



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 2401 Fairfax Avenue November 20, 2013

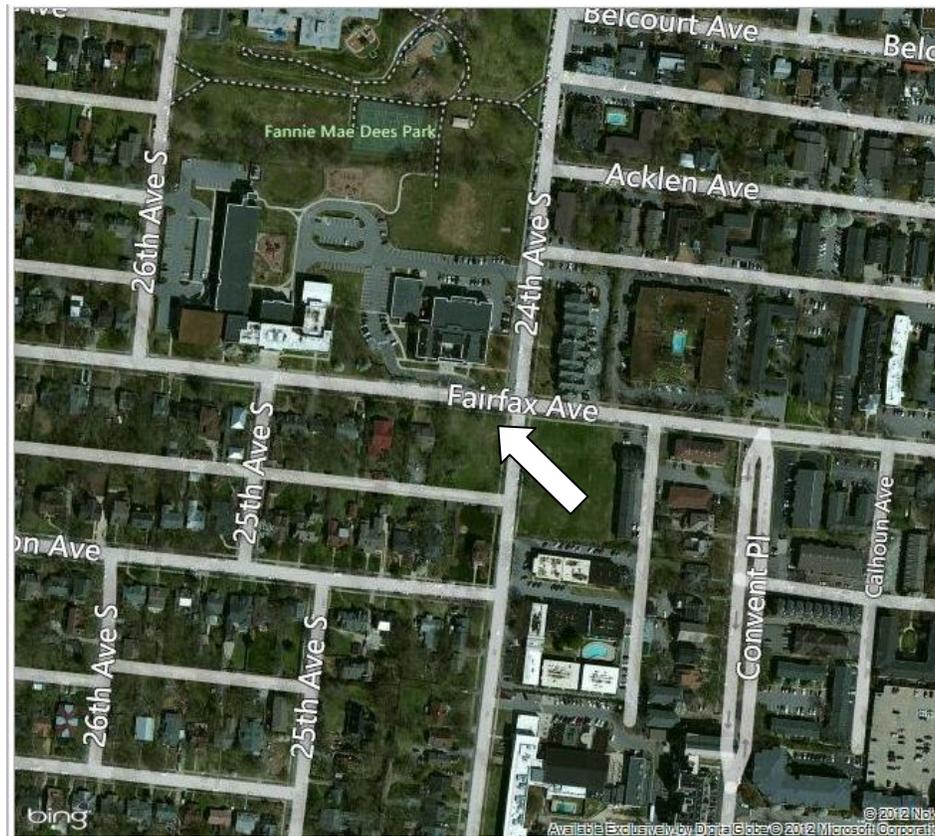
Application: New construction -accessory
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10411017100
Applicant: Michael Ward, Allard Ward Architects, LLC
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: Applicant proposes construction of a detached garage behind the new house at the corner of Fairfax Avenue and 24th Avenue South.</p> <p>Recommendation Summary: Staff recommends approval with the condition that staff provides final review of windows, doors, brick, and roof color. Staff finds that the project meets section II.B. of the design guidelines for new construction in the Hillsboro-West End Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*

- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Background:

2401 Fairfax Avenue is a vacant lot currently used as a construction lot for work in progress at 2403 Fairfax. The Commission approved the construction of a one and a half-story home here in August 2013.



Figure 1. 2401 Fairfax Avenue vacant lot at the corner of Fairfax and 24th Avenue South.

Analysis & Findings: Applicant proposes to build a two-car garage behind the future home at 2401 Fairfax Avenue.

Height & Scale: The proposed one and one half-story garage is twenty-three feet and four inches (23’4”) tall from grade, compared to the thirty-three feet and two inches (33’ 2”) of the primary building. Its dimensions are twenty-four feet (24’) by twenty-three feet (23’) wide, approximately five hundred and fifty-two square feet (552 sq. ft.). The garage’s height and scale are subordinate to the house and fit within neighborhood context.

Staff finds that the proposed height and scale meet Sections II.B.a. and Section II.B.b. of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Location & Setback: The garage is located behind the house that is oriented towards

Fairfax with vehicular doors facing 24th Avenue South.

The garage is three feet nine inches (3'9") from the rear property line, ten feet (10') from the primary building, and twenty feet nine inches (20'9") from the property line at 24th Avenue South. These setbacks meet the base zoning requirements, and staff finds that the project meets section II.B.c of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, Details, and Material Color: The building will be built of brick. Staff asks to review a brick sample. Cedar shakes will be used in the dormers. The roof will be asphalt shingle, and staff asks to approve the shingle color. The trim will be wood or cement fiberboard. The materials for the windows and doors were not specified, and staff asks to review them prior to purchase and installation. With the staff's final approval of a brick sample, the asphalt shingle color, and all windows and doors, the project meets section II.B.d of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof Shape: The roof shape is a gable with pitch of 12/12 that matches that of the house. The dormer has appropriate scale and will set in two feet (2') from the wall of the structure below. Staff finds that the project meets section II.B.e of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Orientation: The new building will be oriented toward the house with the gable end facing 24th Avenue South. Its main entrance has a small awning. The site is not adjacent to an alley, so vehicle access will require a curb cut of ten feet (10') from 24th Avenue South. The driveway will only be ten feet (10') wide at the sidewalk before widening closer to the garage. Staff finds that the orientation is appropriate for the neighborhood and meets section II.B.f of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: Double hung windows are twice as tall as they are wide, consistent with the ratio of historic windows. The rhythm also meets the historic context as there are no large expanses without an opening. The project meets section II.B.g of the *Hillsboro-West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Recommendation Summary: Staff recommends approval of the garage at 2401 Fairfax Avenue with the condition that staff provides final review of windows, doors, brick, and roof color. Staff finds that the project meets section II.B of the design guidelines for new construction in the Hillsboro-West End Neighborhood Conservation Zoning Overlay.



Site from the corner of 24th Avenue South and Fairfax Avenue. 1833 24th Avenue South is in the rear of the site, and 2403 Fairfax Avenue is to the right of the site.



Site from across 24th Avenue South. Proposed garage will be to the right of 1833 24th Avenue South, the house in the foreground.



134.35 Sq.ft.

1 Site Plan

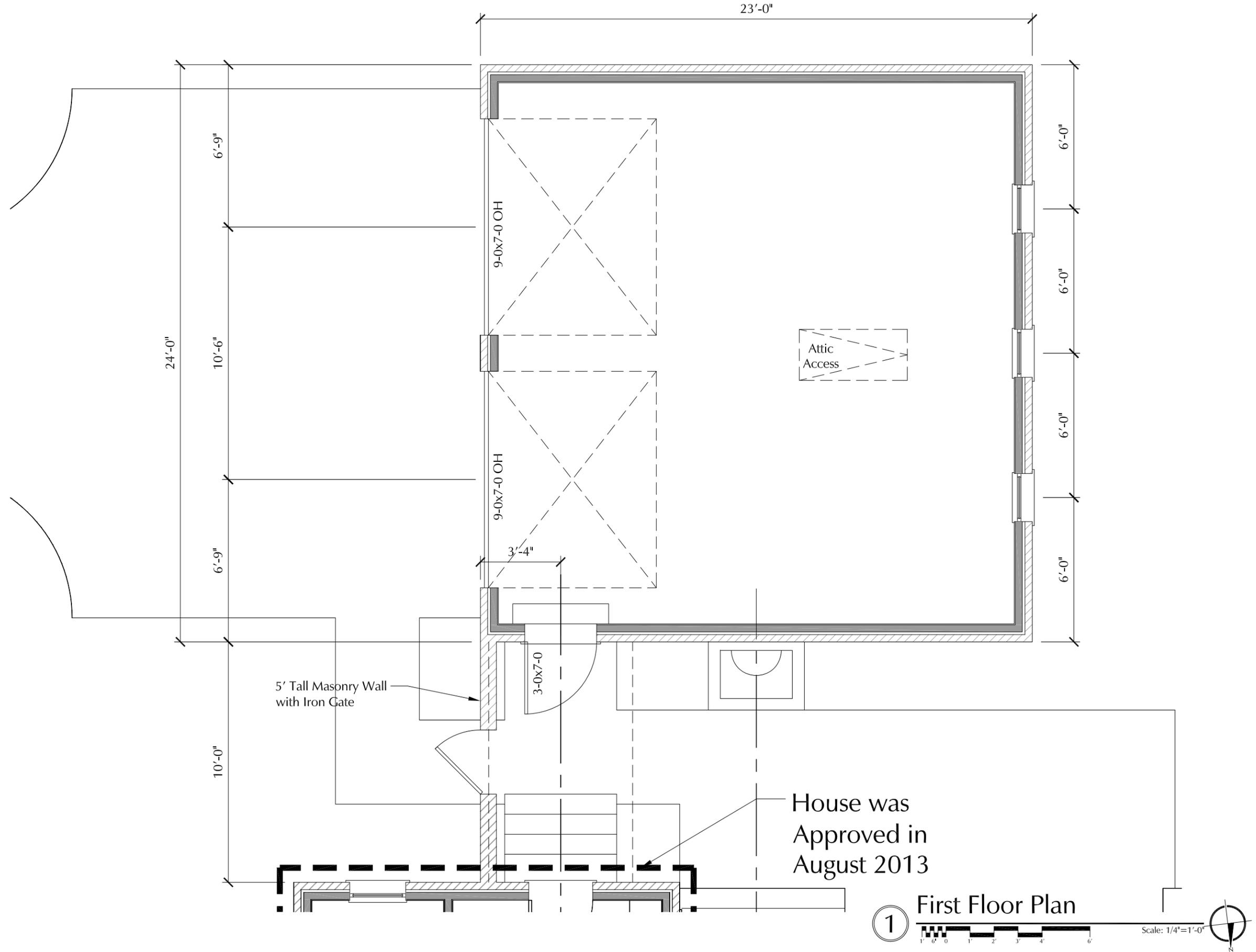
Scale: 1/16"=1'-0"

A-1.0

Drawings:
Site Plan
Date:
11.04.13

ALLARD WARD ARCHITECTS
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

A New Garage at:
2401 Fairfax Avenue
Nashville, Tennessee



A New Garage at:
2401 Fairfax Avenue
 Nashville, Tennessee

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 Fax: 615.345.1011

Drawings:	
First Floor Plan	
Date:	11.04.13

A-1.1



1 East Elevation
 Scale: 1/4"=1'-0"

Drawings:
 East Elevation
 Date:
 11.04.13

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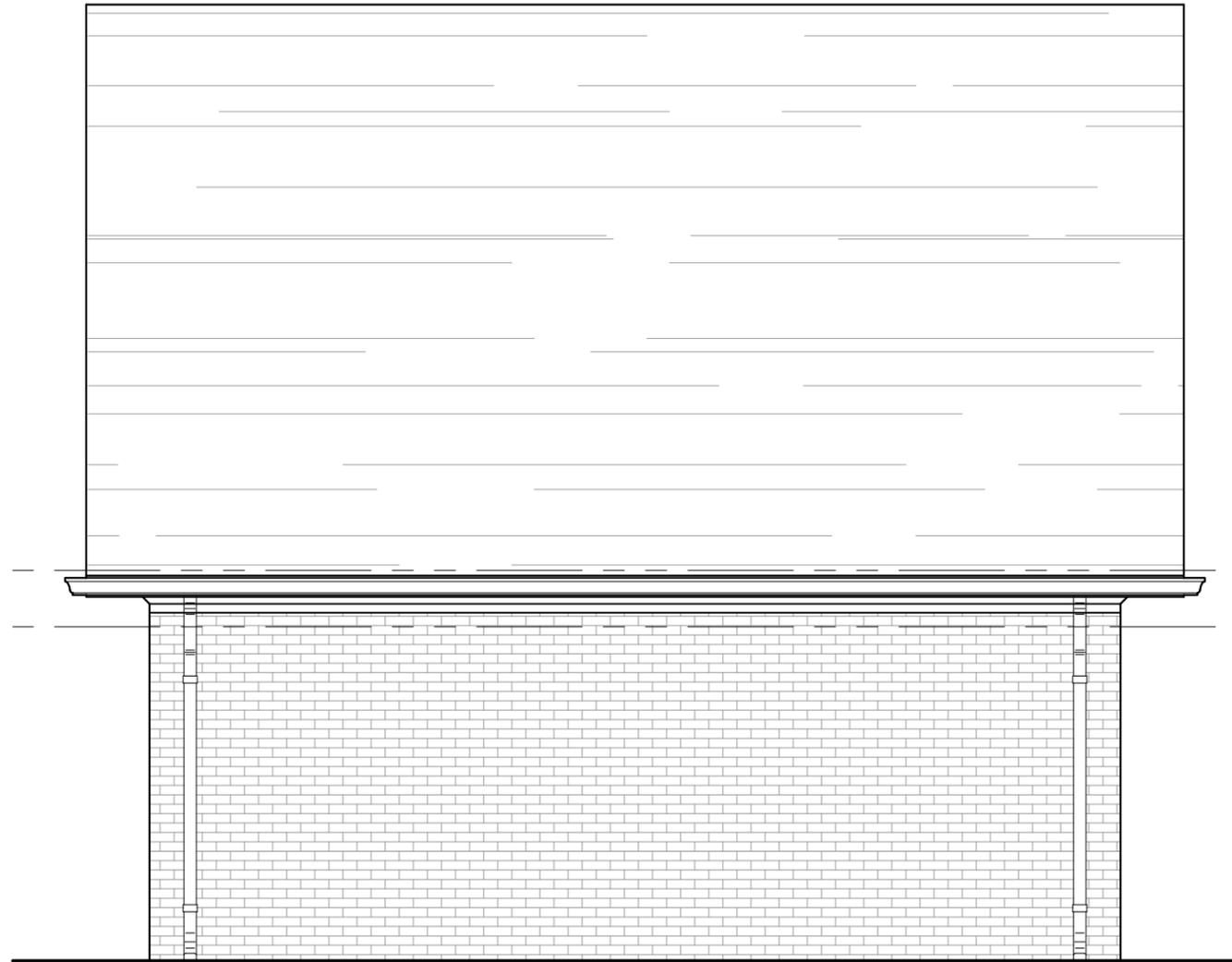
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allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Drawings:
North Elevation
Date:
11.04.13

A-2.1



1 South Elevation
 Scale: 1/4"=1'-0"



2 West Elevation
 Scale: 1/4"=1'-0"

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 ARCHITECTS
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 Nashville, Tennessee 37212
 allardward.com
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 Fax: 615.345.1011

Drawings:
 South Elevation
 West Elevation
 Date:
 11.04.13

A-2.2

A New Garage at:
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