



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 915 Petway Avenue November 20, 2013

Application: New Construction--Infill
District: Greenwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08204038700
Applicant: Brandon Jaynes, Kudzu Real Estate
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct infill on a site that currently contains a non-contributing structure.

Recommendation Summary: Staff recommends approval with the following conditions:

1. A central walkway be included;
2. The foundation be no more than two feet (2') tall at the front;
3. The front porch column bases end at the level of the front porch;
4. Staff approve all windows and doors and the brick or stone sample for the front porch columns prior to purchase and installation;
5. The window openings on the east façade, towards the front of the house be enlarged so they are the size of the windows in the gable field.

With these conditions, staff finds that the application meets Section II.B.1. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

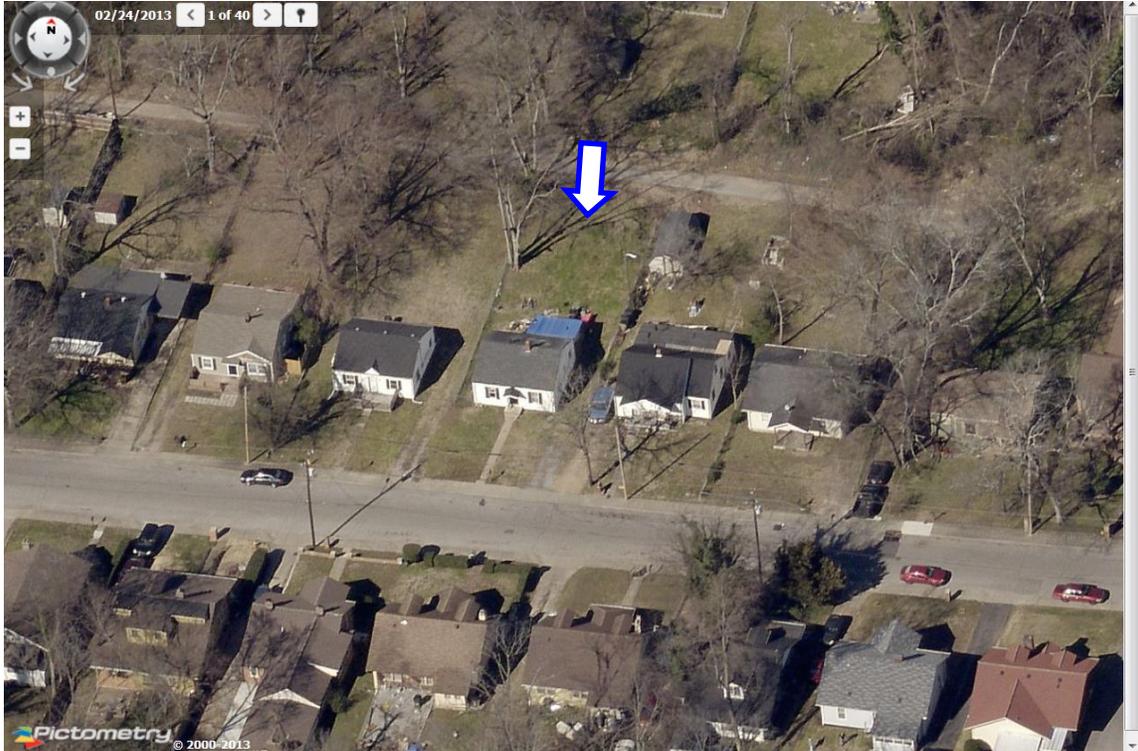
Attachments

- A: Photographs
- B: Site Plan
- C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.
- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

k: Multi-unit Detached Developments/ Cottage Developments

Multi-unit detached developments or "cottage" developments are only appropriate where the Planning Commission has agreed that the community plan allows for the density requested and the design guidelines for "new construction" can be met. The buildings facing the street must follow all the design guidelines for new construction. The interior units need not meet the design guidelines for setbacks and rhythm of spacing on the street. Interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that face the street. Interior dwellings should be "tucked-in" behind the buildings facing the street. Direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street. Attached garages are only appropriate for rear units along the alley.

Background: Staff issued an administrative permit for the demolition of the non-contributing house at 915 Petway Avenue in November 2013 (Figure 1). The building lacks historic and architectural integrity and does not contribute to the historic character of the Greenwood neighborhood



Figure 1. The house at 915 Petway Avenue will be demolished under a staff level permit.

Analysis and Findings:

Setback & Rhythm of Space: The new infill will be meet all base zoning setbacks. It will be six feet (6') from the east property line, and twelve feet (12') from the west side property line to allow for an existing driveway. The house will be thirty feet (30') from the front property line, which matches the front setback of the current house and the neighboring context. Staff finds that the project meets sections II.B.1.c. of the design guidelines.

Orientation. The structure is oriented to face Petway Avenue. It has a partial-width front porch that is over seven feet (7') deep. No central walkway was indicated on the plans, although one is existing. Staff recommends that a central walkway leading from the street to the porch be included on the site. Staff finds that the project meets Section II.B.1.f. of the design guidelines..

Height & Scale: The proposed structure is one-and-a-half stories tall. It will have an eave height of approximately nine feet (9') above the foundation line, and a ridge height of twenty-two feet, three inches (22'3") above the foundation line. The foundation is drawn to be three feet, eight inches tall (3'8") tall, but the applicant has indicated that foundation will be between one and two feet (1' – 2') in height. Staff asks that a condition of approval be that the foundation be no more than two feet (2') tall at the front of the infill. Staff finds that the overall height of twenty-four to twenty-five feet (24'-

25') above grade meets the historic context, where the houses range in height between twenty and thirty feet (20' – 30') above grade.

The infill will be thirty-two feet (32') wide, and forty-eight feet (48') deep, including an eight foot (8') deep rear porch. This matches the historic context where houses range from twenty-eight feet to forty-five feet (28' – 45') wide.

Staff finds that the front porch column bases are unusually tall and are therefore out of scale with the historic context. Staff recommends that the column bases end at the porch floor level instead of continuing down to grade.

With the lowering of the front porch column bases, staff finds that the project meets sections II.B.1.a. and b. of the design guidelines.

Materials: The infill will primarily be clad in cement fiberboard lap siding; staff recommends that the siding be smooth faced and have a maximum reveal of five inches (5"). Cedar shake will be used as an accent material. The foundation will be a concrete slab with a stucco finish, and the roof will be architectural shingles in the weatherwood color. The materials of the windows and doors were not listed, and staff asks to approve the final window and door selections prior to purchase and installation. The porch columns will be fiberglass, and the bases will be brick or stone. Staff asks to review a brick or stone sample prior to purchase and installation. The porch floor will be a concrete slab. The window trim and corner boards will be miratec. The brackets will be pine. With the staff's final approval of the windows and doors and a brick or stone sample for the front porch, staff finds that the known materials meet section II.B.1.d. of the design guidelines.

Roof form: The primary roof form is a side gable roof with a slope of 7/12. The front façade has a shed dormer with a slope of 3/12. The dormer is set more than two feet (2') behind the front wall of the house. The rear façade has a gabled roof over the porch, and that gable has a slope of 7/12. Staff finds that the proposed roof forms meet the historic context and meets section II.B.1.e. of the design guidelines.

Proportion and Rhythm of Openings: The windows on the front façade are generally taller than they are wide, thereby meeting the historic proportions of window openings. All double and triple window openings will have a four inch (4") mullion in between them. On the east side façade, staff asks that the window openings towards the front of the house be enlarged so that they are more of a typical size window. On both side facades, the windows on the ground floor are shorter than the gable windows on the second story. Typically, the Commission asks that windows on the ground floor be as tall or taller than those on the upper floors. In this instance, if the windows on the east side façade are enlarged to the size of the gable windows, staff finds the window proportions to be appropriate. On the east side façade, there is an expanse of sixteen feet (16') without a window or door opening. Staff finds this expanse to be acceptable if the window openings towards the front of the house are enlarged to be the size of those in the gable field. With the alteration of the windows on the east façade, staff finds the

project's proportion and rhythm of openings to meet Section II.B.1.g. of the design guidelines.

Public Spaces & Utilities: The location of the HVAC and other utilities was not noted on the plans, but the applicant has indicated that it will be on the west side façade, beyond the midpoint of the house. An existing driveway will be used and will extend beyond the front porch of the house. Staff finds the driveway and the HVAC location to meet Section II.B.1.i. and II.B.1.j. of the design guidelines.

Recommendation Summary: Staff recommends approval with the following conditions:

1. A central walkway be included;
2. The foundation be no more than two feet (2') tall at the front;
3. The front porch column bases end at the level of the front porch;
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5. The window openings on the east façade, towards the front of the house be enlarged so they are the size of the windows in the gable field.

With these conditions, staff finds that the application meets Section II.B.1. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Context Photos



915 Petway, with the houses on either side of it.



View to the west



Looking east from No. 921 Petway



Further east down Petway Avenue



Across the street from 915 Petway



Across the street and to the east of 915 Petway.



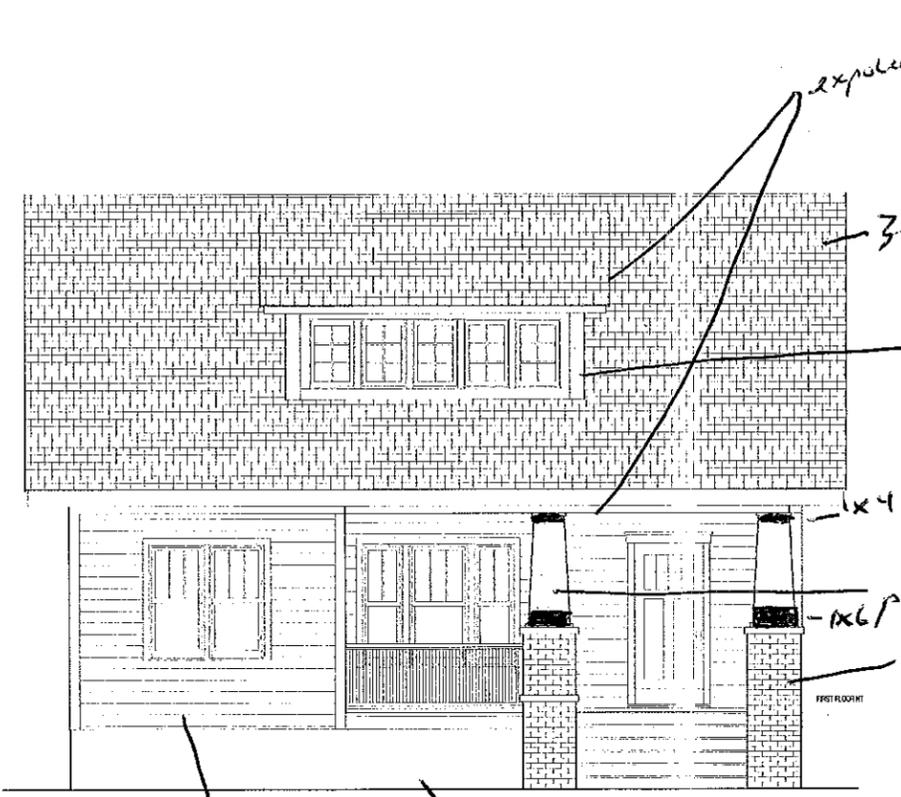
Across the street and to the west of 915 Petway.

- All work shall conform to 2011 IRC and local and state building codes, rules, and regulations.
- Verify all dimensions, datums, and levels prior to construction. All dimensions are to face of stud or face of concrete unless otherwise noted.
- Contractor shall be responsible for all required safety precautions and the methods, techniques, sequences, or procedures required to perform the work.
- Do not significantly vary or modify the work shown, except with written instructions from designer/architect.
- Report errors or omissions to the designer/architect immediately.
- These drawings are the exclusive property of the designer/architect and may be reproduced ONLY with the permission of the designer/architect. Authorized reproductions must include the name of the designer/architect.
- Glazing in location subject to human impact such as panes in doors, glazing within 24" of a door opening, glazing closer than 18" to a floor, glazing in railing systems, shower doors and tub enclosures shall be wire enforced, tempered or laminated safety glass or shatter resistant plastic per UBC 2406.
- Skylights shall be mounted on a curb 4" minimum above the plane of the roof and shall be laminated glass having a minimum thickness of 7/32" and minimum 30-Mil approved interlayer per UBC Chapter 24.
- Provide and install smoke detectors per UBC 310.9. Smoke detectors shall receive primary power from building wiring and be equipped with a battery backup. All upper sleeping rooms to have access to sounding device that is connected to first floor.
- Provide fire blocks and draft stops per UBC 708.2 and 708.3.
- Every sleeping room shall have at least one operable window with a net clear opening of 5.7 S.F. The operable height shall be minimum 24" and the minimum width 20" with a finished sill height not more than 44" above the floor per UBC 310.4.
- Provide attic access, minimum 22" x 30" with minimum 30" head clearance, at readily accessible location per UBC 1505.1.
- Provide crawl space access, minimum 18" x 24", unobstructed access per UBC 2606.3.
- Provide ventilation per UBC:
 - Crawl Space Ventilation: Minimum net area shall not be less than 1 S.F. per 150 S.F. under floor area. Openings shall be placed as close to the corners as practical and shall provide cross ventilation on at least two approximately opposite sides per UBC 2306.7.
 - Attic Ventilation: Minimum net area shall not be less than 1 S.F. per 150 S.F. of attic area or 1 S.F. per 300 S.F. of attic area if 50% of the required ventilating area is at least 3' above the eave vents or 1 S.F. per 300 S.F. of attic area if a vapor retarder having a transmission rate not exceeding 1 perm is installed on the warm side of the attic insulation, per UBC 1505.3.
- Room ventilation requirements per UBC 1203.3.
 - Bathroom and utility rooms not provided with an operable window of 1.5 S.F. minimum of 1/20th of the floor area shall be mechanically vented directly to the outside with a system capable of providing 5 air changes per hour. The point of discharge of exhaust air shall be at least 3'-0" from any opening into the building.
 - Guest rooms and habitable rooms not provided with an operable window of 5 S.F. minimum or 1/20th of the floor area shall be mechanically ventilated directly to the outside with a system capable of 2 air changes per hour.
 - Upstairs Option: Install whole house fan in upstairs hall capable of providing .35 A.C.P.H. Fans to be set on a timer to automatically activate.
- Kitchen range and clothes dryer shall exhaust directly to the outside. Vents shall be smooth, non-combustible, non-absorbent, and equipped with a back-draft damper.
- Heating units shall maintain a temperature of 70 degrees Fahrenheit a 3' above the floor in all habitable rooms. Fuel burning appliances shall be assured of sufficient supply of outside combustion air per UMC Section 701 and local regulations. All warm air furnaces shall be listed and labeled by an approved agency and installed vented according to specifications. Provide a minimum working space of 30" at front of the furnace and 3" minimum along sides, back, top of the furnace when installed in an alcove less than 12" wider than the furnace.
- Building shall comply with local and state energy regulations and codes. Seal and caulk all cracks to prevent air infiltration. All glazing shall be insulated glass, unless noted otherwise. Insulate walls to R-21, ceilings to R-38, and floors to R-30 unless otherwise noted or allowed by local regulations.
- Hot water tank shall have type IV pressure relief valve to comply with ASHRAE 90A-80 listing and approval. Insulate tank with R-16 and fit hot water lines with snap on type insulation per local codes. In unheated spaces, electric furnaces and water heaters shall be on an incompressible insulated surface of R-10 minimum. Water heater to be anchored and strapped per UMC section 303.4.
- Provide 6-Mil black polyethylene vapor barrier in crawl space. Overlap 12". Extend barrier to foundation walls.
- Duct systems shall be of metal per UMC Table 6-A, 6-B, and 6-C or factory made ducts complying with standard 6-1. All joints and seams shall be substantially airtight. Ducts in unheated spaces shall have 2" insulation minimum or 1/2" duct liner.
- All exposed exterior metal shall be galvanized.
- All wood in contact with concrete shall be pressure treated. Pressure treated wood shall also be used for wood members which form the structural support of balconies, porches, etc. when such members are exposed to the weather per UBC 2306.2.
- Slope all decks, walks, driveways, and patios shall fall away from the house.
- Roof flashing shall comply with UBC 1508 and 1509.

THE SOMMERSETH

CONTENTS

- A1 - Floor Plans
- A2 - Elevations
- A3 - Electrical Layout & Roof Plan
- A4 - Wall Section Typical & Porch Section
- A5 - Building Sections



Handicap 5-dig
 Slab (stucco face)

915 Petway Ave.

SQUARE FOOTAGE
 First Floor - 1147 SF
 Second Floor - 758 SF
 Total Heated SF - 1905 SF

Front Porch - 136 SF
 Back Porch - 169 SF

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Revisions/Additions By Others:	
Date of Issue: 03 November 2013	

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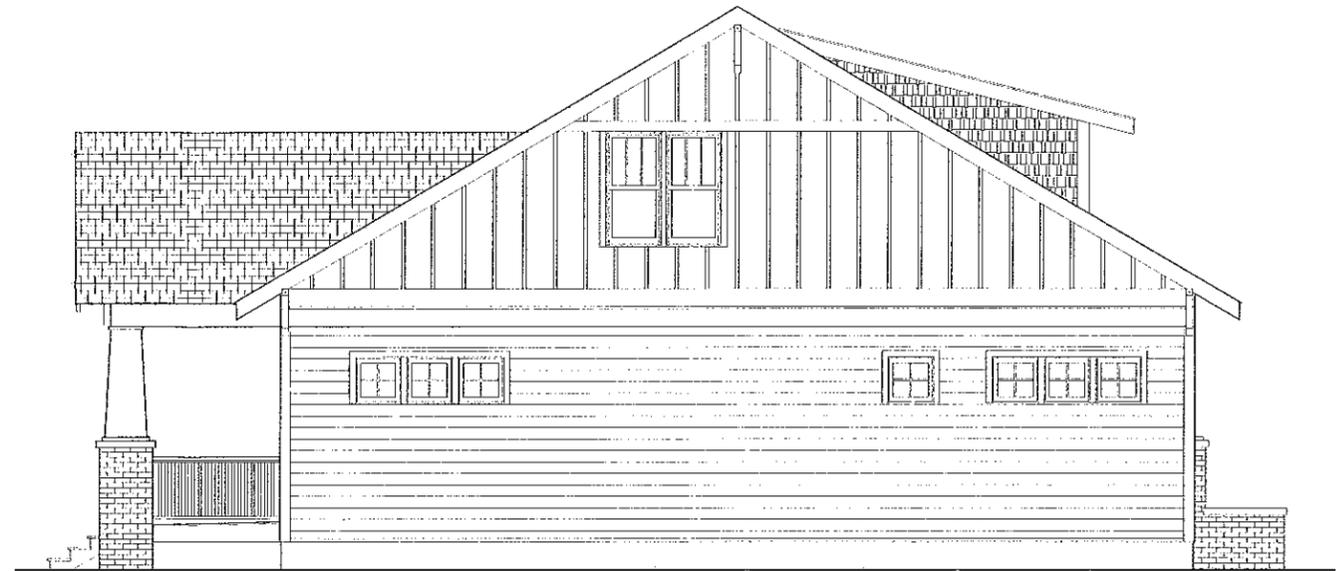
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sheet no.
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FRONT ELEVATION

0"



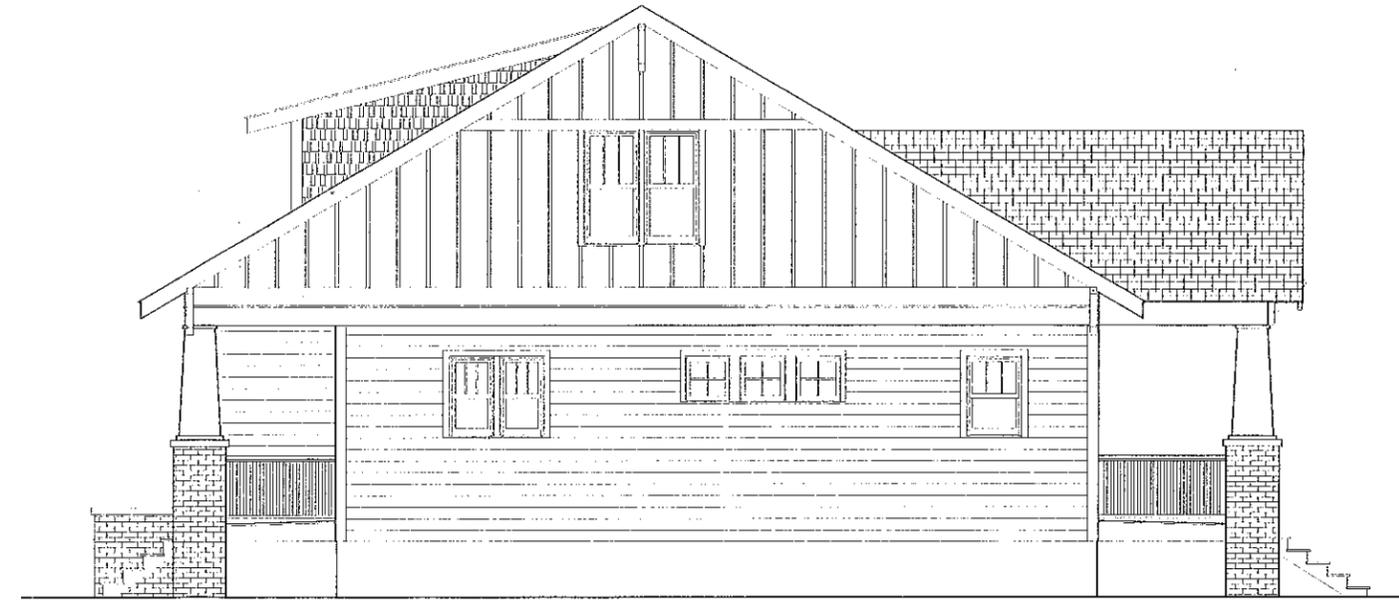
SIDE ELEVATION

1/4"=1'-0"



REAR ELEVATION

0"



SIDE ELEVATION

1/4"=1'-0"

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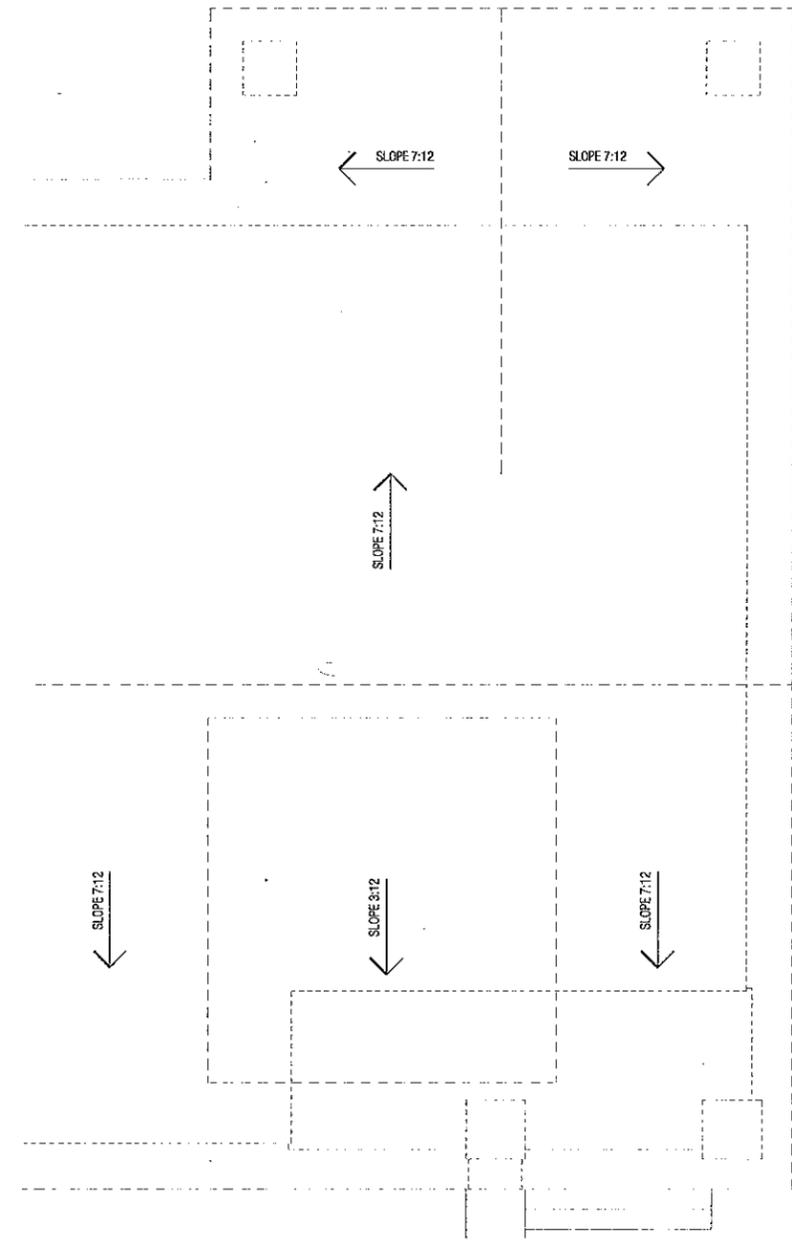
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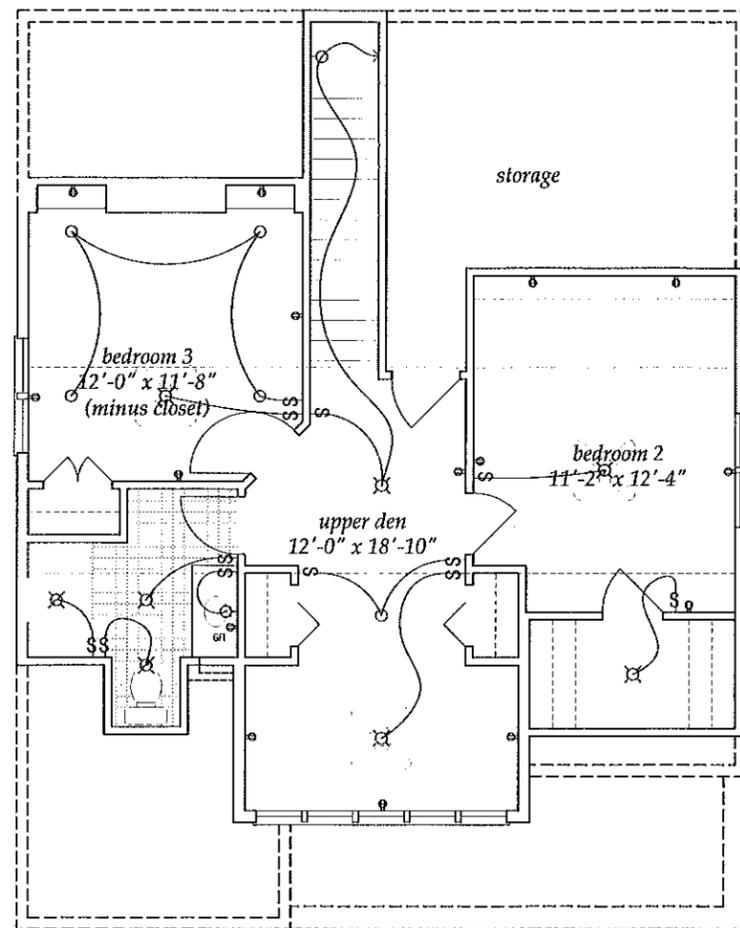
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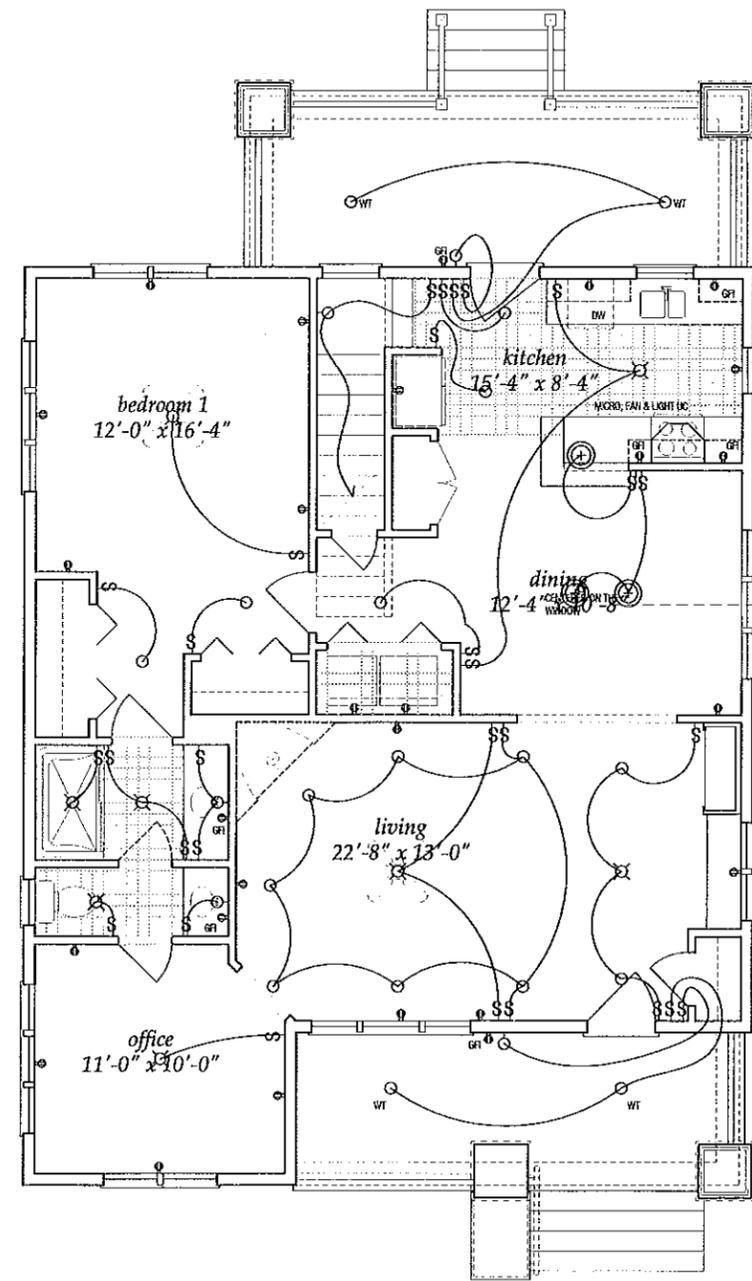
ELECTRICITY LAYOUT - SECOND FLOOR

1/4"=1'-0"



ELECTRICITY LAYOUT - FIRST FLOOR

1/4"=1'-0"



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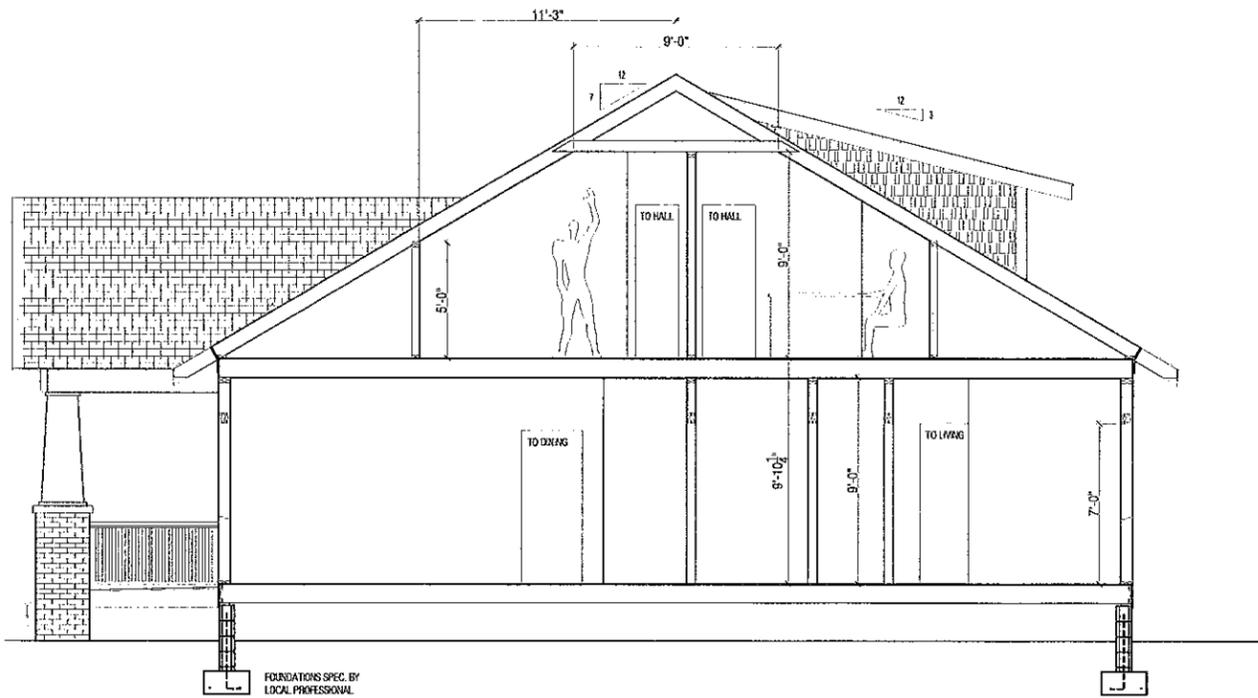
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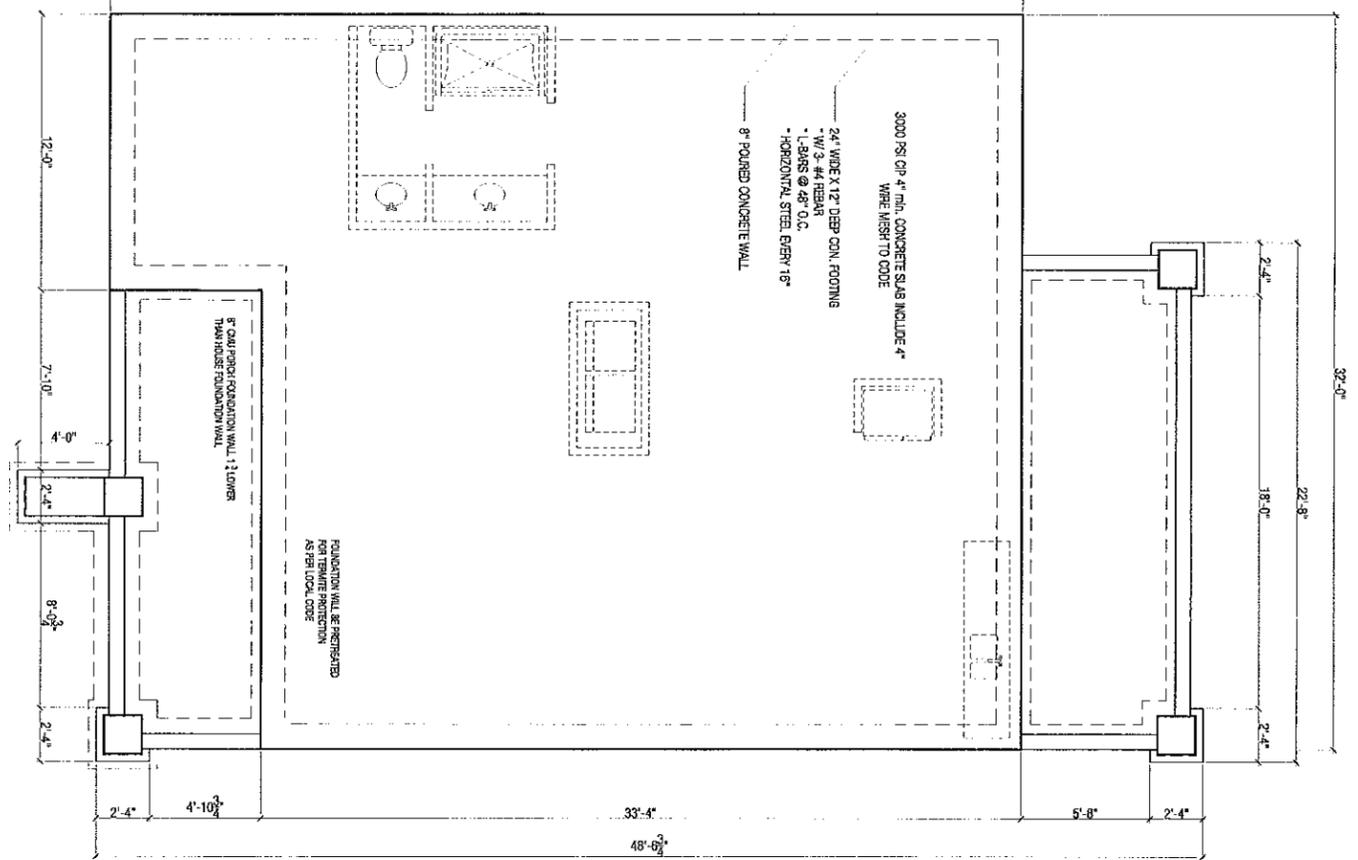
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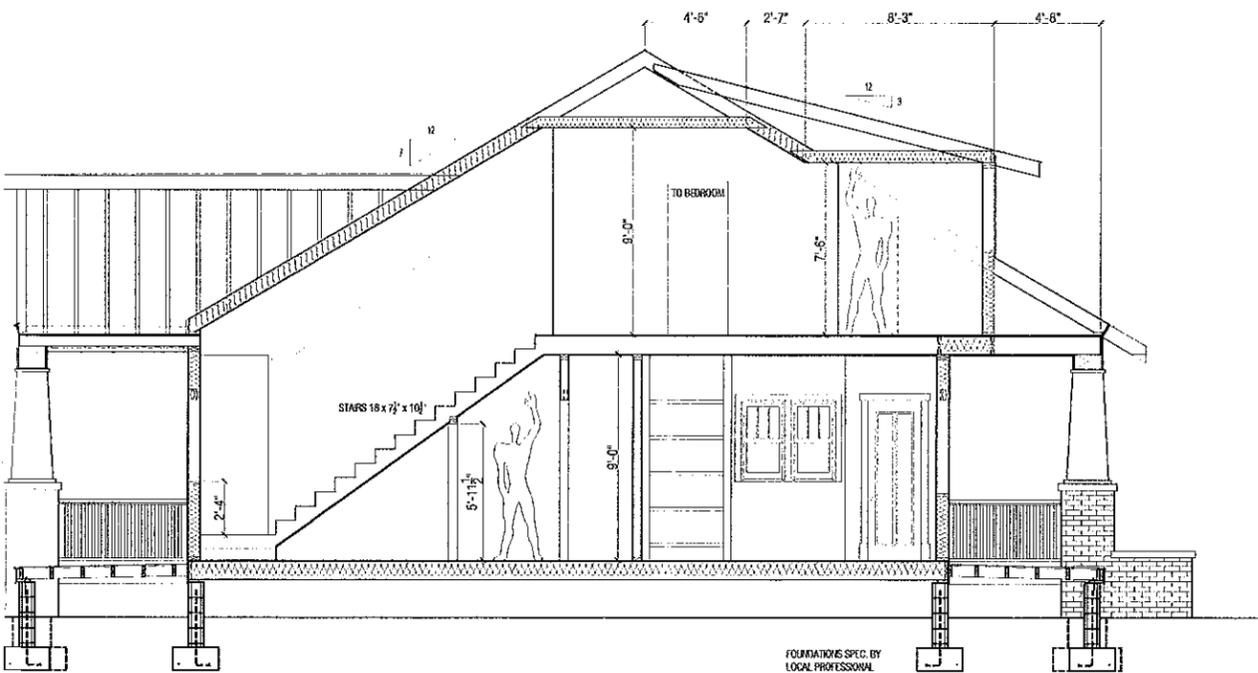


CROSS SECTION - DISREGARD FOUNDATION



FOUNDATION PLAN

1/4"=1'-0"



CROSS SECTION - DISREGARD FOUNDATION



OPT. INTERIOR ELEVATIONS

3/8"=1'-0"

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