possible. We intend to do this by retaining the façade of the house, remaining within the footprint of the house except for the rear expansion, and adding a second floor, while simultaneously preserving a yard suitable for a young family.

We are so excited to be a part of the Lockeland Springs community and look forward to raising our growing family in a beautiful home and neighborhood.

Thank you so much for your time and consideration.

Ronée Swafford & Daniel Long

20' Alley

**OVERLAY DISTRICT:  
OV-UZO, URBANZONING  
OVERLAY**

**Date Effective:**

**7/25/2007**

**Case Number:**

**2007Z-060U-05**

**Bill Number:**

**BL2007-1426**

**Overlay District:**

**OV-NHC,  
NEIGHBORHOOD  
CONSERVATION  
OVERLAY**

**Date Effective:**

**5/21/2003**

**Case Number:**

**2003Z-035U-05**

**Bill Number:**

**BL2003-1369**

**Parcel ID. 08314007900**

**Lot 103 BLK D PRIEST HOME**

**DB-00001852 0000606**

**RODC, TN.**

**Zoning: R6, ONE&TWO**

**Family 6.00 SQ.FT. LOT**

**Bill Number 073-650**

160'

50'

160'

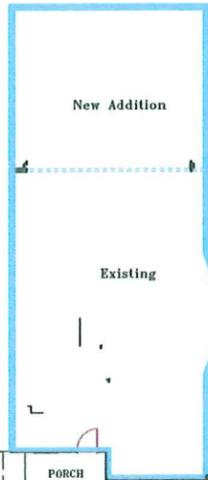
160'

50'

40'

75'

75'



S 19th Street

HOLLY STREET (50' R.O.W)



SCALE

**edwardshae**  
ARCHITECT

1011 15th Ave. South  
Nashville, TN 37212

DATE

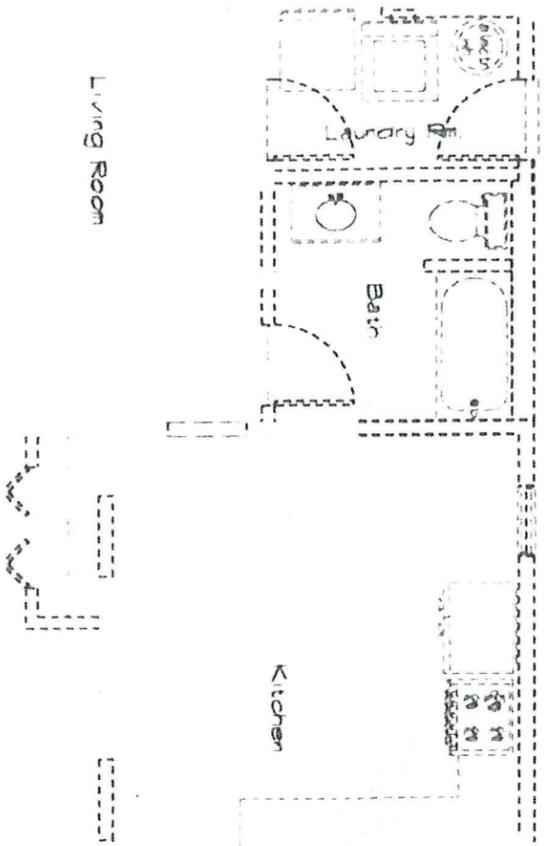
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Revisions

NO.	DATE	Description

Sheet No.

8



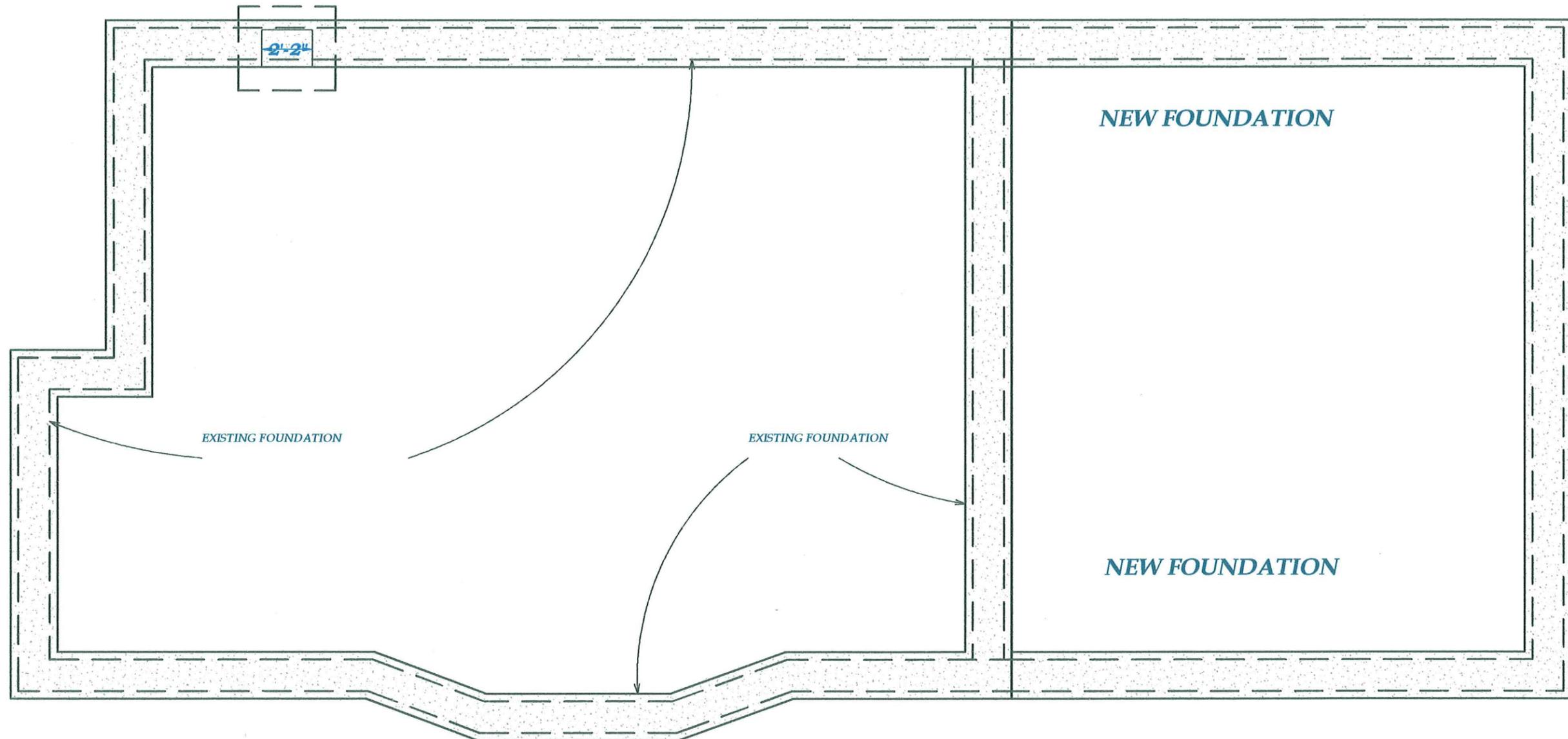
PRELIMINARY  
NOT FOR CONSTRUCTION

# DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

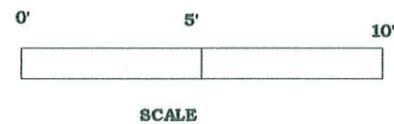
- Demolition to include**
- rear exterior wall
  - bath, laundry, kitchen
  - living room window
  - fire place between bedrooms one and two
  - roof under tie in behind gable

- ALL OTHER EXTERIOR WALLS TO REMAIN
- ALL EXISTING SIDING, TRIM, WINDOWS AND DOORS TO REMAIN
- ALL EXISTING CEILING JOIST TO REMAIN
- ALL EXISTING HARDWOODS TO REMAIN

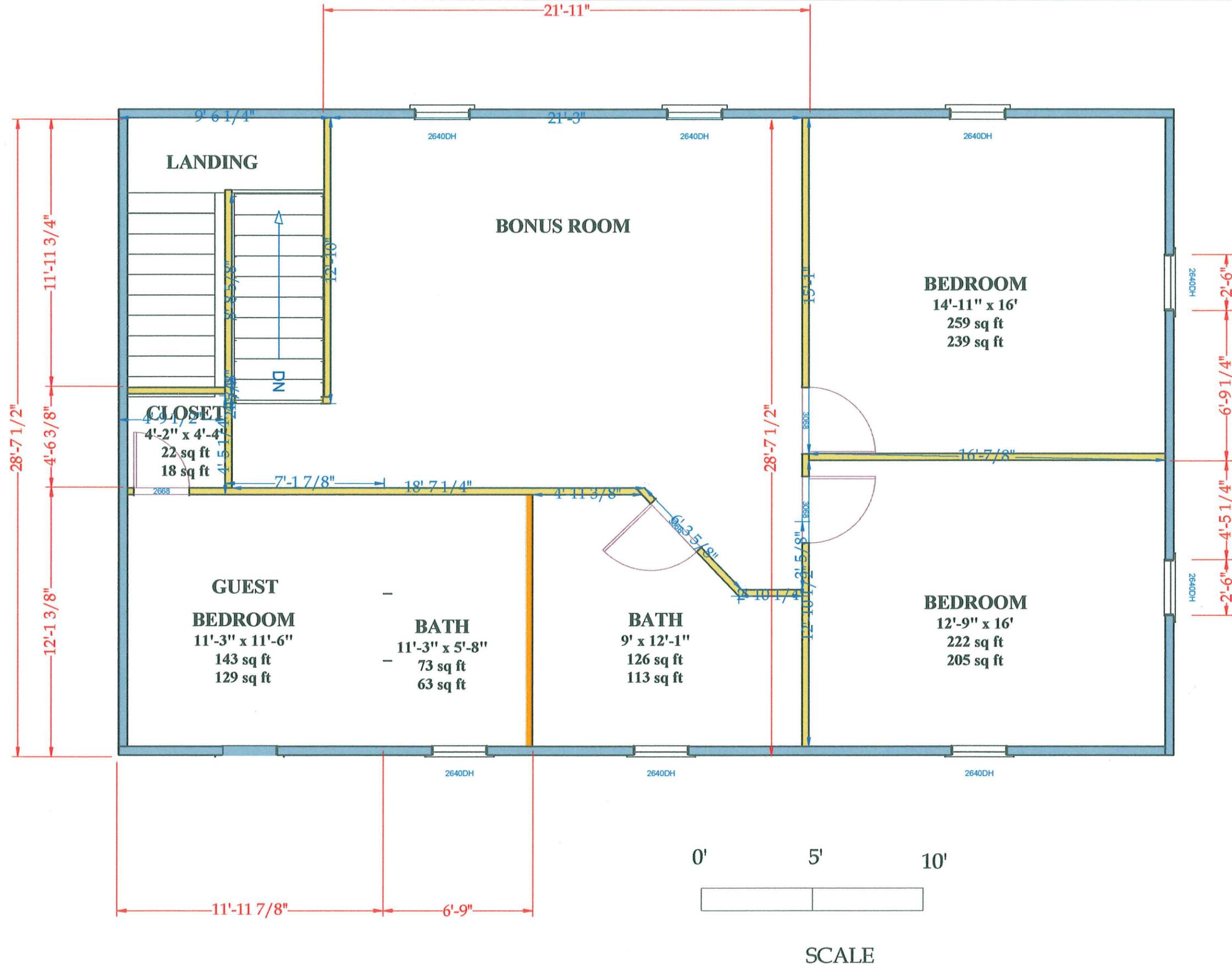


 <p><b>edwardshae DESIGN</b></p> <p>1011 15th Ave. South Nashville, TN 37212</p>	<b>Project</b>		<b>Revisions</b>		<b>Sheet No.</b>  <b>6</b>	
	1906 Holly Street		<b>NO.</b>	<b>DATE</b>		<b>Description</b>

# FOUNDATION DRAWING

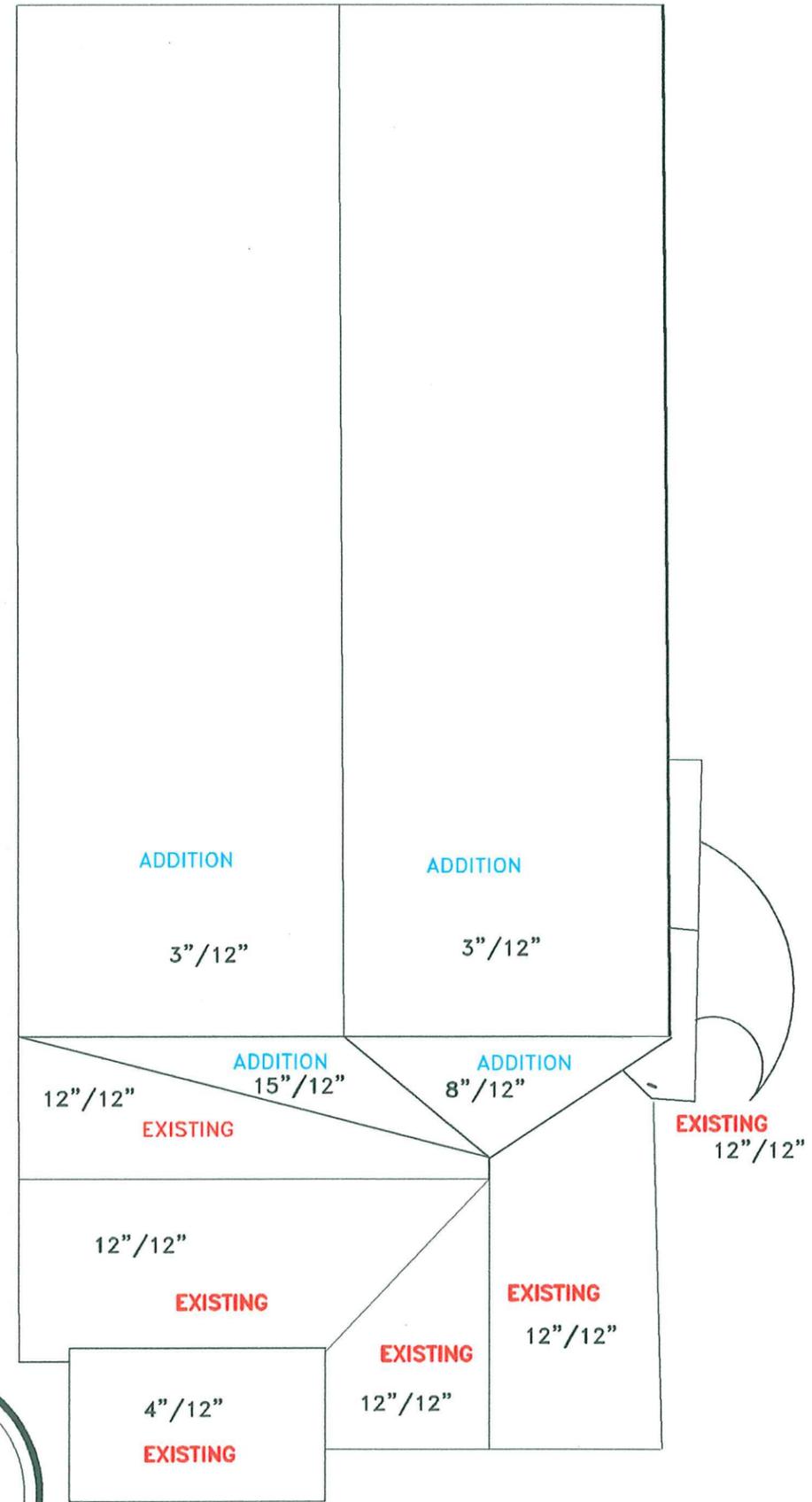
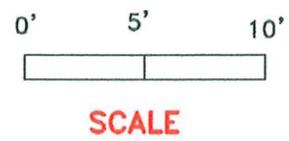




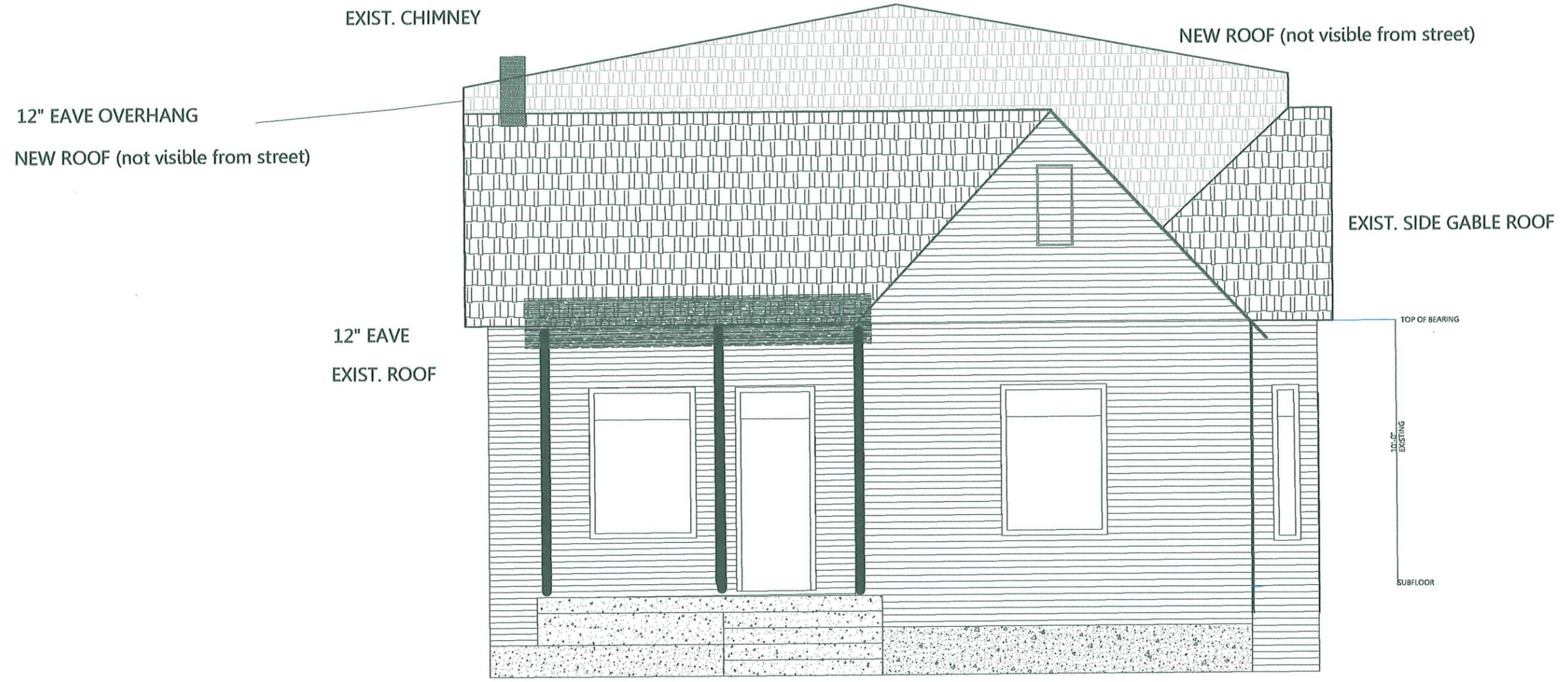


**SECOND FLOOR PLAN**

# ROOF PLAN

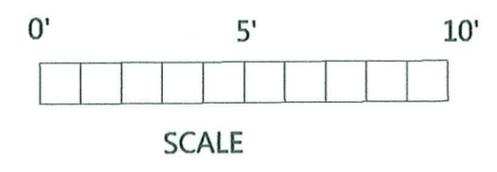


<p>1011 15th Ave. South Nashville, TN 37212</p>	Project		Revisions		Sheet No.	
	1908 Holly Street		NO.	DATE	Description	7



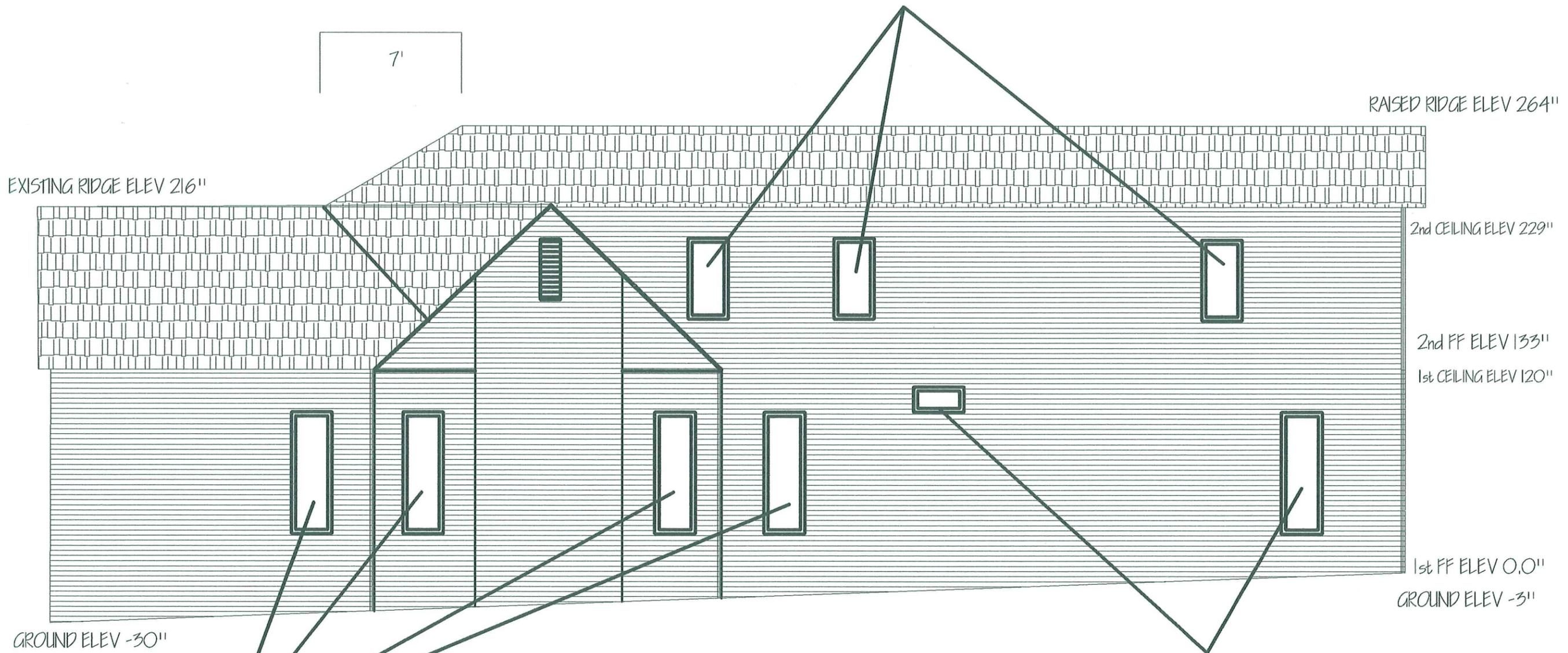
WINDOWS AND DOOR SHOWN ARE EXISTING AND ARE NOT TO BE ALTERED

# FRONT ELEVATION



 1011 15th Ave. South Nashville, TN 37212	Project		Revisions		Sheet No. <b>5</b>	
	1906 Holly Street		NO.	DATE		Description

WINDOWS SHOWN ARE TO BE INSTALLED IN CORRESPONDENCE WITH FLOOR PLAN  
 WINDOWS ARE 2 0' X 4 0' ROUGH OPENINGS ARE 26" X 50"



WINDOWS SHOWN ARE TO BE INSTALLED IN CORRESPONDENCE WITH FLOOR PLAN  
 CENTER WINDOW IS 15" X 30" WITH A ROUGH OPENING OF 17" X 32"  
 RIGHT WINDOW IS 2 0' X 6 0' WITH A ROUGH OPENING OF 26" X 74"

WINDOWS SHOWN ARE EXISTING AND NOT TO BE ALTERED



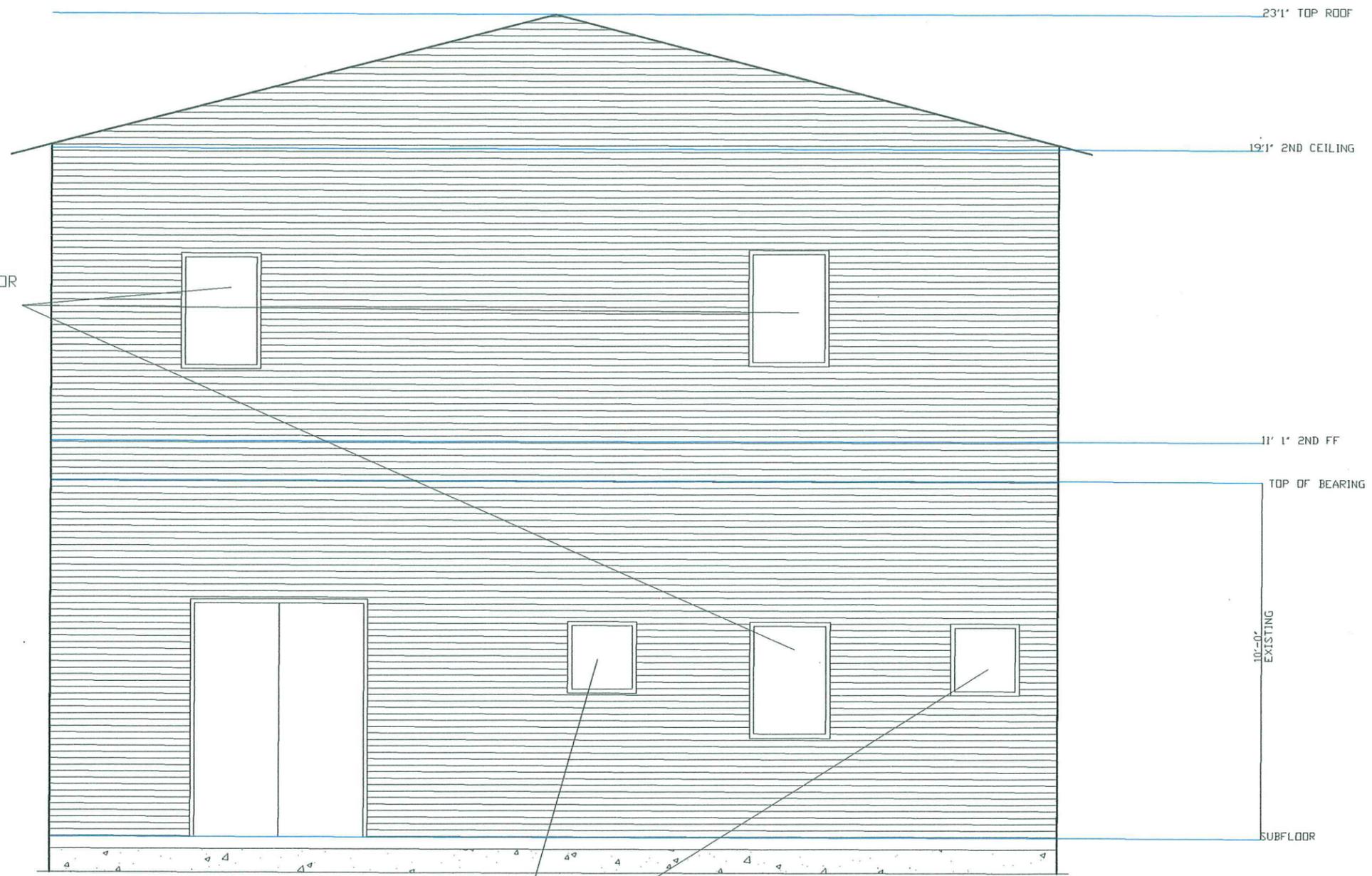
SCALE

edwardshae DESIGN 1011 15th Ave. South Nashville, TN 37212	Project	1906 HOLLY ST.		Sheet No.
	DATE	5.31.13		4
Revisions				
NO.	DATE	Description		



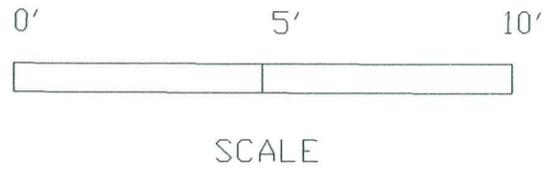
ALL WINDOWS SHOWN TO BE INSTALLED IN CORRESPONDENCE WITH FLOOR PLAN. WINDOWS ARE 3' 0" X 5' 0" ROUGH OPENINGS ARE 38" X 62"

EXTERIOR FINISHES - SPECIFIED JAMES HARDIE  
INSTALL SMOOTH SIDE ONLY ON ALL EXTERIOR MATERIALS  
INCLUDING LAP SIDING, SKIRT BOARDS, CORNER TRIM BOARDS, AND  
WINDOW AND DOOR TRIM BOARDS.

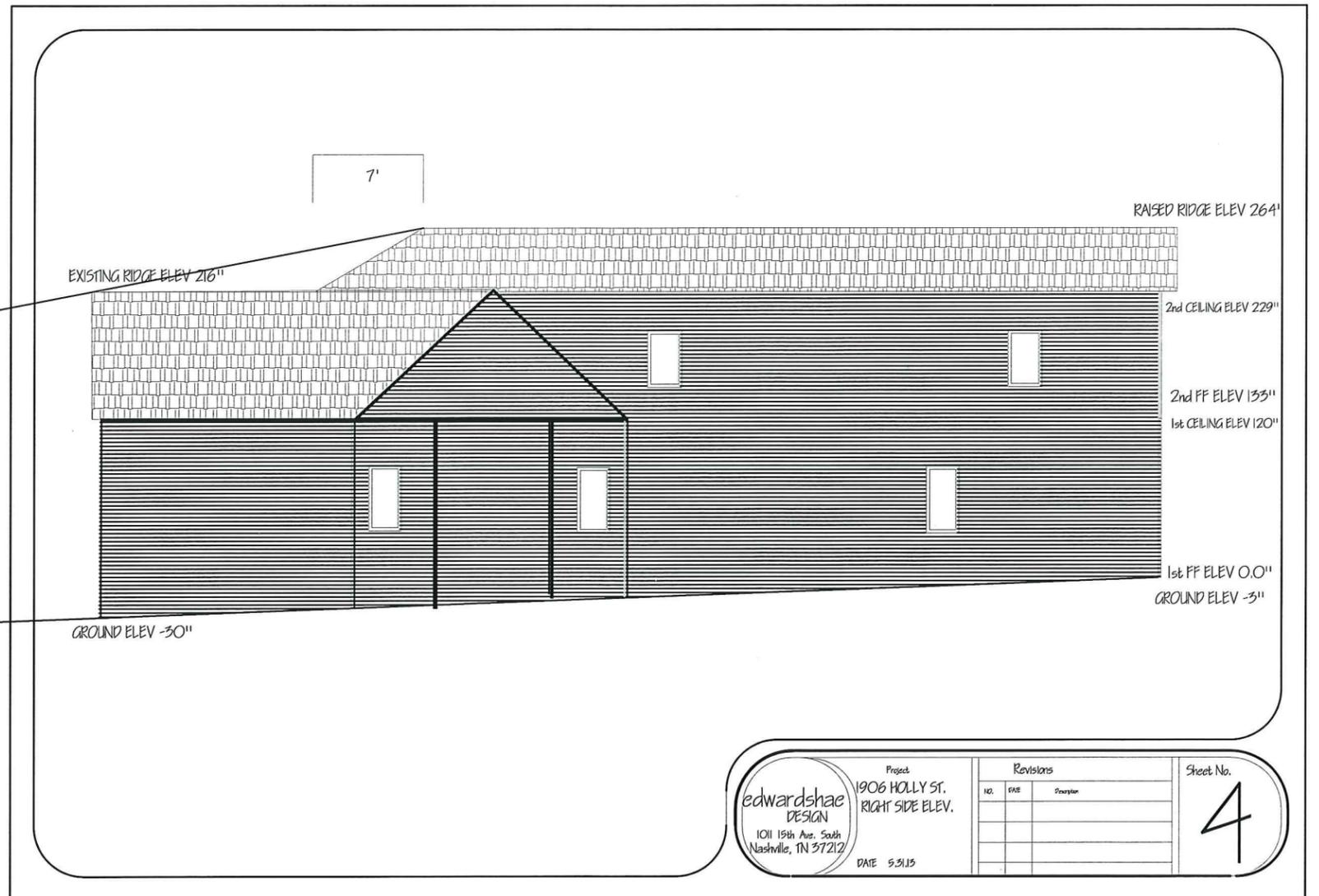
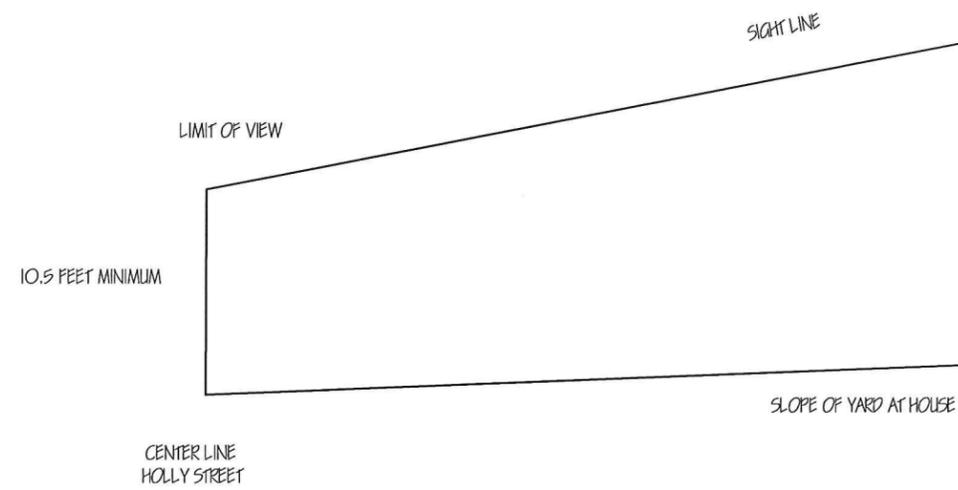


WINDOWS ARE 2' 0" X 2' 0" ROUGH OPENINGS ARE 22" X 22"

# REAR ELEVATION



CAN NOT BE SEEN FROM ROAD



edwardshae DESIGN  
1011 15th Ave. South  
Nashville, TN 37212

Project: 1906 HOLLY ST.  
RIGHT SIDE ELEV.  
DATE: 5.31.15

Revisions		
NO.	DATE	Description

Sheet No. 4