



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**919 Petway Avenue**  
**November 20, 2013**

**Application:** New Construction--Infill  
**District:** Greenwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08204038900  
**Applicant:** Brandon Jaynes, Kudzu Real Estate  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** Application is to construct infill on a site that currently contains a non-contributing structure. The structure will be one and one-half story tall, with a form similar to that of a historic Craftsman style bungalow. The exterior materials of the structure will include: cement-fiber clapboard siding, fiberglass shingle roof, and a parged-coated foundation.

**Recommendation Summary:** Staff recommends approval of the application with the following conditions:

- A walkway be included from the porch to the public sidewalk;
- The front porch column bases not extend below the floor level of the front porch;
- Staff approve all windows and doors and the brick or sample for the front porch columns prior to purchase and installation;
- The upperstory windows are no taller than those on the first story;

With these conditions, staff finds that the application meets Section II.B.1. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design*

**Attachments**

- A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B.1 New Construction**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **h. Outbuildings**

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.
- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

#### **i. Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

#### **j. Public Spaces**

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

#### **k: Multi-unit Detached Developments/ Cottage Developments**

*Multi-unit detached developments or "cottage" developments are only appropriate where the Planning Commission has agreed that the community plan allows for the density requested and the design guidelines for "new construction" can be met. The buildings facing the street must follow all the design guidelines for new construction. The interior units need not meet the design guidelines for setbacks and rhythm of spacing on the street. Interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that face the street. Interior dwellings should be "tucked-in" behind the buildings facing the street. Direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street. Attached garages are only appropriate for rear units along the alley.*

**Background:** Staff issued an administrative permit for the demolition of the non-contributing house at 919 Petway Avenue in November 2013 (Figure 1). The building lacks historic and architectural integrity and does not contribute to the historic character of the Greenwood neighborhood.



Figure 1. The house at 919 Petway Avenue will be demolished under a staff level permit.

### **Analysis and Findings:**

The applicant is proposing to construct a new single-family house on the lot.

#### Height & Scale:

The new house will be twenty-eight feet (28') tall from grade to the peak of a side-gabled roof, with eaves at a height of twelve feet (12') above grade. The finished floor level will be approximately three feet (3') above grade, with approximately eighteen inches (18") of foundation exposed.

The house will be thirty-two feet (32') wide across the front elevation, with an eight foot (8') deep full width projecting porch. The proportions and form are similar to those of a Craftsman style bungalow, which is a common historic house in the area. On the front of the house there will be a gabled dormer in the upperstory, with the front wall stacking directly above the first story wall. Dormers on this type of house, side gabled with a projecting porch, would typically be set back two feet (2') from the wall below.

Additionally, Staff finds that the front porch column bases are atypical in that they continue beyond the porch floor all the way to grade. Staff recommends that the column bases end at the porch floor level instead of continuing down to grade.

With a condition that the dormer is moved back two feet (2') from the first story wall and the porch columns not extend below the porch floor, Staff finds that the project will meet guideline II.B.1.a.and b.

#### Setback & Rhythm of Spacing:

The house will be located with the leading edge of the porch thirty feet (30') from the front property line, which is compatible with the front setbacks of surrounding historic houses. The house will sit seven feet (7') from the left property line and twelve feet (12')

from the right. This location allows the structure to retain and utilize an existing driveway. Although driveways are generally not common in the overlay, they are present at several historic houses on the block.

Staff finds that the location of the proposed new building would be compatible with the surrounding historic context and would meet guideline II.B.1.c.

Materials:

The new house will primarily be clad in smooth face cement fiberboard with a reveal of five inches (5"). Cement-fiber board-and-batten will be used in the gable fields as an accent material. The trim, including cornerboards, window casings, and vents, will be wood-composite. The porch columns will be fiberglass with brick veneered bases, a sample of which will need to be approved by Staff. The foundation will be parge-coated concrete, and the roof will be composition shingles in a brown-gray color. The windows and doors will be wood, and staff asks to approve the color of the roof and the final window and door selections prior to purchase and installation. With those material specifications approved, Staff finds that the project meets section II.B.1.d of the design guidelines.

Roof form:

The house will have a side-oriented gable with an 8:12 pitch, lowering to 3:12 over the projecting front porch. The front dormer will also have an 8:12 pitch. These roof forms and pitches are common to historic houses, and will meet guideline II.B.1.e.

Orientation:

The house will be aligned with the front elevation parallel to the street, with an eight foot (8') deep projecting front porch. Staff finds that this orientation is compatible with surrounding historic houses. With a condition that a front walkway be added to connect the front porch to the public sidewalk, staff finds that the project meets design guideline

The project meets section II.B.1.f.

Proportion and Rhythm of Openings:

The windows on the proposed new house are all generally twice as tall as they are wide on the front elevation, and there are no large expanses of wall space without a window or door opening. The proportions of windows on the side elevation are less compatible in their proportions and placement. Historically windows on a multi-story house were either the same height or taller on the first floor where the building was more likely to have taller ceilings than in the upper stories; therefore, taller windows on an upper-story are inappropriate for the historic context. With a condition that the proportions of windows be more compatible with those on surrounding historic houses, staff finds the project's proportion and rhythm of openings would meet Section II.B.1.g.

Appurtenances & Utilities:

The location of the HVAC and other utilities was not noted on the plans, but the applicant has indicated that it will be on the west side façade, beyond the midpoint of the house.

An existing driveway will be used and will extend beyond the front porch of the house. Staff finds the driveway and the HVAC location to meet Section II.B.1.i. and II.B.1.j. of the design guidelines

**Recommendation:** Staff recommends approval of the application with the following conditions:

- A walkway be included from the porch to the public sidewalk;
- The front porch column bases not extend below the floor level of the front porch;
- Staff approve all windows and doors and the brick or sample for the front porch columns prior to purchase and installation;
- The upperstory windows are no taller than those on the first story;

With these conditions, staff finds that the application meets Section II.B.1. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design*

**Context Photos**



913, 915, and 917 Petway



View to the west



Looking east from No. 921 Petway



Further east down Petway Avenue



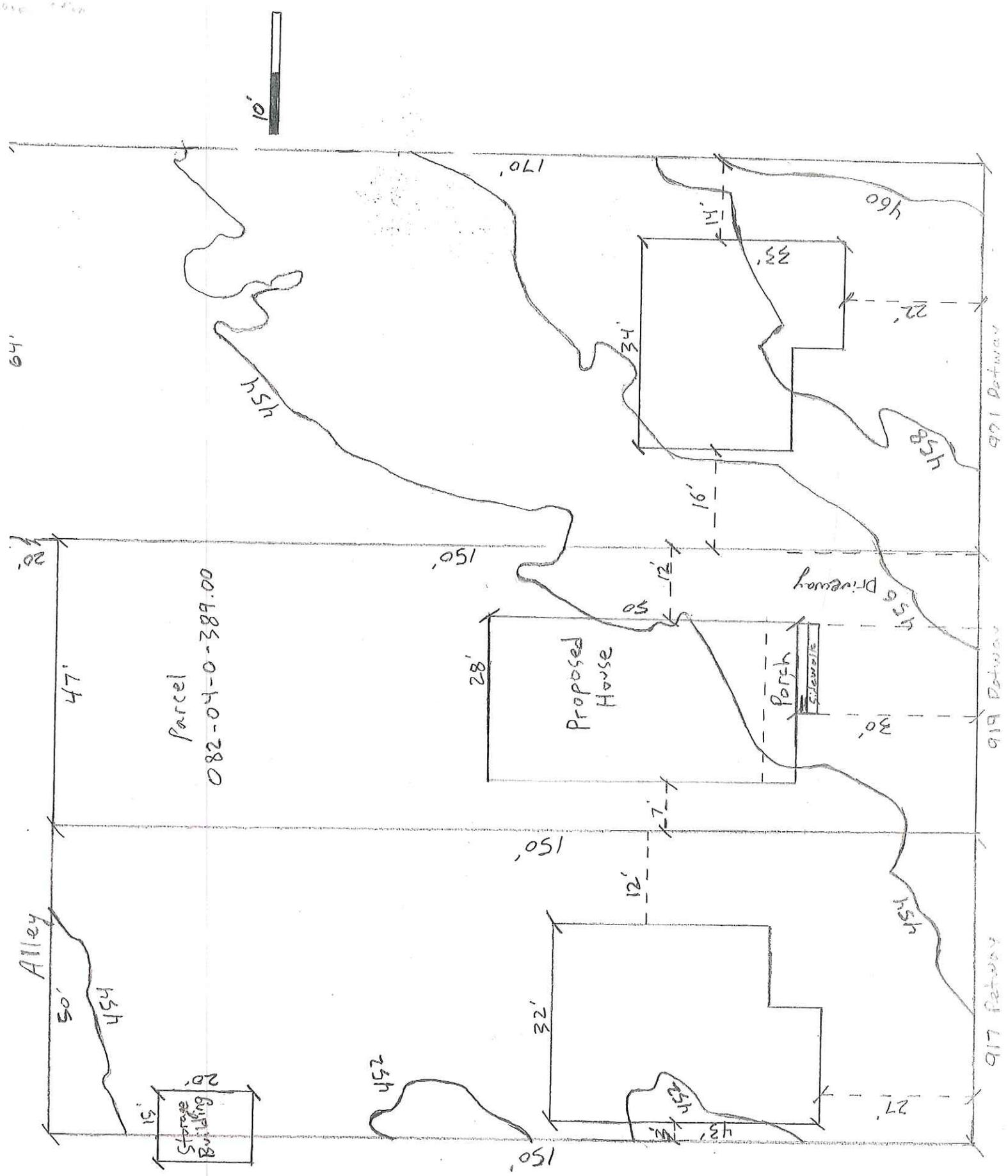
Across the street from 919 Petway



Across the street and to the east of 919 Petway.



Across the street and to the west of 919 Petway.



082-04-0-389.00



64'

20'

47'

Parcel  
082-04-0-389.00

150'

28'

Proposed  
House

30'

Porch

30'

456 Driveway

12'

16'

150'

150'

150'

150'

150'

28'

32'

12'

12'

12'

16'

27'

43'

15'

452'

454'

456 Driveway

458 Driveway

460'

170'

454'

Alley

50'

454'

15'

Storage  
Building

20'

170'

150'

150'

150'

150'

150'

150'

GENERAL NOTES

- All work shall conform to 2011 IRC and local and state building codes, rules, and regulations.
- Verify all dimensions, datums, and levels prior to construction. All dimensions are to face of stud or face of concrete unless otherwise noted.
- Contractor shall be responsible for all required safety precautions and the methods, techniques, sequences, or procedures required to perform the work.
- Do not significantly vary or modify the work shown, except with written instructions from designer/architect.
- Report errors or omissions to the designer/architect immediately.
- These drawings are the exclusive property of the designer/architect and may be reproduced ONLY with the permission of the designer/architect. Authorized reproductions must include the name of the designer/architect.
- Glazing in location subject to human impact such as panes in doors, glazing within 24" of a door opening, glazing closer than 18" to a floor, glazing in railing systems, shower doors and tubs enclosures shall be wire enforced, tempered or laminated safety glass or shatter resistant plastic per UBC 2406.
- S Skylights shall be mounted on a curb 4" minimum above the plane of the roof and shall be laminated glass having a minimum thickness of 7/32" and minimum 30-Mil approved interlayer per UBC Chapter 24.
- Provide and install smoke detectors per UBC 310.9. Smoke detectors shall receive primary power from building wiring and be equipped with a battery backup. All upper sleeping rooms to have access to sounding device that is connected to first floor.
- Provide fire blocks and draft stops per UBC 708.2 and 708.3.
- Every sleeping room shall have at least one operable window with a net clear opening of 5.7 S.F. The operable height shall be minimum 24" and the minimum width 20" with a finished sill height not more than 44" above the floor per UBC 310.4.
- Provide attic access, minimum 22" x 30" with minimum 30" head clearance, at readily accessible location per UBC 1505.1.
- Provide crawl space access, minimum 18" x 24", unobstructed access per UBC 2606.3.
- Provide ventilation per UBC:
  - Crawl Space Ventilation: Minimum net area shall not be less than 1 S.F. per 150 S.F. under floor area. Openings shall be placed as close to the corners as practical and shall provide cross ventilation on at least two approximately opposite sides per UBC 2306.7.
  - Attic Ventilation: Minimum net area shall not be less than 1 S.F. per 150 S.F. of attic area or 1 S.F. per 300 S.F. of attic area if 50% of the required ventilating area is at least 3" above the eave vents or 1 S.F. per 300 S.F. of attic area if a vapor retarder having a transmission rate not exceeding 1 perm is installed on the warm side of the attic insulation, per UBC 1505.3.
- Room ventilation requirements per UBC 1203.3.
  - Bathroom and utility rooms not provided with an operable window of 1.5 S.F. minimum of 1/20th of the floor area shall be mechanically vented directly to the outside with a system capable of providing 5 air changes per hour. The point of discharge of exhaust air shall be at least 3'-0" from any opening into the building.
  - Guest rooms and habitable rooms not provided with an operable window of 5 S.F. minimum or 1/20th of the floor area shall be mechanically ventilated directly to the outside with a system capable of 2 air changes per hour.
  - Upstairs Option: Install whole house fan in upstairs hall capable of providing .35 A.C.P.H. Fans to be set on a timer to automatically activate.
- Kitchen range and clothes dryer shall exhaust directly to the outside. Vents shall be smooth, non-combustible, non-absorbent, and equipped with a back-draft damper.
- Heating units shall maintain a temperature of 70 degrees Fahrenheit a 3' above the floor in all habitable rooms. Fuel burning appliances shall be assured of sufficient supply of outside combustion air per UMC Section 701 and local regulations. All warm air furnaces shall be listed and labeled by an approved agency and installed vented according to specifications. Provide a minimum working space of 30" at front of the furnace and 3" minimum along sides, back, top of the furnace when installed in an alcove less than 12" wider than the furnace.
- Building shall comply with local and state energy regulations and codes. Seal and caulk all cracks to prevent air infiltration. All glazing shall be insulated glass, unless noted otherwise. Insulate walls to R-21, ceilings to R-38, and floors to R-30 unless otherwise noted or allowed by local regulations.
- Hot water tank shall have type IV pressure relief valve to comply with ASHRAE 90A-80 listing and approval. Insulate tank with R-16 and fit hot water lines with snap on type insulation per local codes. In unheated spaces, electric furnaces and water heaters shall be on an incompressible insulated surface of R-10 minimum. Water heater to be anchored and strapped per UMC section 303.4.
- Provide 6-Mil black polyethylene vapor barrier in crawl space. Overlap 12". Extend barrier to foundation walls.
- Duct systems shall be of metal per UMC Table 6-A, 6-B, and 6-C or factory made ducts complying with standard 6-1. All joints and seams shall be substantially airtight. Ducts in unheated spaces shall have 2" insulation minimum or 1/2" duct liner.
- All exposed exterior metal shall be galvanized.
- All wood in contact with concrete shall be pressure treated. Pressure treated wood shall also be used for wood members which form the structural support of balconies, porches, etc. when such members are exposed to the weather per UBC 2306.2.
- Slope all decks, walks, driveways, and patios shall fall away from the house.
- Roof flashing shall comply with UBC 1508 and 1509.

BATHROOM NOTES

- All tub and shower stalls shall have fire blocking between studs.
- All glazing within 60" of drain inlet shall be safety glass.
- Shower stall wainscot shall be a minimum of 6'-0" high surround with water resistant backing
- Limit shower flow to 2.5 GPM.

# THE HAYES

# CONTENTS



919 Petway Ave.

- A0 - Title Page
- A1 - First and Second Floor Plan
- A2 - Elevations
- A3 - Electric Layout, Roof Plan
- A4 - Wall Section & Porch Section
- A5 - Building Section & Foundation Layout

Square Footage  
 1st Floor - 1175SF  
 2nd Floor - 920 SF  
 Total SF - 2095 SF

Building Height  
 25'- 6" AFF

2011 International Residential Code  
 R-3 Occupancy

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Revisions/Additions By Others:	
Date of Issue: 03 November 2013	

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sheet no.  
**A0**

PRIMED AND PAINTED TO MATCH ROOF COLOR.  
 C. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.  
 D. CONTRACTOR TO VERIFY FINAL DIMENSIONS FOR EXTERIOR TIMBER TRIM MEMBERS AND BRICK PATTERNS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



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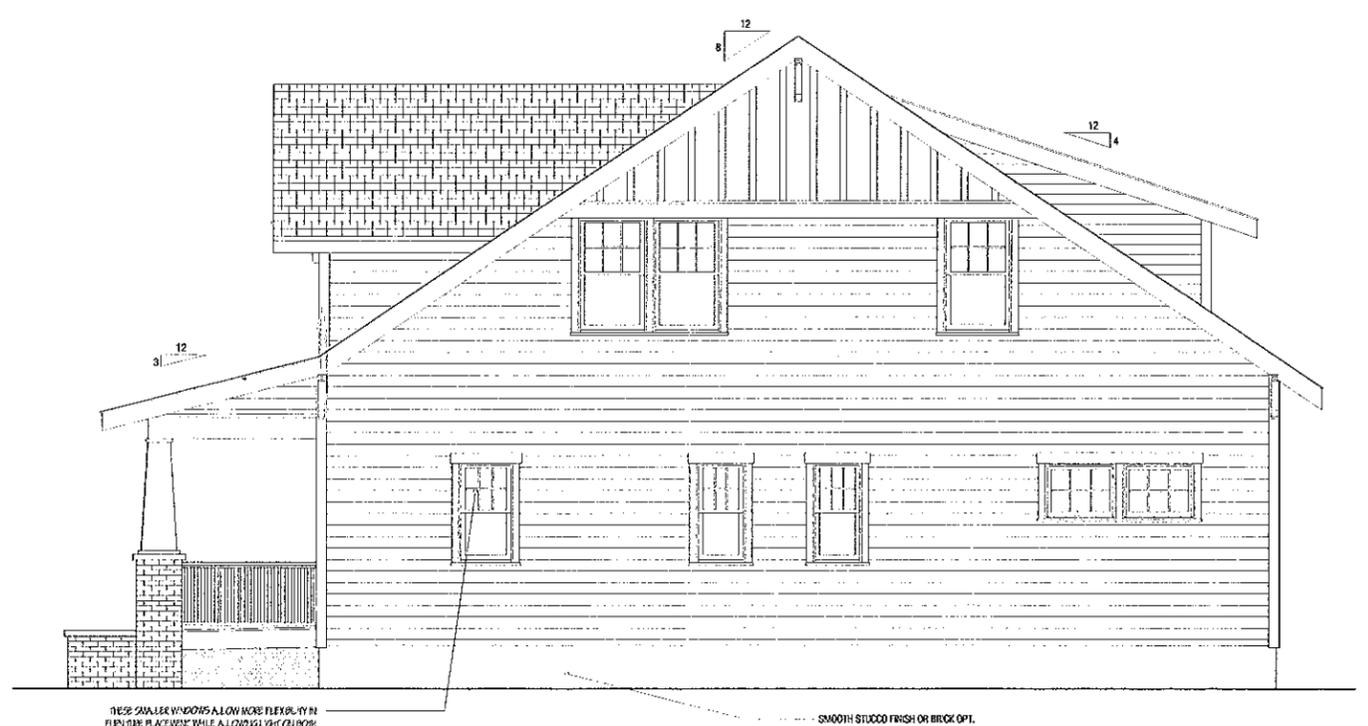
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ELEVATION

SIDE 1 ELEVATION

1/4"=1'-0"

**BUNGALOW BASICS**



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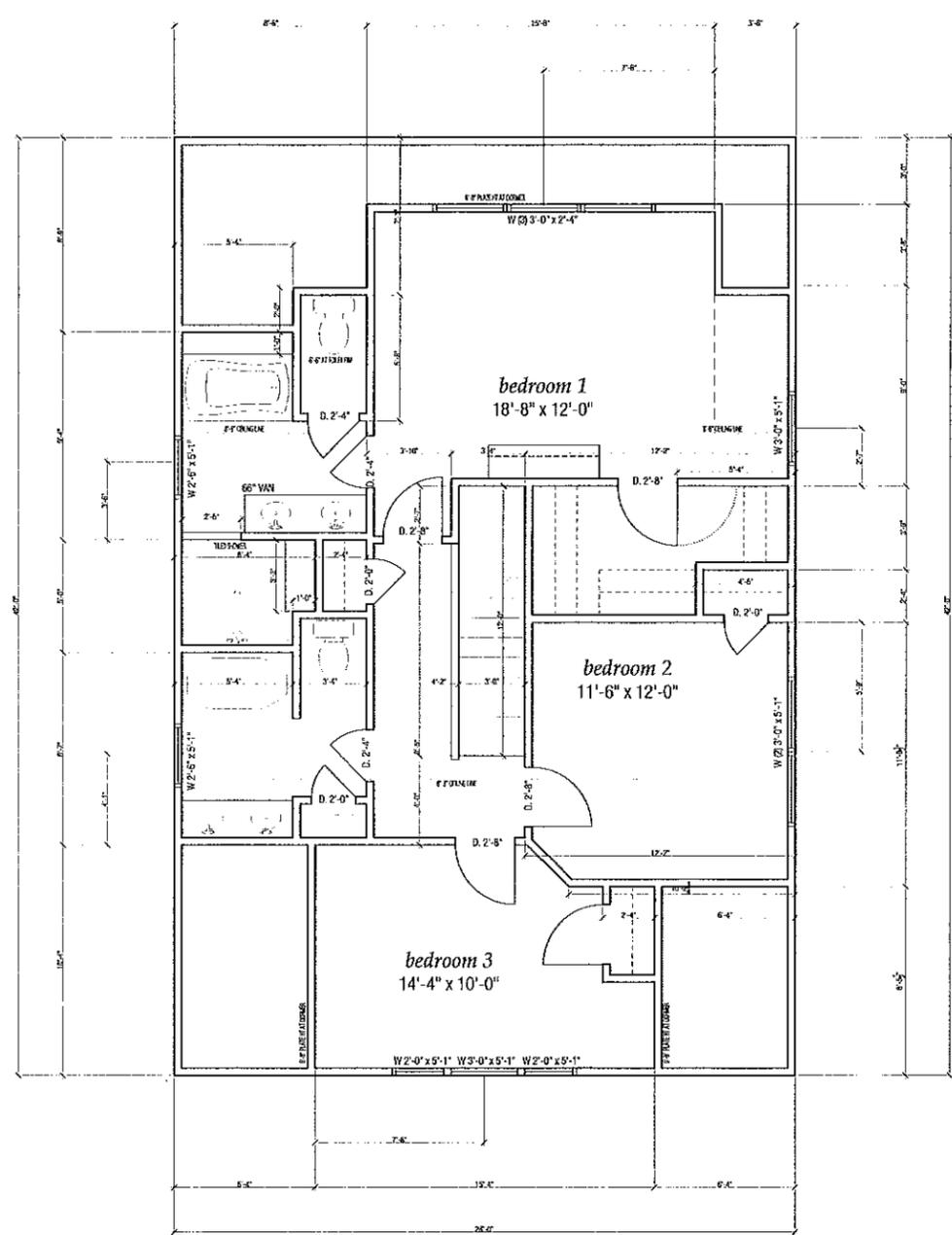
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ELEVATION

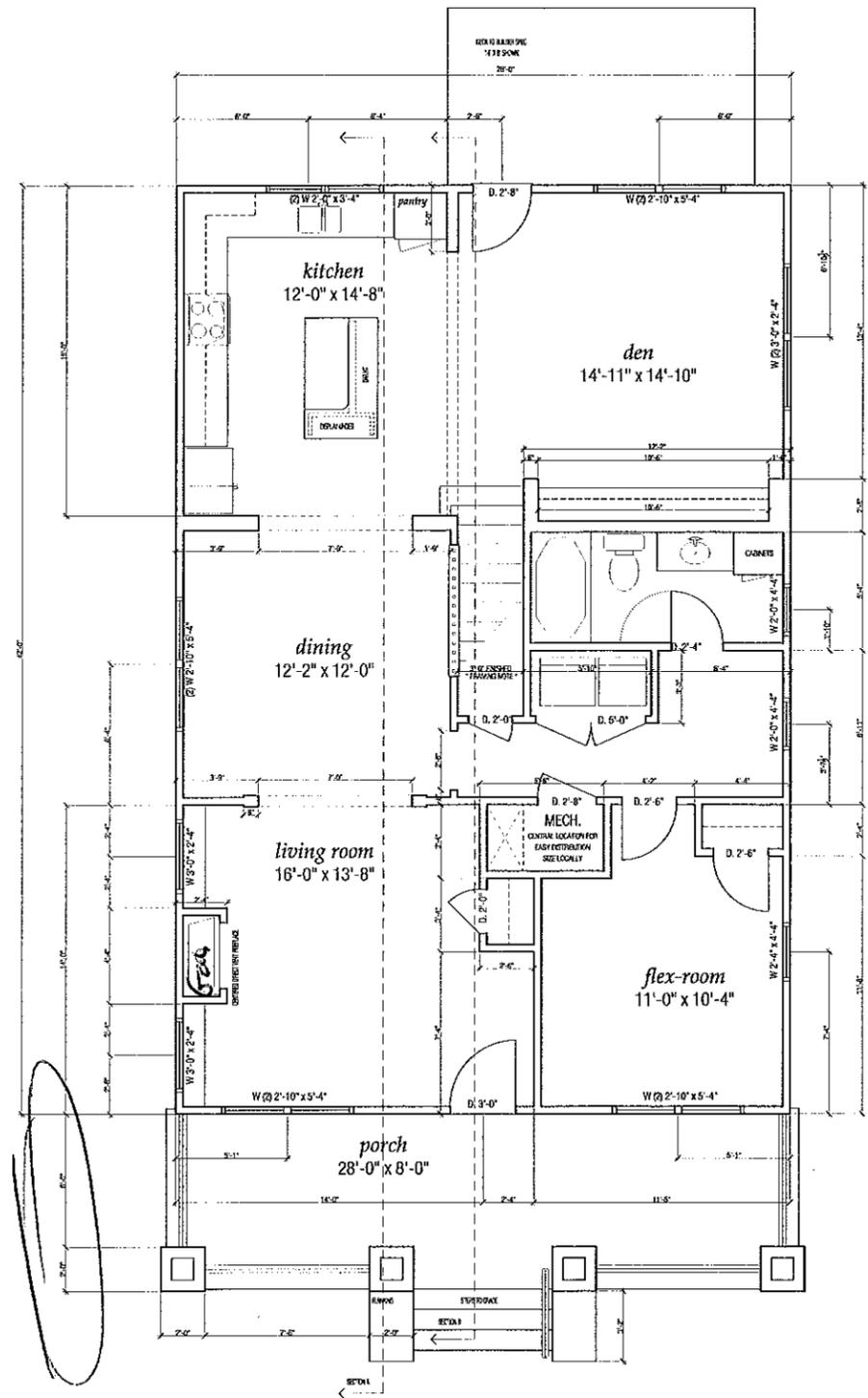
SIDE 2 ELEVATION

1/4"=1'-0"



SECOND FLOOR PLAN

1/4"=1'-0"



FIRST FLOOR PLAN

1/4"=1'-0"

**PLAN NOTES**

1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.

2. WINDOW SIZES INDICATED ON PLANS ARE NOTED AS APPROXIMATE SIZES. REFER TO PLANS AND ELEVATIONS FOR WINDOW TYPES.

3. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.

4. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

5. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

6. INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD AND METAL CORNER REINFORCING. USE 5/8" GYPSUM BOARD ON CEILINGS.

7. HANDRAILS SHALL BE MOUNTED 32"-34" ABOVE FINISHING OF STAIRS. GUARDRAILS SHALL BE MOUNTED AT 36"

8. PROVIDE ACCESS TO ALL CONCEALED ATTIC SPACES.

Revisions/Additions By Others:

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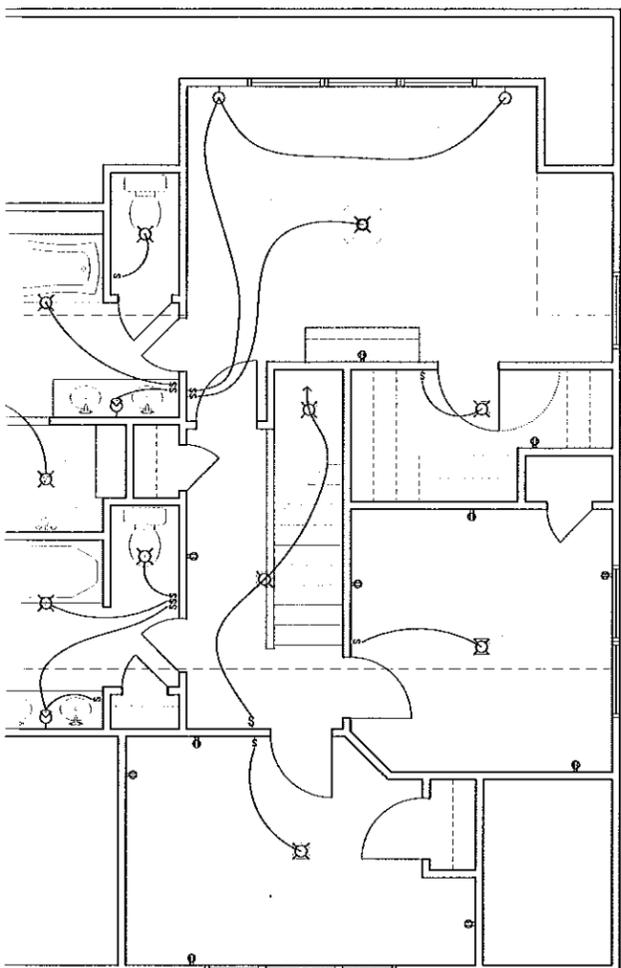
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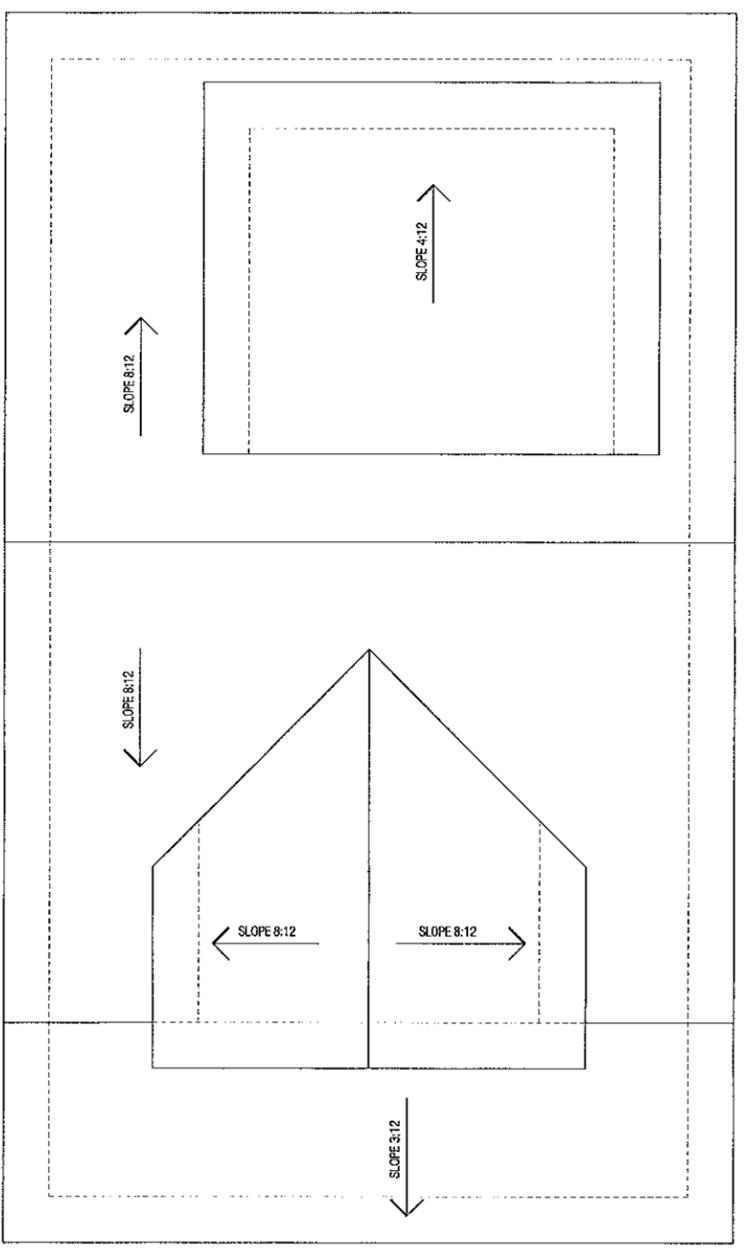
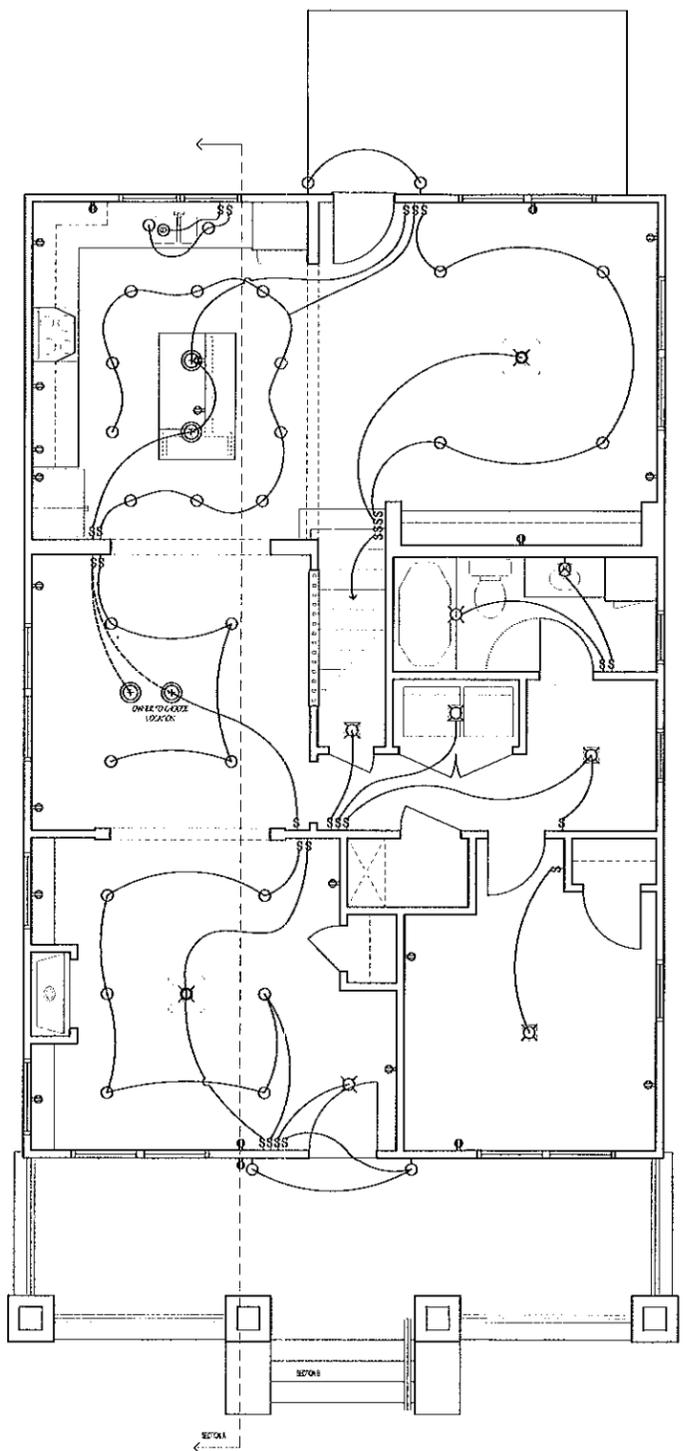
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ELECTRICAL SYMBOLS KEY	
	INCANDESCENT RECESSED CAN
	INCANDESCENT RECESSED WATERTIGHT CAN
	UNDER CABINET LIGHT
	SURFACE MOUNTED INCANDESCENT
	RECESSED WALL WASHING LIGHT
	VANITY LIGHT FIXTURE
	WALL SCONCE
	INCANDESCENT WALL-MOUNTED WATERTIGHT FIXTURE
	PULL CHAIN LIGHT
	STANDARD WALL OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	FLOOR OUTLET
	220 VOLT OUTLET
	WEATHERPROOF EXT GFI OUTLET
	GARAGE DOOR OPENER / LIGHT
	CEILING FAN / LIGHT COMBO
	PENDANT FIXTURE
	BATH EXHAUST
	LIGHT & BATH EXHAUST
	SWITCH
	GARBAGE DISPOSAL
	SMOKE DETECTOR
* INSTALL SMOKE DETECTORS PER APPLICABLE CODES AND ORDINANCES.	



ELECTRICAL LAYOUT PLAN

ROOF PLAN

1/4"=1'-0"

**HOME PATTERNS** crafted smart  
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