



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**303 North 16<sup>th</sup> Street**  
**October 16, 2013**

**Application:** New construction – outbuilding; Setback reduction  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08310014900  
**Applicant:** Mike & Lauren Presley  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> The applicant proposes to construct a new one-story outbuilding. The new structure requires a reduction to the side setback.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the outbuilding and the setback reduction with the conditions that the cement fiberboard have a maximum reveal of five inches (5”), and staff approve the final window and door selections and the roof color. With these conditions, staff finds that the outbuilding meets Section of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>b:</b> Elevations</p>
---	--

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.*

##### *Outbuildings: Roof*

*Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*

*Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*

*The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.*

##### *Outbuildings: Windows and Doors*

*Publicly visible windows should be appropriate to the style of the house.*

*Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

*Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*

*Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*

*For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Decorative raised panels on publicly visible garage doors are generally not appropriate.*

##### *Outbuildings: Siding and Trim*

*Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).*

*Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*

*Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

*· Where they are a typical feature of the neighborhood; or*

*When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

**Background:** 303 North 16<sup>th</sup> Street is a one-story bungalow constructed c. 1920 (Figure 1). It is a contributing building to the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



Figure 1. 303 North 16<sup>th</sup> Street

**Analysis and Findings:** The applicant proposes to construct a new one-story outbuilding. The new structure requires a reduction to the side setback.

Location, Setbacks. The applicant is proposing to construct a one-story, one bay outbuilding at the rear of the property, on top of an existing concrete pad (Figures 2 & 3 on next page). The garage will be more than twelve feet (12') from the rear property line, meeting the rear setback. The existing concrete pad sits approximately one foot (1') from the right side property line, but base zoning requires a three foot (3') setback. The garage therefore requires a setback reduction for the side. Staff finds that the side setback reduction is appropriate in this instance for several reasons. Historically, outbuildings were often located close to, or even on, the property lines. A 1951 Sanborn Map shows that an accessory structure in almost the exact location as the one proposed, which also does not meet the three foot (3') side setback requirement (Figure 4 on next page). In addition, the modest one-story, one-bay size of the garage will help minimize the impact of the reduced setback.

Staff finds the setbacks and location meet Sections II.B.3 and II.B.8 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



Figures 2 & 3. The garage will be built on top of an existing concrete pad.

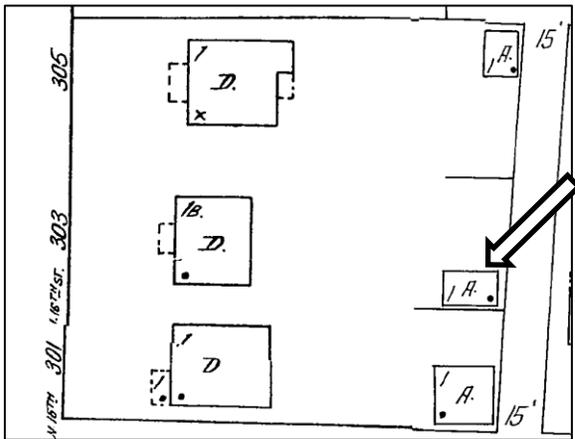


Figure 4. The 1951 Sanborn map shows a one-story outbuilding in nearly the exact location as the one proposed.

**Orientation.** The proposed garage will be accessed at the rear of the property. Although no alley is officially mapped for this block, there is access to the rear of this interior lot through the corner lot off of Gartland Avenue (Figure 5). The owner of 303 North 16<sup>th</sup> Street has an agreement with the owner of 301 North 16<sup>th</sup> Street to access the rear of the property through an existing curb cut off Gartland in the location where an alley would typically be. Staff notes that the Commission’s approval of the garage in no way obliges the owner of 303 North 16<sup>th</sup> Street to allow access to the interior of the block from his/her property. It is a private matter between the two property owners. Staff finds that the outbuilding’s orientation meets Sections II.B.6. and II.B.8 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



Figure 5. The garage will be accessed via an existing curb cut off of Gartland. This access is not part of a mapped alley, but is rather private property.

Height Scale. The proposed accessory structure will be one-bay and twelve feet by twenty feet (12' X 20'). It will have a total footprint of two hundred and forty square feet (240 sq. ft.), which is modest. The garage will be one story in height, with an eave height of eight feet (8') from grade and a ridge height of approximately thirteen feet (13') from grade. The garage is sufficiently subordinate in height and scale to the historic primary structure. Staff therefore finds that the height and scale of the outbuilding meets Sections II.B.1, II.B.2., and II.B.8 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

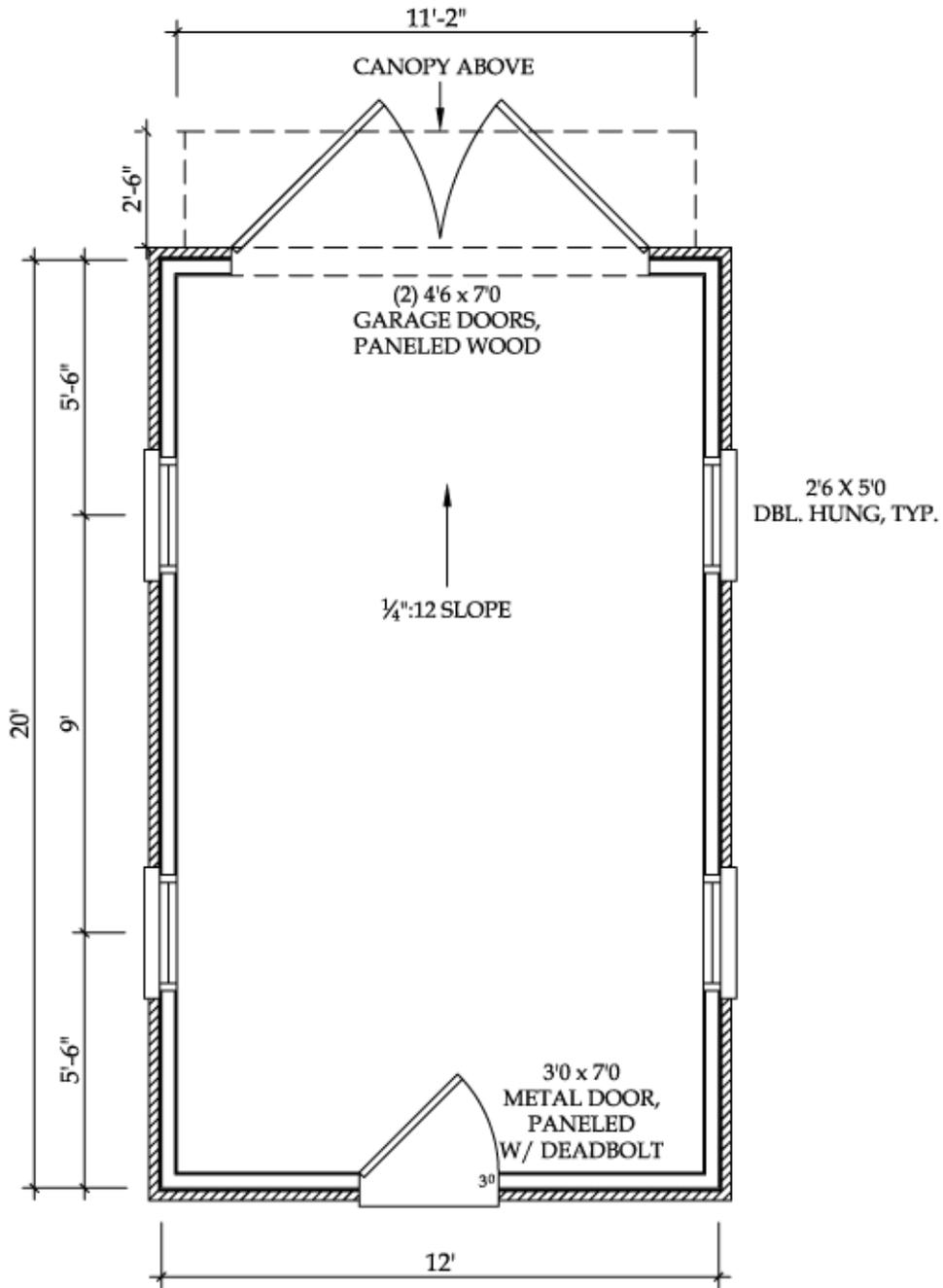
Materials. The exterior materials will include fiber cement siding. Staff asks that the reveal of the siding be a maximum of five inches (5"). The foundation will be a concrete slab, and the roof will be architectural shingles in a color to match the house's shingles. The vehicular door will be wood, and the pedestrian door will be paneled metal. The materials of the windows were not specified, and staff asks to approve all windows and doors prior to purchase and installation. Over the vehicular door will be a curved metal canopy roof, and staff asks to approve the color of the metal. With staff's final approval of the cement fiberboard reveal, the windows and doors, and the roof color, Staff finds that the materials meet Sections II.B.4. and II.B.8 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roofs. The outbuilding's roof will be a front gable with a 8/12 pitch. Staff finds that the outbuilding's roof form is compatible with that of the primary structure and other outbuildings in the area, and meets Sections II.B.5. and II.B.8. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings. The proposed proportion and rhythm of openings are appropriate for an outbuilding, and staff finds that the openings meet Sections II.B.7. and II.B.8. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

**Recommendation Summary:** Staff recommends approval of the outbuilding and the setback reduction with the conditions that the cement fiberboard have a maximum reveal of five inches (5"), and staff approve the final window and door selections and the roof color. With these conditions, staff finds that the outbuilding meets Section of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



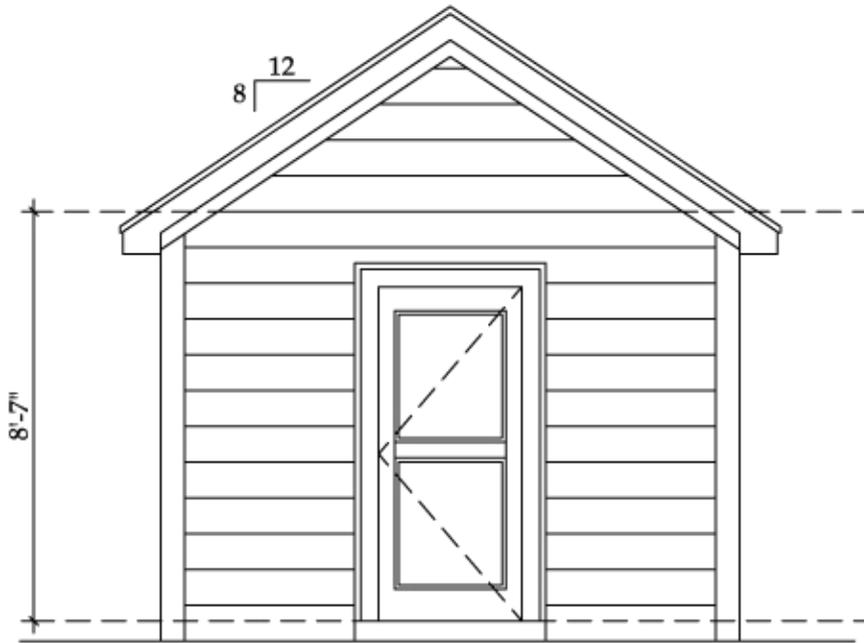


1

# FLOOR PLAN

1/4"=1'-0"

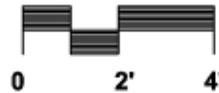


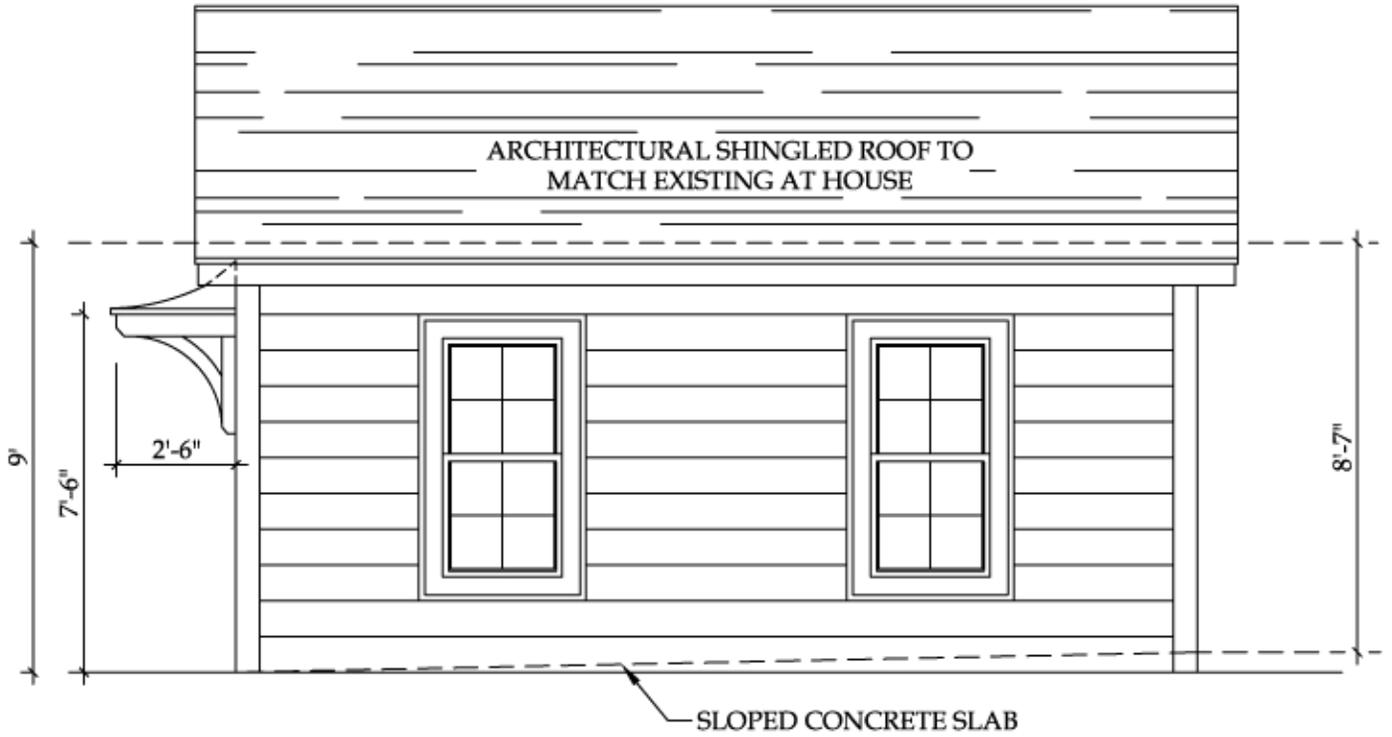


4

## REAR ELEVATION

1/4"=1'-0"

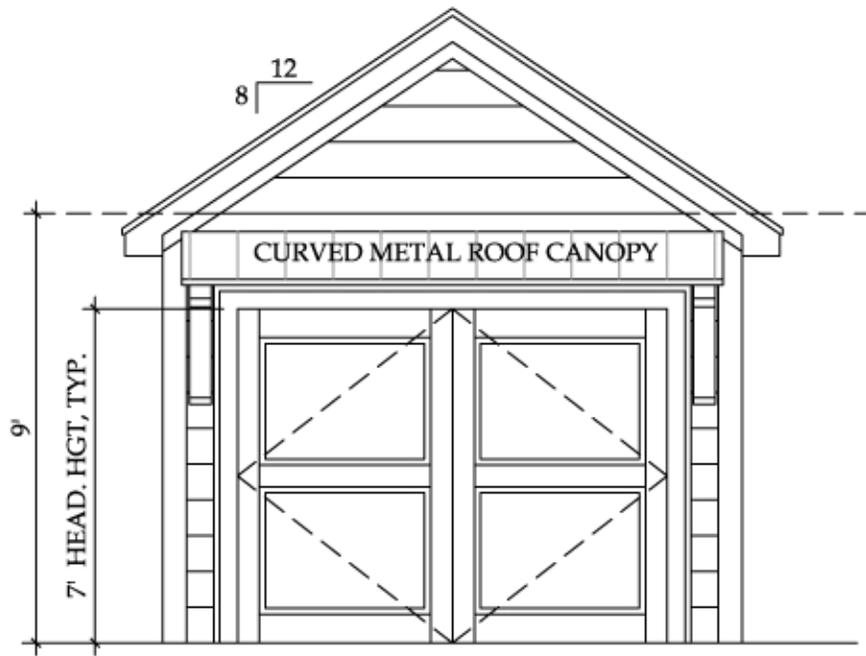




**3** SIDE ELEVATION

1/4"=1'-0"





**2** FRONT ELEVATION

1/4"=1'-0"

