



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
411 North Wilson Boulevard
December 18, 2013

Application: New construction –outbuilding; Setback Determination
District: Cherokee Park Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10308024500
Applicant: Betsy Pogue, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to construct a new outbuilding at the rear of the property, accessed from Cambridge Street.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
<p>Recommendation Summary: Staff recommends approval of the proposed outbuilding with a condition that there be two separated vehicle doors on the street-facing elevation rather than one double-width door, finding the application would then be compatible with surrounding historic outbuildings and to meet the design guidelines for the Cherokee Park Neighborhood Conservation Zoning Overlay.</p>	

Applicable Design Guidelines:

II.B. GUIDELINES

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

h. Outbuildings

- 1) *A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.*

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or

smooth cement-fiberboard board-and-batten or masonry.
Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
Stud wall lumber and embossed wood grain are prohibited.
Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.
Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Background: The house at 411 North Wilson Boulevard is an historic Craftsman bungalow, constructed circa 1925. There is a non-historic garage behind the house, accessed from Cambridge Street.

Analysis and Findings: The applicant is proposing to construct a new outbuilding to replace the existing one. The new building will also be accessed from Cambridge Street.

Height & Scale:

The new outbuilding will reuse the floor of the existing outbuilding, which is twenty-two feet (22') wide by twenty-seven feet (27') deep, and expand it toward the street to be twenty-two feet (22') by thirty-seven (37') feet. Of the eight hundred, fourteen square foot (814 sq. ft.) total footprint area of the new structure, six hundred, thirty-two square feet (632 sq. ft.) will be for the garage and one hundred, eighty two square feet (182 sq. ft.) will be for storage. The storage area will have a separate door and will not be connected to the rest of the structure from inside.

The garage will be twenty-three feet (23') tall with a gabled roof, with eaves at eleven feet, six inches (11'-6") above grade. The gable ridge will run parallel to Cambridge Street, with a gabled dormer on the street facing slope and a shed dormer on the other. The storage area will resemble a lean-to, with a shed roof beginning below the primary building eave and sloping down to nine feet (9') above grade.

Separating the massing of the storage area helps to reduce the perceived scale of the garage, which staff finds to be compatible with historic surrounding outbuildings. Staff finds that the application meets guideline II.B.1.a, II.B.1.b., and II.B.1.i.1.

Setback & Rhythm of Spacing:

The new outbuilding will match the left side and rear setbacks of the existing outbuilding, three feet (3') and five feet (5'), respectively. These setbacks are less than what is required by the bulk zoning regulations, but are compatible with the typical location of historic outbuildings. The setback from Cambridge Street will be twenty-five feet (25'). The project meets guidelines II.B.1.c. and II.B.1.I.2.

Materials:

The addition will primarily be clad in smooth face cement fiberboard with a reveal to match that of the historic house. The trim will be wood. The foundation will be concrete block with no more than one course exposed above grade, and the roof will be architectural fiberglass shingles in a color to match the existing roof. The materials of the windows and doors are not known, and staff asks to approve their selections prior to purchase and installation. With the staff's final approval of the windows and doors, staff finds that the known materials meets guidelines II.B.1.d and II.B.1.i.1.

Roof form:

The primary roof will be a 9:12 pitched gable, matching the form and pitch of the roof on the house. The gabled dormer will also be a 9:12 gable, and the shed dormer will have a pitch of 3:12. These roofs are compatible with other historic buildings in the area. The project meets section II.B.1.e.

Orientation:

The outbuilding will be located behind the primary building, oriented toward Cambridge Street. It will be accessed by an existing driveway. There is no alley at the rear of the property. This matches the orientation of comparable outbuildings. The project meets section II.B.1.f. and II.B.1.i.1.

Proportion and Rhythm of Openings: The windows on the proposed outbuilding are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Rather than having two separate vehicle doors, as would be typical of an historic two-car garage, the proposed new building will have one eighteen foot (18') wide door. . Changing the openings on the street-facing elevation to two separate openings, Staff finds the project's proportion and rhythm of openings will meet Section II.B.1.g.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.1. i.

Recommendation:

Staff recommends approval of the proposed outbuilding, finding it to be compatible with surrounding historic outbuildings and to meet the design guidelines for the Cherokee Park Neighborhood Conservation Zoning Overlay.

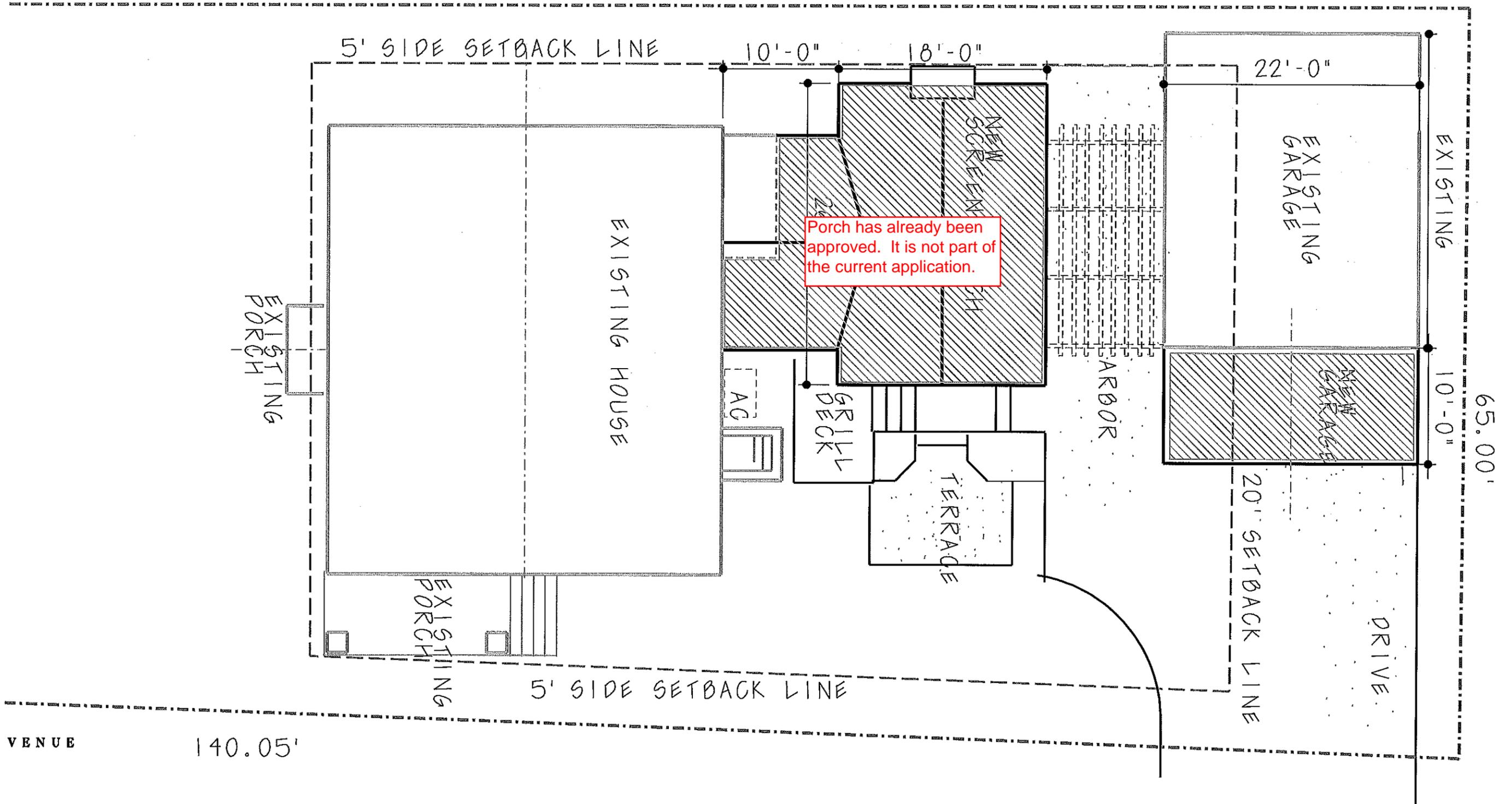


411 North Wilson Boulevard, front.



411 North Wilson Boulevard, existing garage from Cambridge Street.

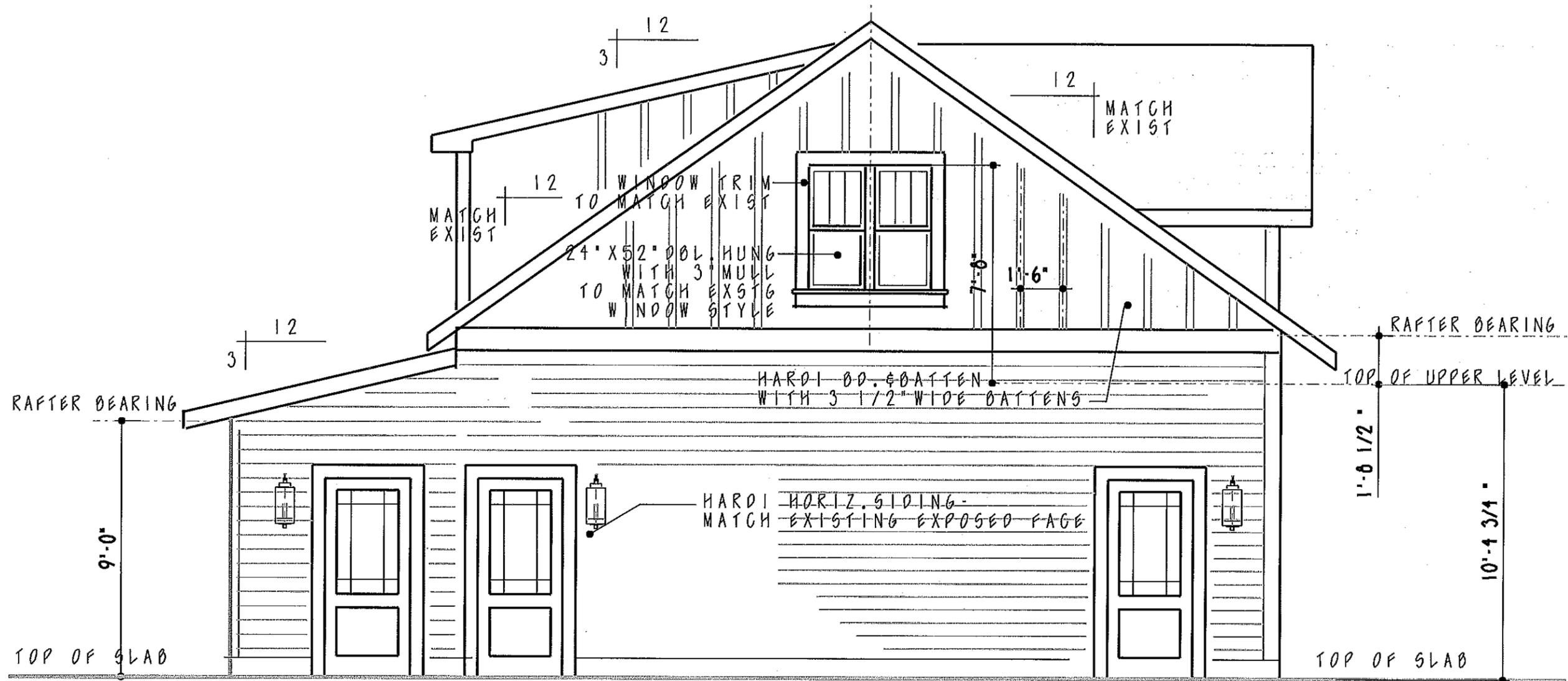
140.11'



Porch has already been approved. It is not part of the current application.

VENUE

140.05'

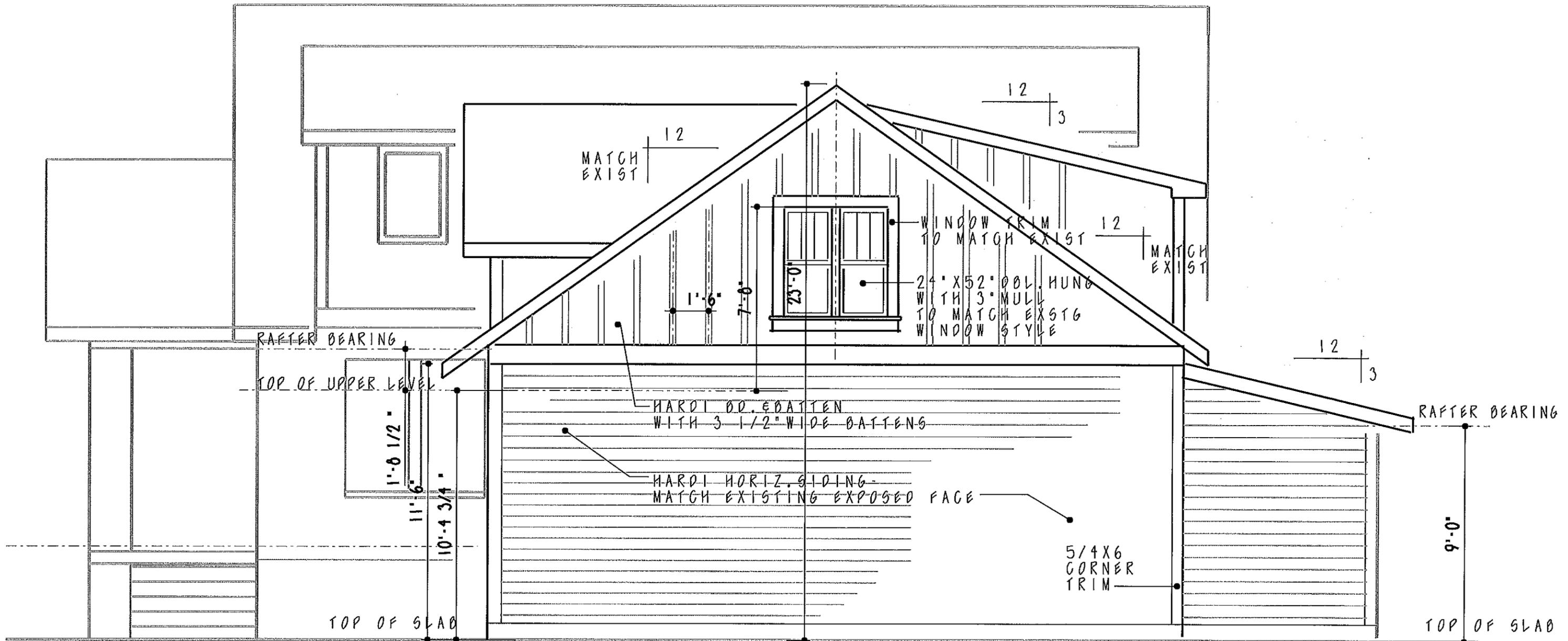


CATIGINANI RESIDENCE

SIDE ELEVATION - VIEW FROM PORCH

SCALE: 1/4" = 1'-0"

DATE: 14 NOVEMBER 2013



CATIGINANI RESIDENCE
REAR ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 14 NOVEMBER 2013

OVERHANG AND EAVES
TO MATCH EXIST. HOUSE

17

MATCH
EXIST

12

WINDOW TRIM
TO MATCH EXIST

DORMER RAFTER ORG

1'-0"

6'-8"

24" X 52" DBL. HUNG
WITH 3" MULL
TO MATCH EXISTG
WINDOW STYLE

TOP OF UPPER LEVEL



OPEN

8'H GARAGE DOOR
STYLE AS SELECTED
BY OWNER

5/4 X 8
HEADER
TRIM W/
1 X GAP
TRIM

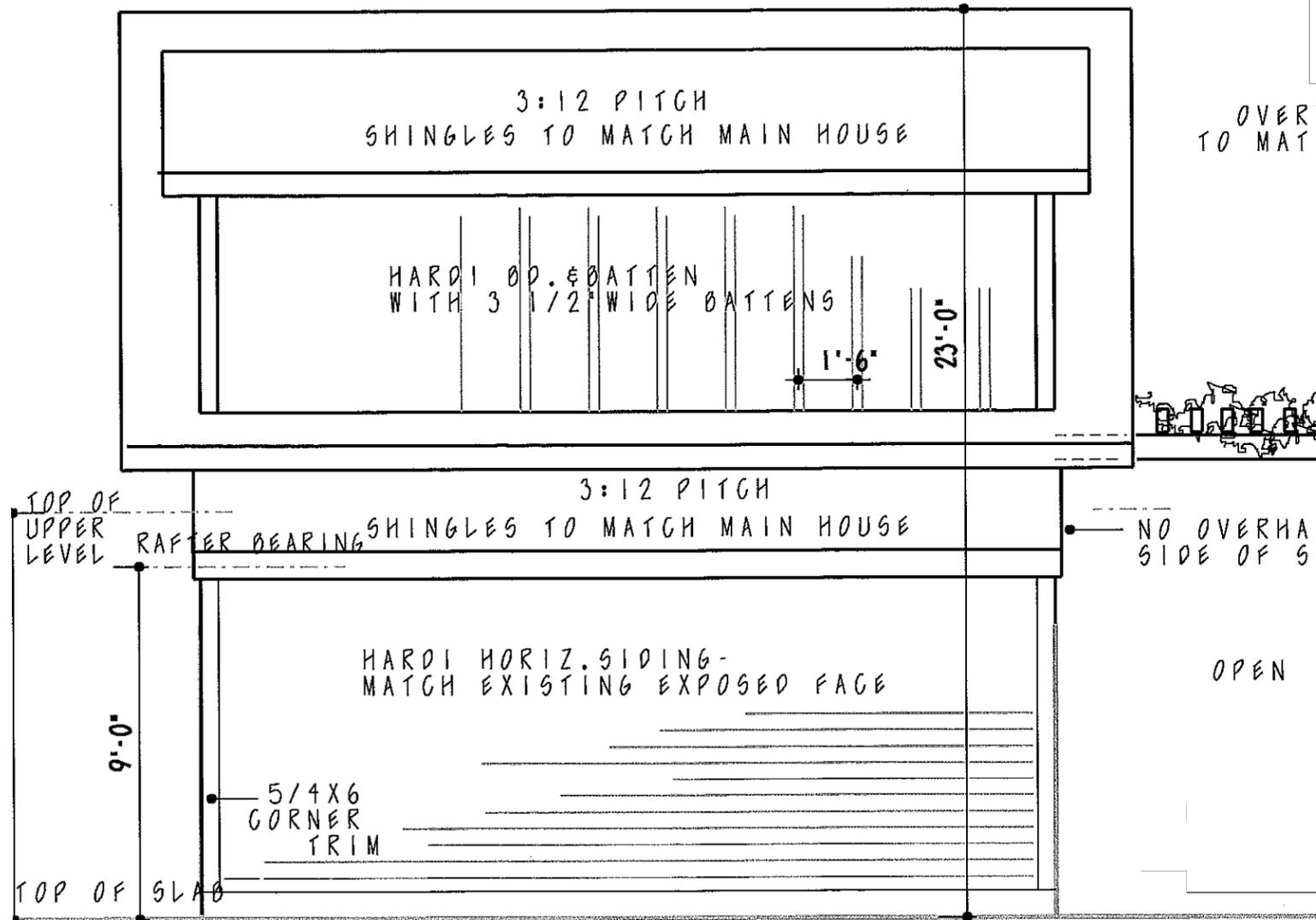
5/4 X 6
CORNER
TRIM

10'-4 3/4"

NOTE:
GUTTERS AND D.S. TO
MATCH EXIST. LOCATION
TO BE DETERMINED ON SITE

ENCE
EVATION

DATE: 14 NOVEMBER 2013



OVERHANG AND EAVES
TO MATCH EXIST. HOUSE

3:12 PITCH
SHINGLES TO MATCH MAIN HOUSE

HARDI BOARD & BATTEN
WITH 3 1/2" WIDE BATTENS

1'-6"

23'-0"

3:12 PITCH
SHINGLES TO MATCH MAIN HOUSE

NO OVERHANG
SIDE OF S

HARDI HORIZ. SIDING -
MATCH EXISTING EXPOSED FACE

OPEN

5/4 X 6
CORNER
TRIM

TOP OF
UPPER
LEVEL

RAFTER BEARING

9'-0"

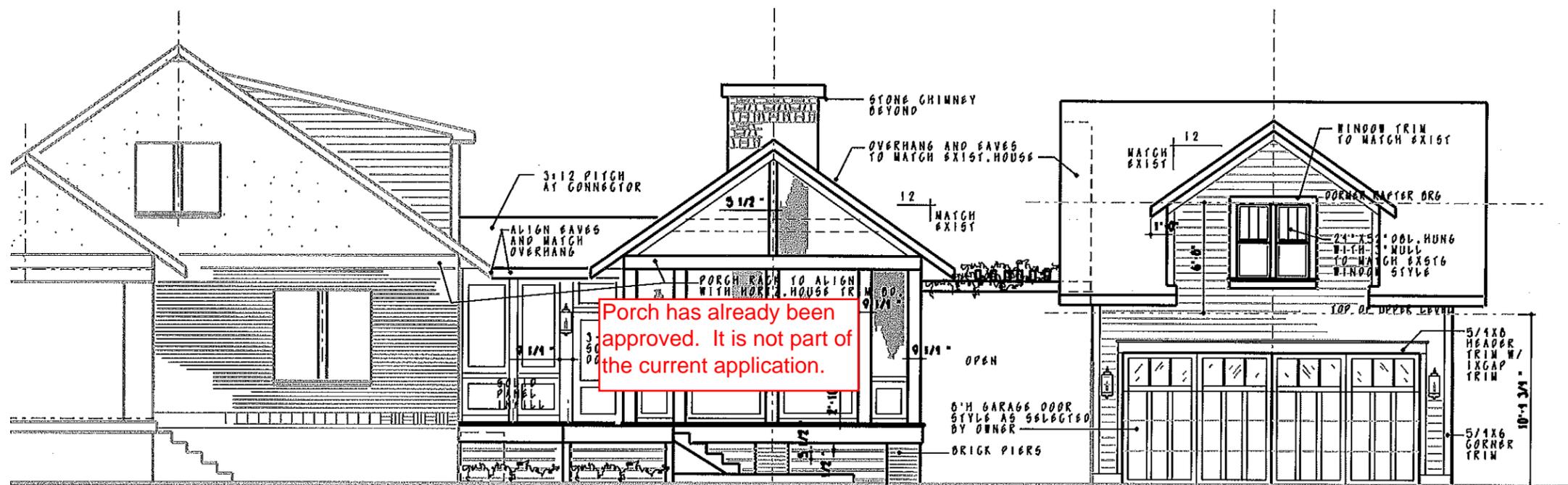
TOP OF SLAB

CATIGINANI RESIDENCE

FIREPLACE ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 14 NOVEMBER 201



Porch has already been approved. It is not part of the current application.

NOTE: HANDRAIL AT DECK AND STAIRS-NOT SHOWN FOR CLARITY

NOTE: GUTTERS AND P.S. TO MATCH EXIST. LOCATION TO BE DETERMINED ON SITE

CASIGINANI RESIDENCE
SIDE ELEVATION

SCALE: 1/8" = 1'-0"

DATE: 14 NOVEMBER 2013