



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

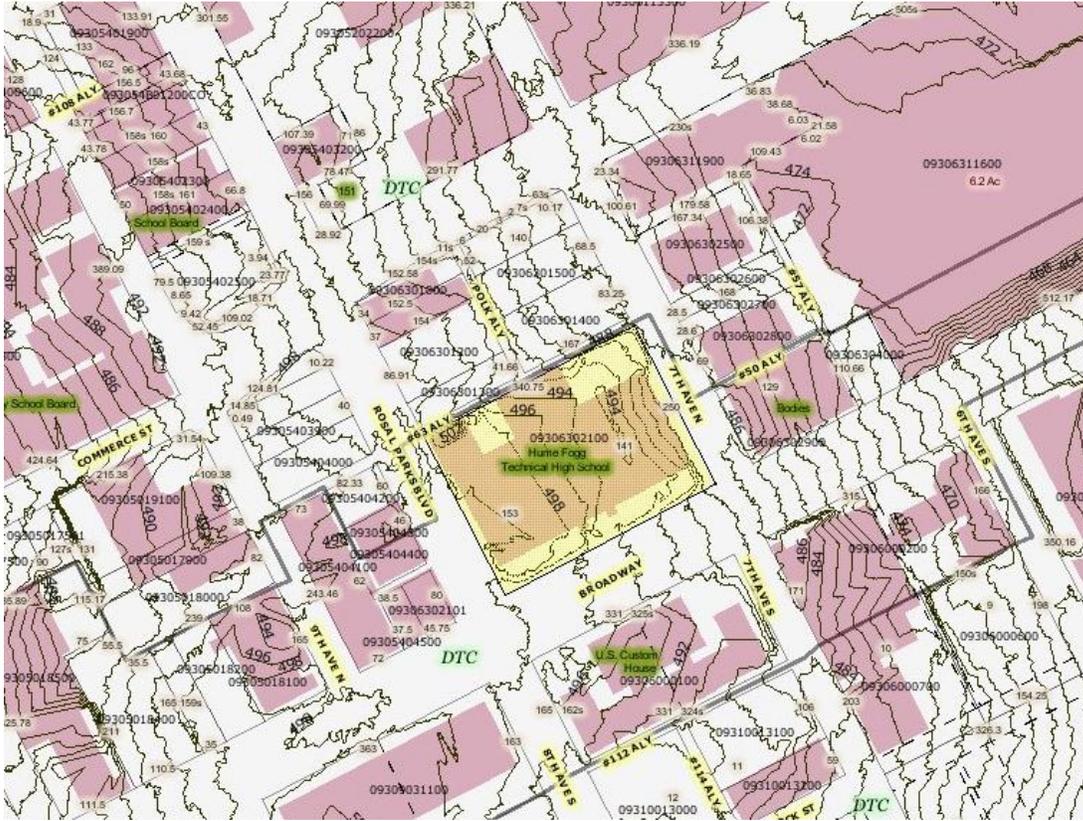
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
700 Broadway, Hume-Fogg Magnet School
September 18, 2013

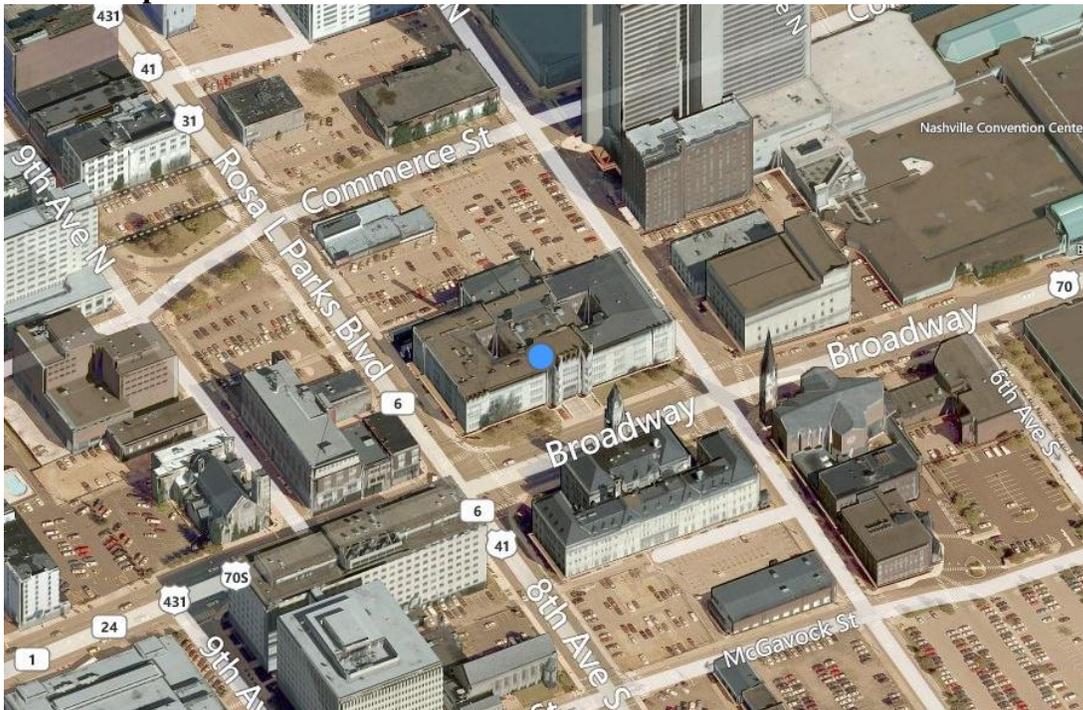
Application: Demolition-partial, New construction-addition
District: Hume-Fogg Magnet School Historic Landmark
Council District: 19
Map and Parcel Number: 09306302100
Applicant: Kline Swinney Associates
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: Applicant proposes to construct a gym and structured parking at the rear of the historic building with a major presence on Eighth Avenue North.</p> <p>Recommendation Summary: Staff recommends approval with the conditions that final materials and the design of the tower are approved administratively. Staff finds the project to meet the Landmark Design Guidelines for “proposed construction on a Landmark site.”</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: Hume-Fogg Magnet School was designated as a Historic Landmark in 2004. It sits on land formerly occupied by Hume School, (1855), Nashville's first public school, and Fogg High School (1875). These two schools were demolished to make way for the present building, completed in 1912. The four story, stone clad building was designed by William Ittner of St. Louis in the Norman Gothic style with Tudor Gothic details.

Applicable Design Guidelines:

The following guidelines are intended for use when construction is proposed on a landmark site:

1. Features of the site that are important in defining the overall character of the landmark should be identified, retained, and preserved. Removal or radical change of site features which are important in defining the overall historic character of the landmark should be avoided.
2. Removal or relocation of buildings or landscape features which are historically related to the landmark shall be avoided.
3. Repair of deteriorated landscape or site features rather than replacement is encouraged where possible. Addition of conjectural landscape features which would create a false sense of historic development should not occur.
4. Construction of new buildings adjacent to the landmark building shall not detract from or diminish the value of the landmark itself. Standards 9 & 10 from the above [repeated below] guidelines address new construction and shall be applied when new buildings are proposed in a landmark district.
 9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future. The essential form and integrity of the historic property and its environment would be unimpaired.*
5. New or added exterior site features shall be placed so as not to detract from or diminish the value of the landmark itself.
6. Site work including construction of parking and utility work shall be undertaken carefully so as not to disturb architectural or archaeological features of the landmark site.

New parking should be placed to the rear of the landmark building to minimize adverse visual impact. Parking surface should be selected to minimize harm to the landscape surrounding the landmark. Excavation work should be carefully undertaken and care shall be used to properly record any archaeological materials encountered.

Analysis and Findings:

Removal & Retention of Features & Removability: The addition will require the removal of a rear smokestack and rear addition that is primarily below grade. Staff found that these elements were not character defining features and so recommends the removal to allow the school to expand. The rear wall and windows of the existing school, which will be enclosed with the rear addition, will be retained so that the original form can easily be restored if desired in the future. The 1912 wall constructed along the sidewalk will remain.



Smokestack to be removed.



The first two levels seen in this image will be retained but covered. The upper level and parapet will remain visible from the outside.



1912 wall will remain.



Location & Setbacks: The addition will be located towards the rear of the building with vehicular access to the lower parking levels off the interior of the lot, facing a new portion of the alley that will be created. Parking will be fully hidden by its rear and interior location.

The left side of the addition will step out twice from the existing left wall for a total of approximately six feet (6') to align with the existing wall. It will sit off the right side wall of the historic building by approximately one-hundred and fifty feet (150'). The project meets the building requirements of the Downtown Code.



General area of proposed addition.

Height & Scale: The addition will be a full-story shorter than the historic building, allowing the top level, rear windows and parapet walls to be visible. This height and the general location assures that the addition will not detract from or diminish the value of the landmark itself.

The main form, as seen from Eighth Avenue will be thirty feet (30') tall with an off-center tower of approximately forty-six feet (46'). The tower is an interpretation of the smoke stack to be removed and provides a bird habitat that will be lost with the removal of the existing stack. Including the tallest point of the shed roof form, the addition will be approximately thirty-five (35') tall.

Roof Form: The roof will primarily read as a flat roof from the street but the central portion will include a side shed-roof with clerestory windows facing the rear. The shed roof portion will sit off the side wall (Eight Avenue) by eight feet (8'). This setback, in conjunction with the overall height of the addition, will make this portion of the roof minimally visible.

Materials: There is no distinguishing of materials between the foundation and cladding, similar to the historic building. The cladding includes precast concrete panels, fiber cement panels, and silk-screened glass. The ground floor along Eighth Avenue, the most visible portion of the addition, will be fiber-cement panels, partially obscured by the existing stone wall, with an aluminum storefront and a flat metal canopy. The canopy will be supported by two-inch diameter cables attached to the concrete tower.

The upper level will be vertically oriented, silk-screened, butt-glazed glass; horizontally oriented silk-screened, butt-glazed glass; and a tower of precast concrete panels. The silk-screen on the glass will be narrow (1/8" +/-) white, horizontal bands alternating with clear bands of the same size.

The roof material is not indicated but will not be visible from the street. These materials are appropriate “replacement” materials for a masonry building of this style.

Design: The North elevation is not articulated with materials or glazing but since this is the rear of the building, facing a parking lot, staff did not find it to be inappropriate. This elevation will likely be completely obscured in a future date with new construction.

The east elevation is minimally visible from Seventh Avenue because of its deep setback and because the majority of the addition is obscured by an existing rear addition.

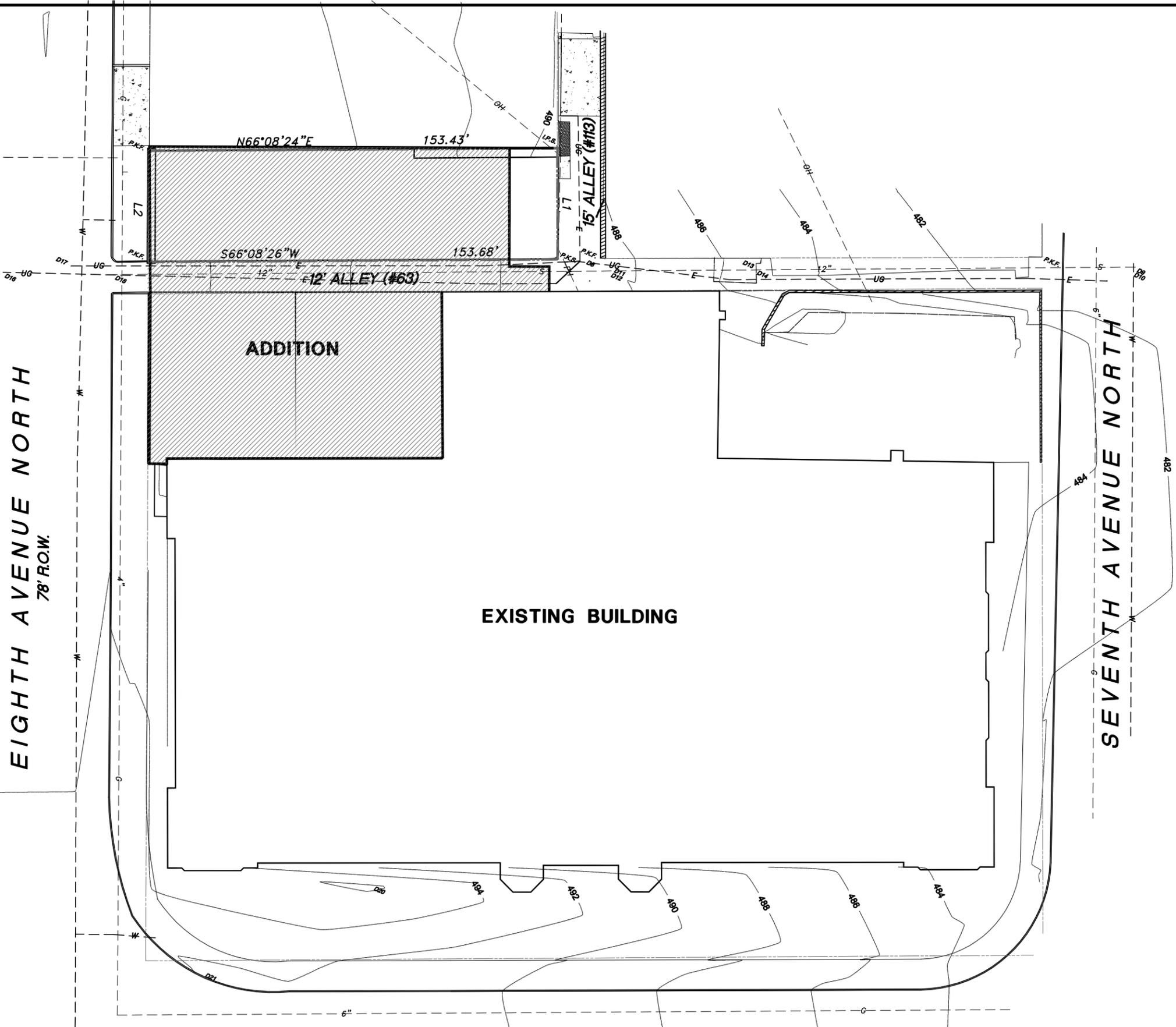
The most visible elevation is along Eighth Avenue. The materials and the design are modern compared to the historic building, fully distinguishing the new from the old. The design of the addition has a “base” created by the store-front type entrance and the horizontally oriented panels. The primary bulk of the upper level approximately aligns with the top of the second level of the historic building, creating an appropriate scale for the addition. The additional height, slight articulation of the façade, and change of materials for the rear corner creates a modern interpretation of the taller and slightly articulated, corner, anchor elements of the historic building.

The off-center tower is an interpretation of the smoke stack that will be removed. The design shown on the elevations will likely be replaced with an etched finish, similar to what is seen on the rendering. The applicant would like to return at a later date for final approval of the tower design.

Staff recommends approval with the conditions that final materials and the design of the tower are approved administratively. Staff finds the project to meet the Landmark Design Guidelines for “proposed construction on a Landmark site.”



EIGHTH AVENUE NORTH
78' R.O.W.



ADDITION

EXISTING BUILDING

BROADWAY

PROPOSED SITE PLAN
SCALE: 1" = 40'



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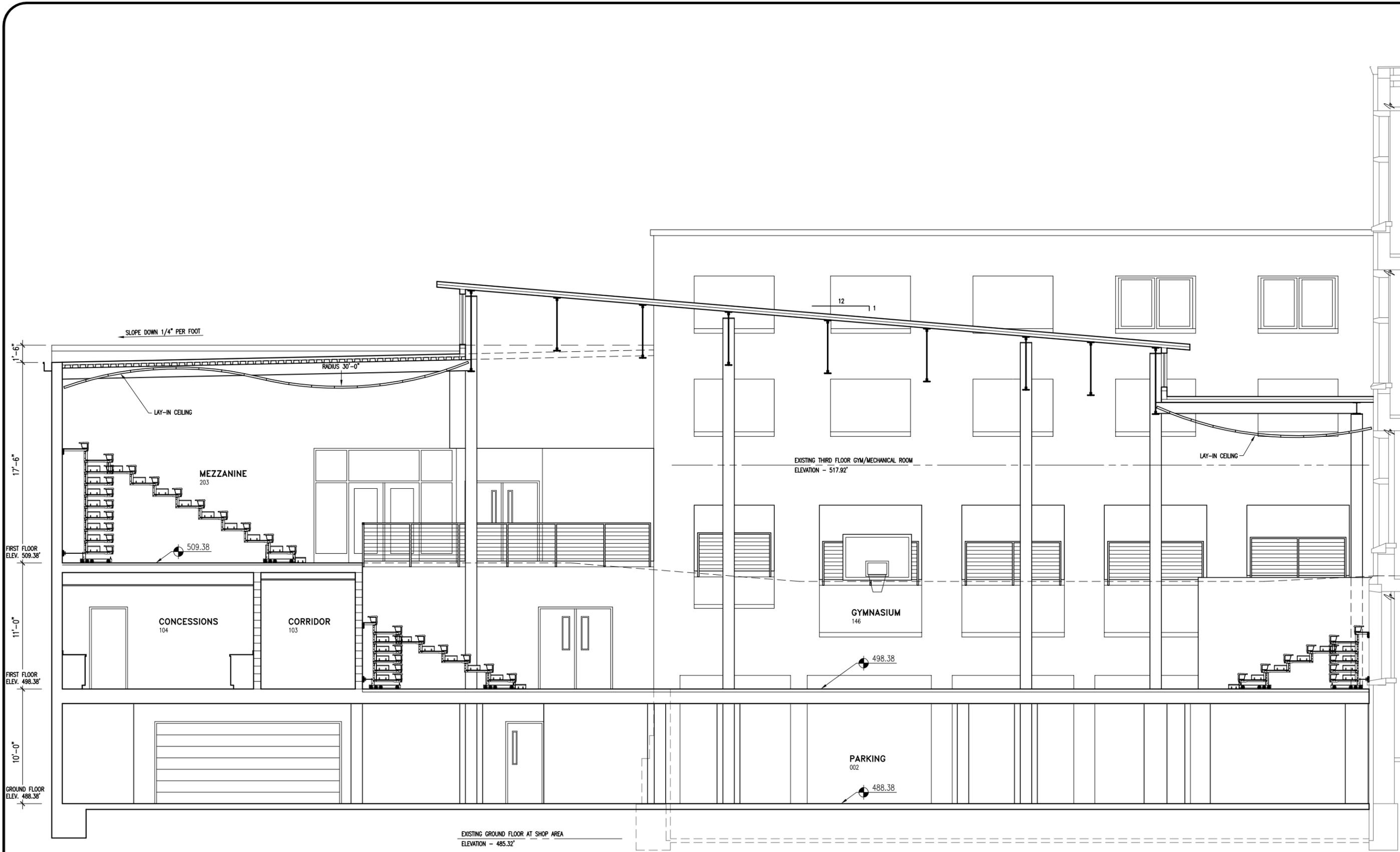
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SITE PLAN
GYMNASIUM ADDITION FOR HUME-FOGG MAGNET HIGH SCHOOL
8TH AVENUE NORTH
NASHVILLE, TENNESSEE

REVISIONS	

PROJECT NO.
1212
DATE
10 SEPT 13
SHEET NO.

C1.01



1'-6"
17'-6"
FIRST FLOOR ELEV. 509.38'
11'-0"
FIRST FLOOR ELEV. 498.38'
10'-0"
GROUND FLOOR ELEV. 488.38'

EXISTING GROUND FLOOR AT SHOP AREA
ELEVATION - 485.32'

1 NORTH-SOUTH SECTION THRU GYM
SCALE: 1/8" = 1'-0"

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NORTH-SOUTH SECTION THRU GYM
GYMNASIUM ADDITION FOR HUME-FOGG MAGNET HIGH SCHOOL
8TH AVENUE NORTH
NASHVILLE, TENNESSEE

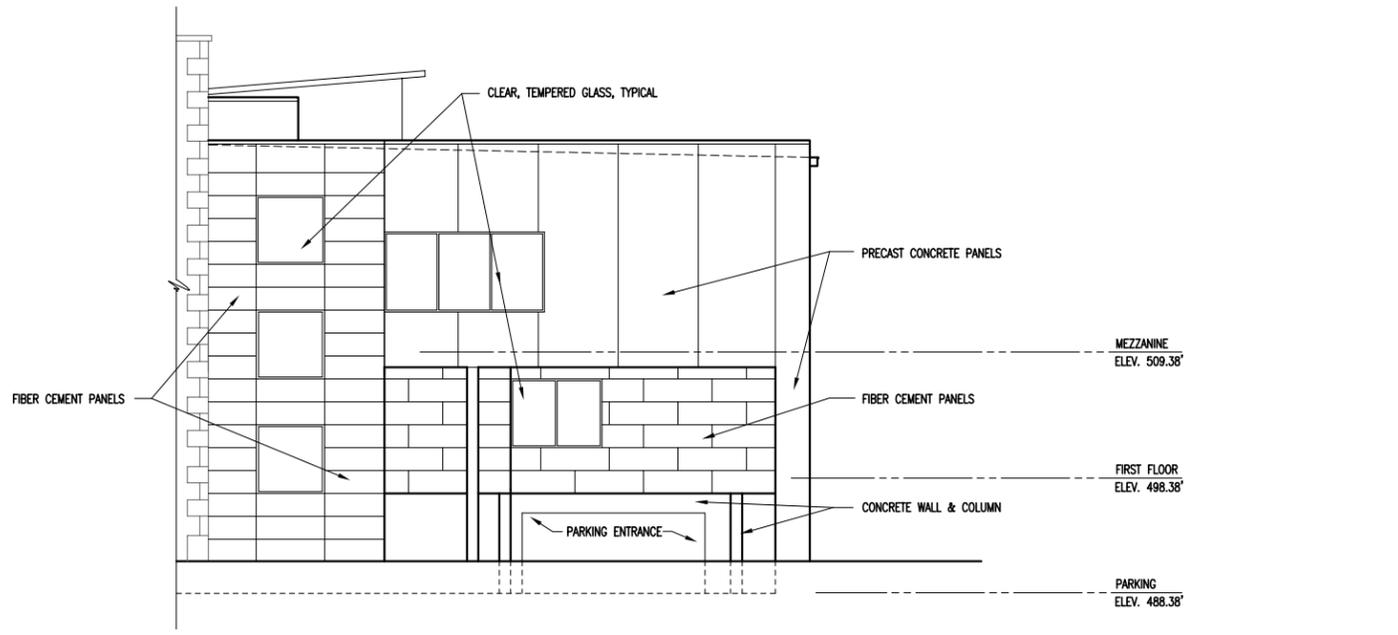
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SHEET NO.
A6.01



NORTH ELEVATION

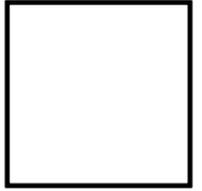
SCALE: 1/16" = 1'-0"



EAST ELEVATION

SCALE: 1/16" = 1'-0"

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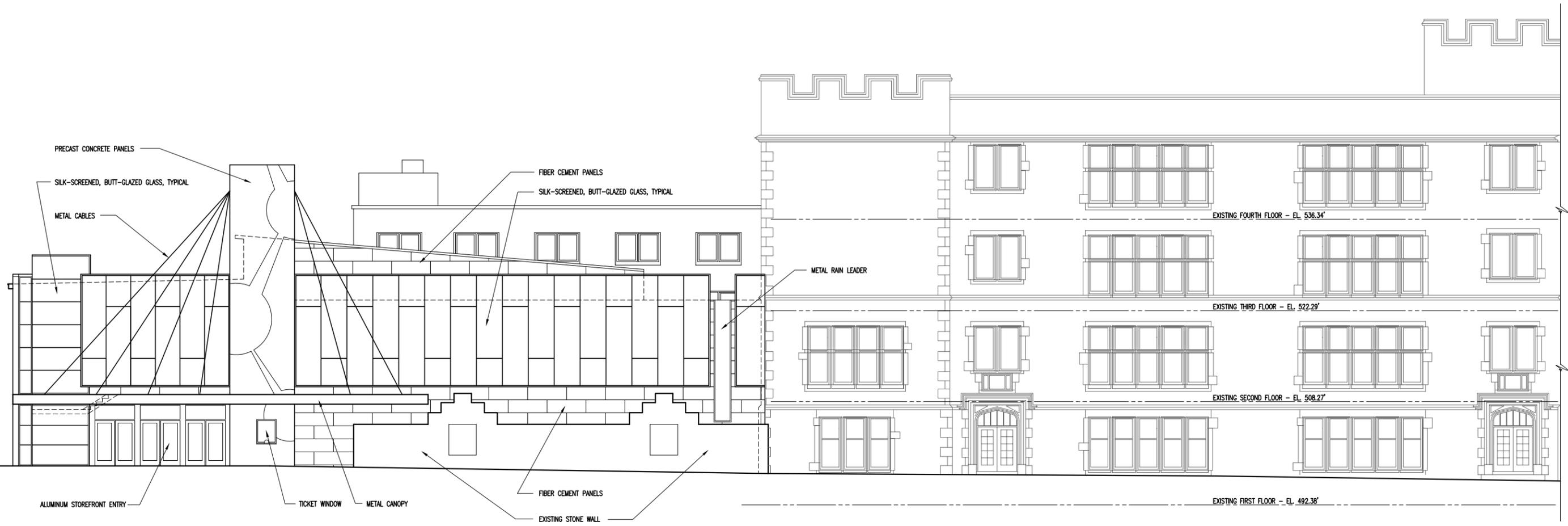
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NORTH AND EAST EXTERIOR ELEVATIONS
GYMNASIUM ADDITION FOR HUME-FOGG MAGNET HIGH SCHOOL
 8TH AVENUE NORTH NASHVILLE, TENNESSEE

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PROJECT NO. 1212
DATE 10 SEPT 13
SHEET NO.

A5.02



WEST ELEVATION (EIGHTH AVENUE)

SCALE: 1/16" = 1'-0"

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WEST EXTERIOR ELEVATIONS

GYMNASIUM ADDITION FOR
 HUME-FOGG MAGNET HIGH SCHOOL
 8TH AVENUE NORTH
 NASHVILLE, TENNESSEE

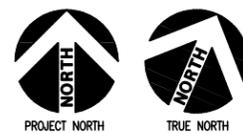
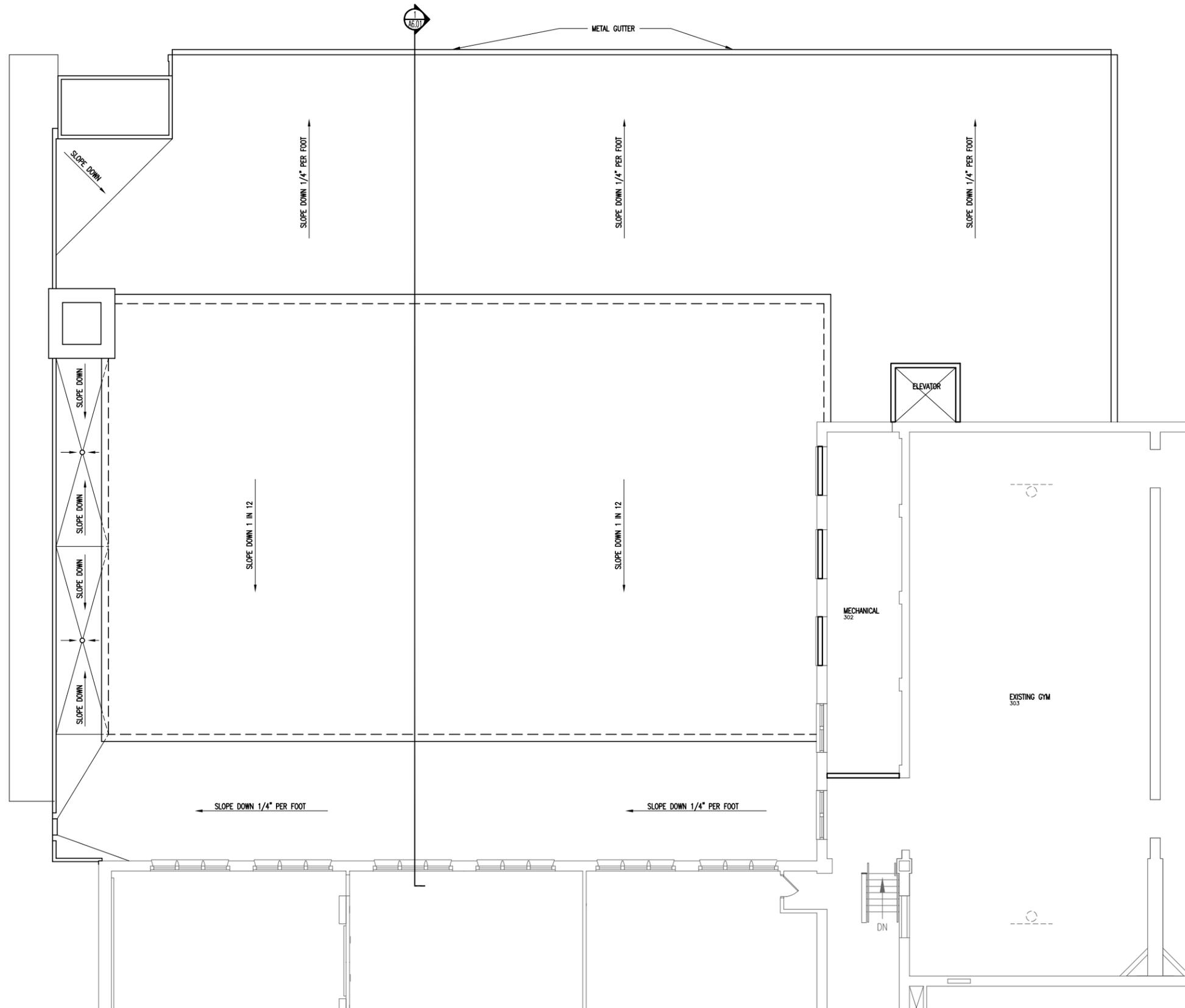
REVISIONS	

PROJECT NO.
1212

DATE
10 SEPT 13

SHEET NO.

A5.01



ROOF PLAN

SCALE: 1/16" = 1'-0"

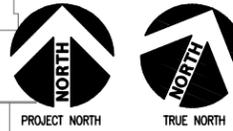
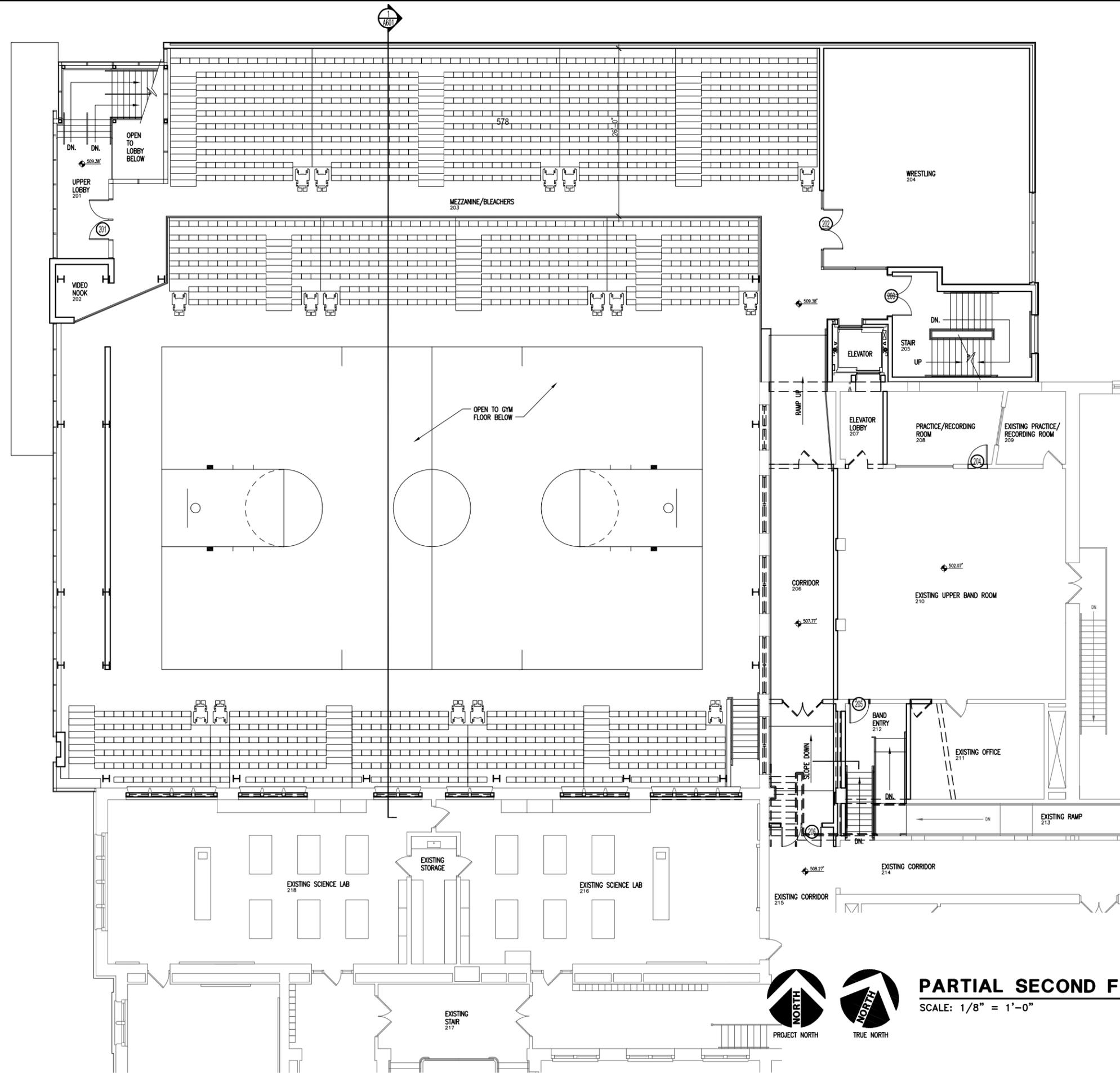
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ROOF PLAN
GYMNASIUM ADDITION FOR HUME-FOGG MAGNET HIGH SCHOOL
 8TH AVENUE NORTH
 NASHVILLE, TENNESSEE

REVISIONS	

PROJECT NO.	1212
DATE	10 SEPT 13
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A3.01



PARTIAL SECOND FLOOR PLAN - NOTED
 SCALE: 1/8" = 1'-0"

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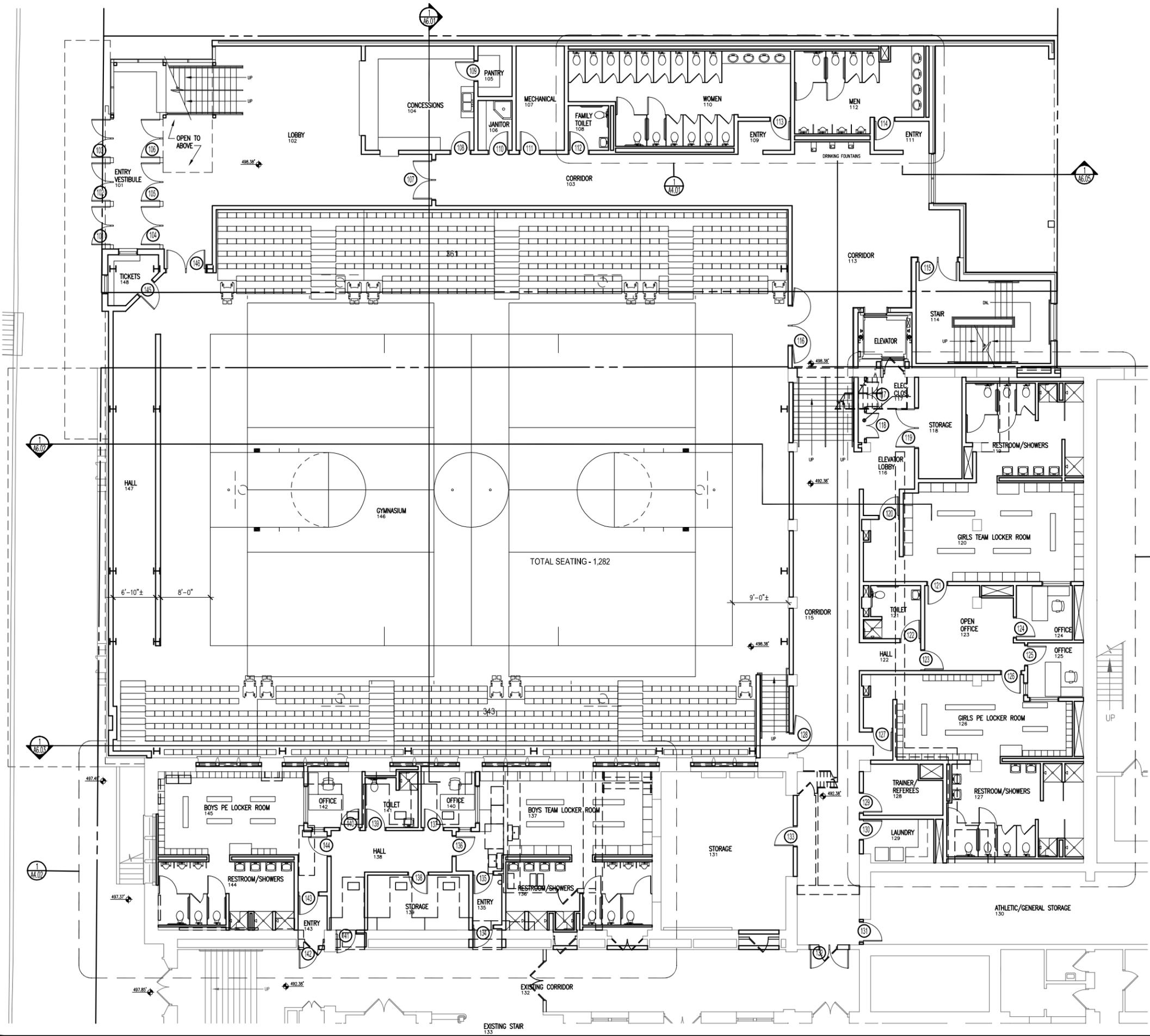
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PARTIAL SECOND FLOOR PLAN - NOTED
GYMNASIUM ADDITION FOR
HUME-FOGG MAGNET HIGH SCHOOL
 8TH AVENUE NORTH
 NASHVILLE, TENNESSEE

REVISIONS

PROJECT NO. 1212
 DATE 10 SEPT 13
 SHEET NO.

A1.12



**PARTIAL FIRST FLOOR
PLAN - NOTED**

SCALE: 1/16" = 1'-0"



PARTIAL FIRST FLOOR PLAN - NOTED

**GYMNASIUM ADDITION FOR
HUME-FOGG MAGNET HIGH SCHOOL**
8TH AVENUE NORTH
NASHVILLE, TENNESSEE

REVISIONS

PROJECT NO.
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DATE
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A1.11

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