



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

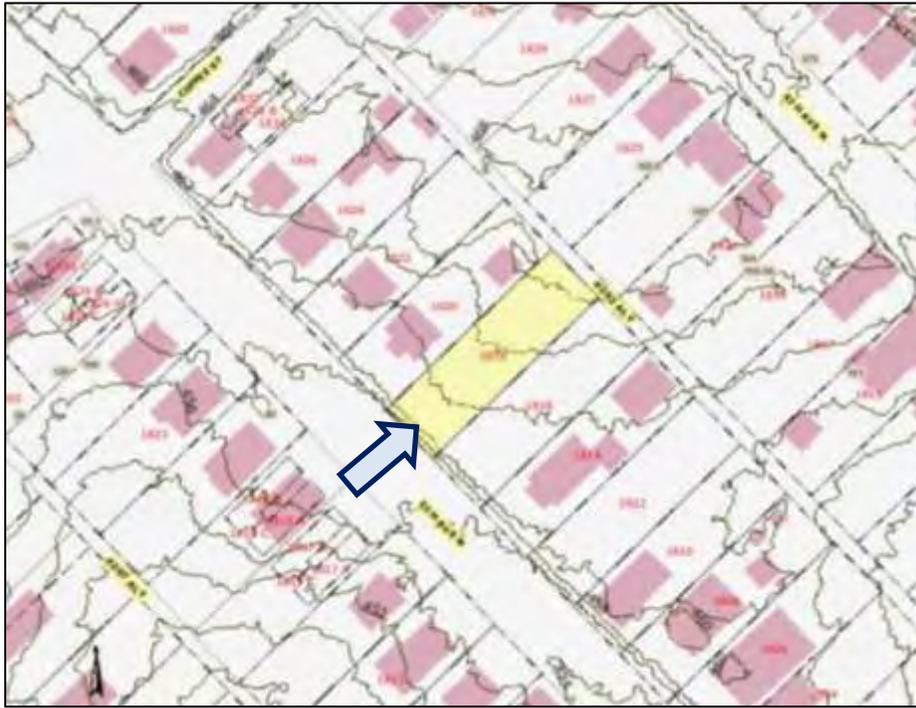
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1818 Fifth Avenue North**  
**February 19, 2014**

**Application:** New construction-infill  
**District:** Salemtown Neighborhood Conservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08108027300  
**Applicant:** Robin York; R. J. York Homes, LLC  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> The applicant proposes to construct a new two-family dwelling on a vacant lot.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the duplex infill and outbuilding with the following conditions:</p> <ul style="list-style-type: none"><li>• That the roof and eaves of the front porch be raised to make the perceived height of the first story taller in relation to the upperstory;</li><li>• That the thickness of the porch floor and porch rack be increased to a size more compatible with nearby historic houses;</li><li>• Staff review and approve the roof color and the materials for the trim, as well as the porch columns, porch floor, and foundation;</li><li>• Staff review and approve all window and door selections prior to purchase and installation;</li><li>• The HVAC unit be placed at the rear, or on a side façade beyond the midpoint of the house.</li></ul> <p>With these conditions, staff finds that the project meets Section III of the <i>Salemtown Neighborhood Conservation Zoning Overlay Handbook &amp; Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>D:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III. New Construction**

#### **A. Height**

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Primary buildings should not be more than 35' tall.

#### **B. Scale**

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

#### **C. Setback and Rhythm of Spacing**

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

#### **D. Materials, Texture, Details, and Material Color**

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. The majority of historic buildings are frame with a lap siding with a maximum of a 5" reveal. Only a few historic examples are masonry.
  - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
  - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding . (Few buildings were historically brick and there are no stone examples.)
    - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
    - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
    - Four inch (4") nominal corner boards are required at the face of each exposed corner.
    - Stone or brick foundations should be of a compatible color and texture to historic foundations.
    - When different materials are used, it is most appropriate to have the change happen at floor lines.
    - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
    - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
    - Texture and tooling of mortar on new construction should be similar to historic examples.
3. Asphalt shingle and metal are appropriate roof materials for most buildings. Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

#### **E. Roof Shape**

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-

4/12 range. See page 9 for examples of common roof forms.

2. Small roof dormers are typical throughout the district and are appropriate on one-story buildings only, unless located on the rear. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

#### **F. Orientation**

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house or cut-away porches. Recessed entrances are not found in the overlay but in the greater Salemtown neighborhood and may be appropriate in some instances. Simple hoods over the entrance are also appropriate.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.
4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

#### **G. Proportion and Rhythm of Openings**

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

#### **I. Utilities**

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

**Background:** The lot at 1818 Fifth Avenue North is vacant.

**Analysis and Findings:** The applicant is proposing to construct a new two-family dwelling on the lot.

Height & Scale:

The new building will resemble a vernacular gabled-ell form with two primary components: the left side being a one and one-half story side-facing gable and the other being a two-story front-facing gable. The heights of these roofs will be thirty feet (30') and thirty-one feet (31'), respectively. By comparison, the houses in the immediate vicinity range from eighteen feet (18') to thirty-three feet (33') tall. The building will have two feet, six inches of exposed foundation at the front, with a primary eave height of twenty-one feet (21') from grade and a porch eave height of eleven feet (11') above grade. The overall height of the building is appropriate for the area, but Staff finds that the proportions for the upperstory will read to be taller than the first story, which is atypical. By raising the roof and eave line of the porches, staff finds that the heights of the new building would be compatible with surrounding historic houses and meets guideline III.A.

The primary massing of the building will be thirty-six feet (36') wide, with a projecting bay on the left expanding the total width to thirty-eight feet (38'). The two halves of the building will be off-set by six feet (6'), with each having a six foot (6') deep front porch. Including the porches and an uncovered rear deck, the total depth of the building will be sixty feet (60'). By comparison, the houses in the immediate context have widths that range between twenty-one and thirty-six feet (21'-36'). The off-setting front porches and the adjoining front and side gabled roofs help to break up the scale of the structure so that it does not read as large as if it were a typical two-story structure.

Staff finds the width and depth to be acceptable for a two-story house and to meet Section III.B of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Staff finds the thickness of the porch floor and porch rack to be inappropriately small compared to similar elements on historic houses, and recommends that they be increased proportionally as a condition of approval.

Setback & Rhythm of Spacing:

The proposed infill will be centered on the lot and will meet all base zoning setback requirements. The structure will be seven feet (7') from each of the side property lines, creating similar spacing between it and adjacent structures as is found in the historic context and maintaining the established rhythm of the street.

The front porch on the right side will be twenty-six feet (26') from the front property line. This setback is in between the two nearest historic structures, the setbacks of which are twenty-one feet (21') and thirty-two feet (32'). Staff finds that the duplex's setbacks are

compatible with the historic context and will maintain the established rhythm of the street, and that the proposal will meet Section III.C of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Materials:

The primary cladding for the structure will be fiber cement siding. With a maximum exposure of five inches (5”), smooth-faced cement-fiber siding will be appropriate. The roof will be asphalt shingle, and staff asks to approve the shingle color. The materials for the trim as well as the foundation, the porch columns, and porch floor were not specified. Staff asks to approve these materials prior to purchase and installation. Likewise, the materials for the windows and doors were not specified, and staff asks to approve all window and door specifications prior to purchase. With the above-mentioned staff approval of materials, staff finds that the duplex’s materials meet Section III.D of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Roof form:

The house’s primary roof form will be a gabled-ell. The side-facing gable on the left will have a pitch of 8:12 and the front-facing gable will have a pitch of 11:12. The porch roofs will be a shed on the left and gable on the right, both with a 3:12 pitch. These roof forms are common in the surrounding historic context, and Staff finds that the duplex’s roof forms meet Section III.E of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Orientation:

The infill will face Fifth Avenue North and will have a gabled-ell form. The two-family dwelling will have two front entry doorways, one to each unit. The left unit is recessed by six feet (6’) from the left unit. Each unit will have a six foot (6’) deep front porch, spanning the full-width of the unit. The proposal does not indicate the creation of a front walkway, which is a standard feature in the historic district. A walkway should be added to address the street in the manner typical of historic houses nearby. With the addition of a walkway, Staff finds that the project meets guideline Staff finds that the duplex’s orientation meets Section III.F. of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Proportion and Rhythm of Openings:

For each unit, the front façade of the building will have two bays each story. The side window patterns on the side elevations will be less regular, but will not have large expanses of wallspace without any opening. The primary windows on the infill are twice as tall as they are wide, thereby meeting the historic proportions for window openings. In general the proportion and rhythm of openings would be compatible to what is found on historic gabled-ell houses. Staff finds that the duplex’s proportion and rhythm of openings meet Section III.G of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.

Appurtenances & Utilities:

The location of the infill's HVAC units is not indicated on the plans. Staff asks that they be located at the rear, or on a side façade beyond the midpoint of the house.

Outbuildings:

The site plan shows a detached garage at the rear of the lot, but no other plans for it have been submitted for review at this time.

**Recommendation:**

Staff recommends approval of the duplex infill and outbuilding with the following conditions:

- That the roof and eaves of the front porch be raised to make the perceived height of the first story taller, in relation to the upperstory;
- That the thickness of the porch floor and porch rack be increased to a size more compatible with nearby historic houses;
- Staff review and approve the roof color and the materials for the trim, as well as the porch columns, porch floor, and foundation;
- Staff review and approve all window and door selections prior to purchase and installation;
- The HVAC unit be placed at the rear, or on a side façade beyond the midpoint of the house.

With these conditions, staff finds that the project meets Section III of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.



1818 5<sup>th</sup> Avenue North (1816 5<sup>th</sup> Avenue North under construction on right)



One-story historic Gabled-L house at 1824 5<sup>th</sup> Avenue North.

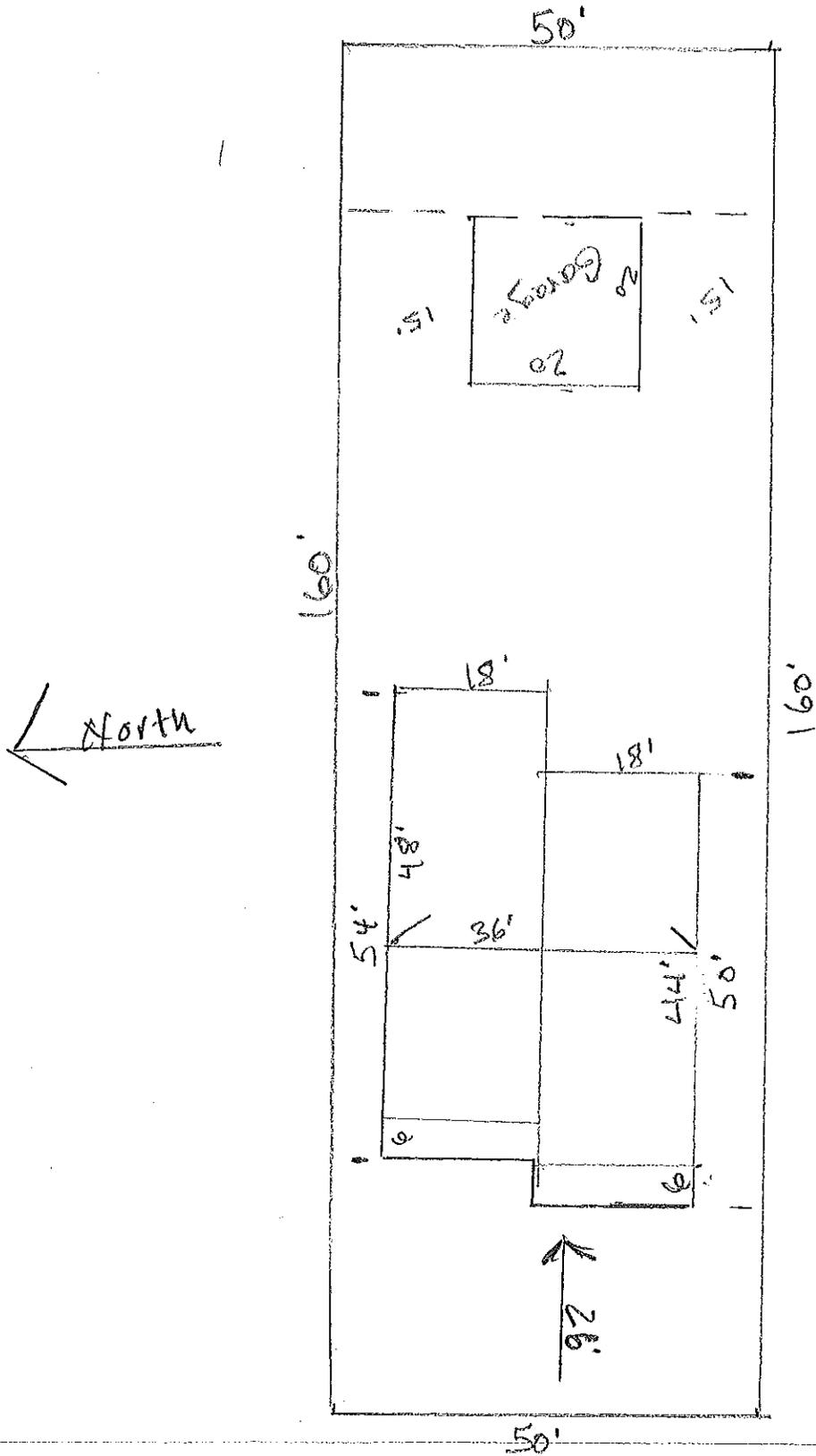


Context looking south down 5<sup>th</sup> Avenue South.



Two-story historic house at 1900 4<sup>th</sup> Avenue North.

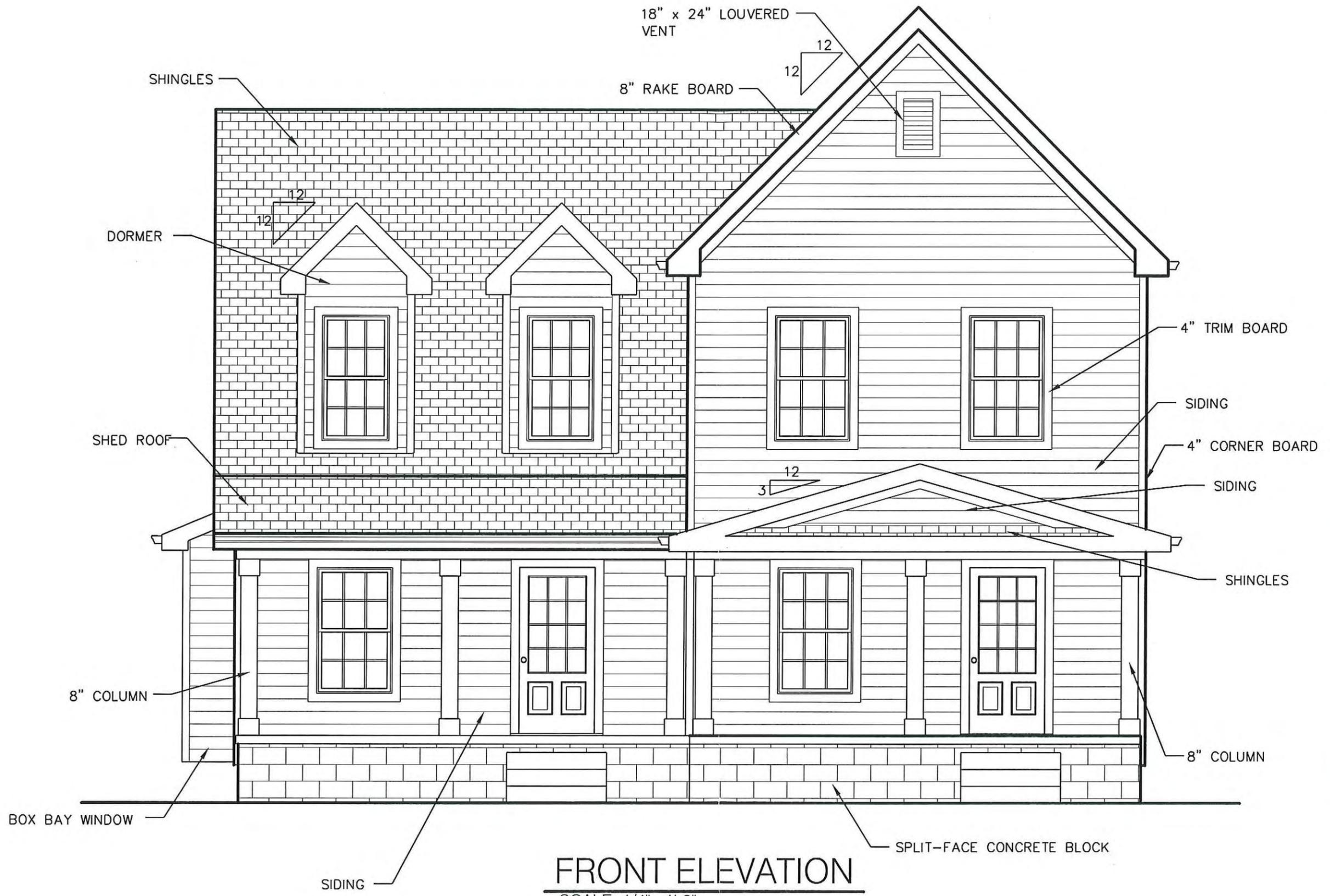
1818 5<sup>th</sup> ave N.



Front setback  
in line with  
property next door

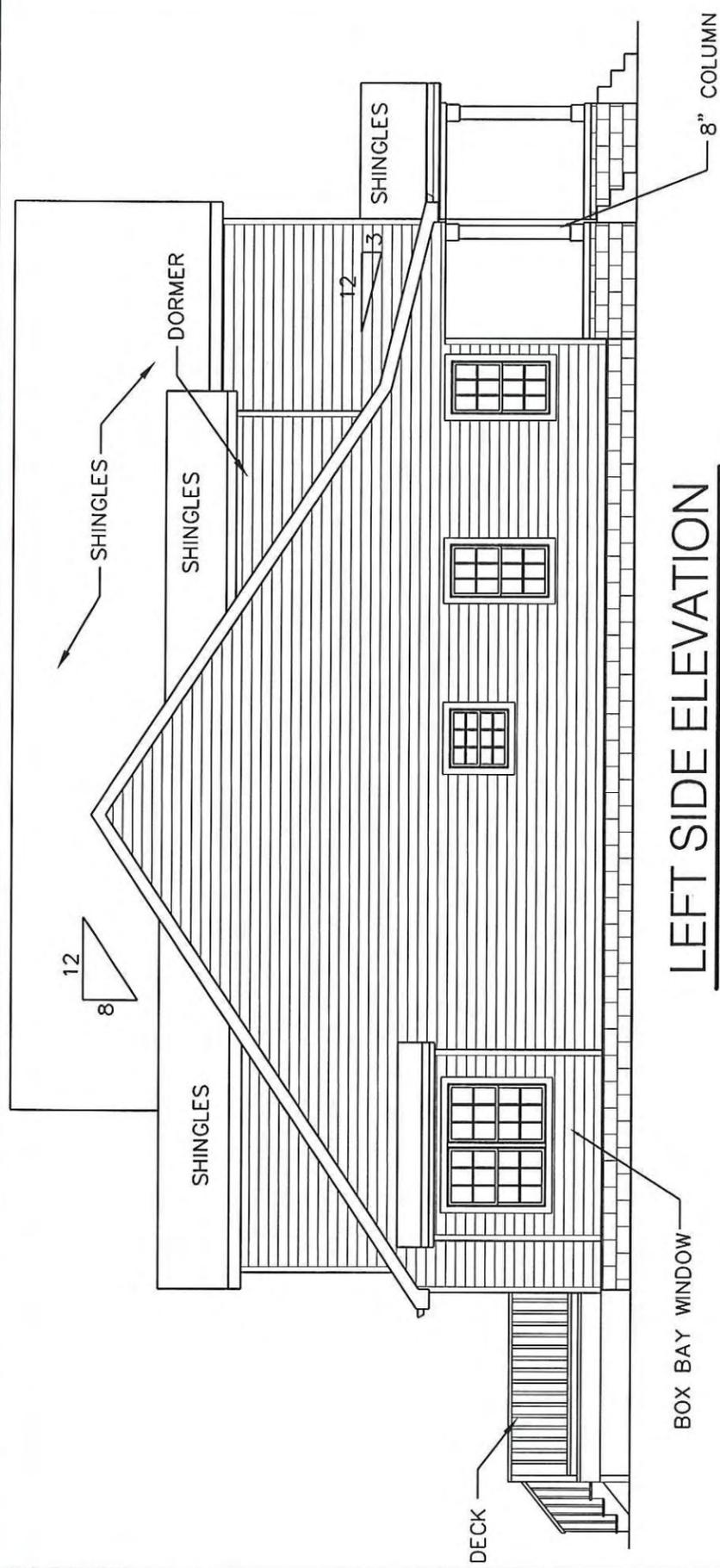
Scale 1" = 20'

Property Location:  
 1818 5th Avenue North  
 Nashville, Tennessee 37208



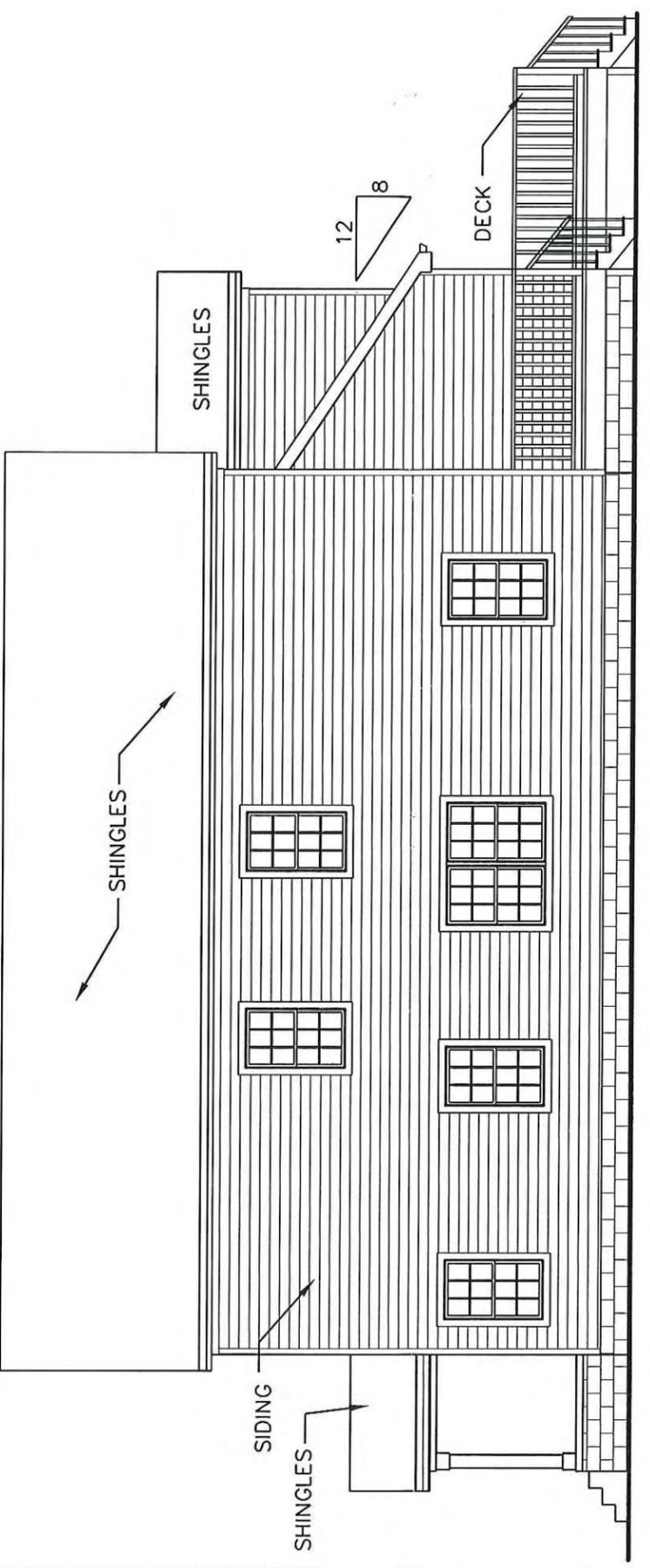
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

DRAWN KAJ
CHECKED TDC
DATE 2-3-14
SCALE 1/4" = 1'-0"
JOB NO.
SHEET <b>1</b>



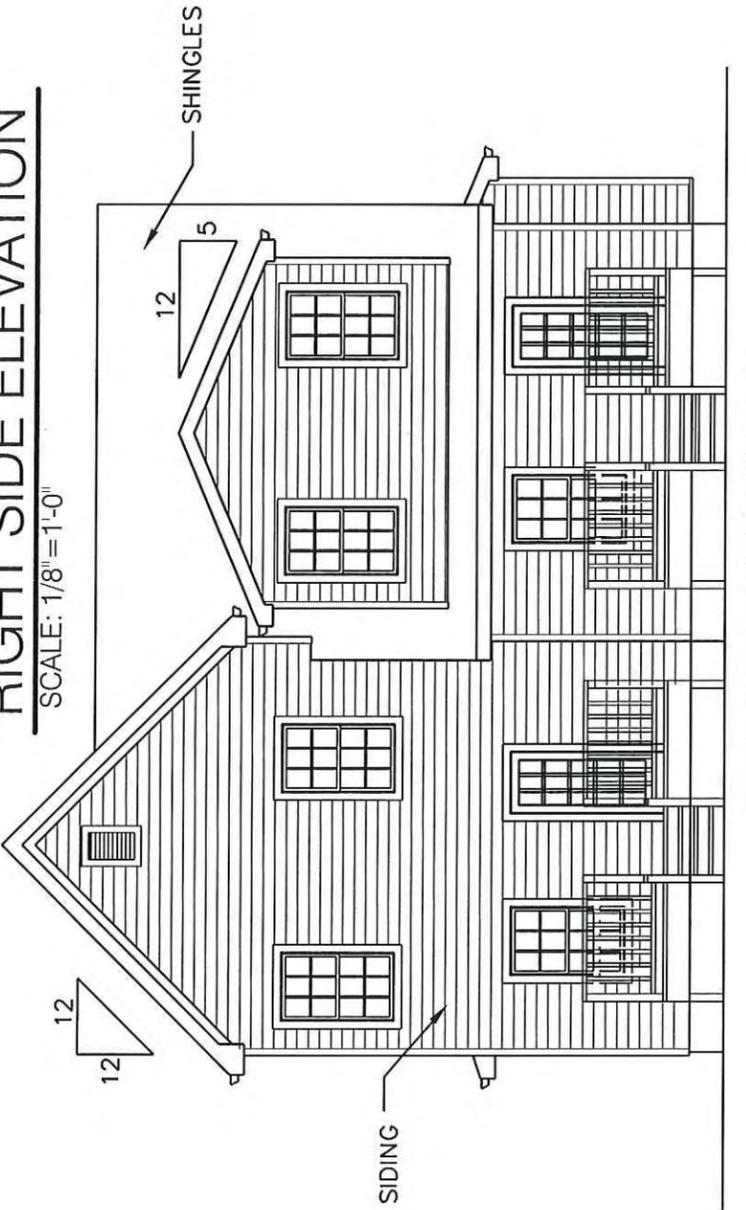
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



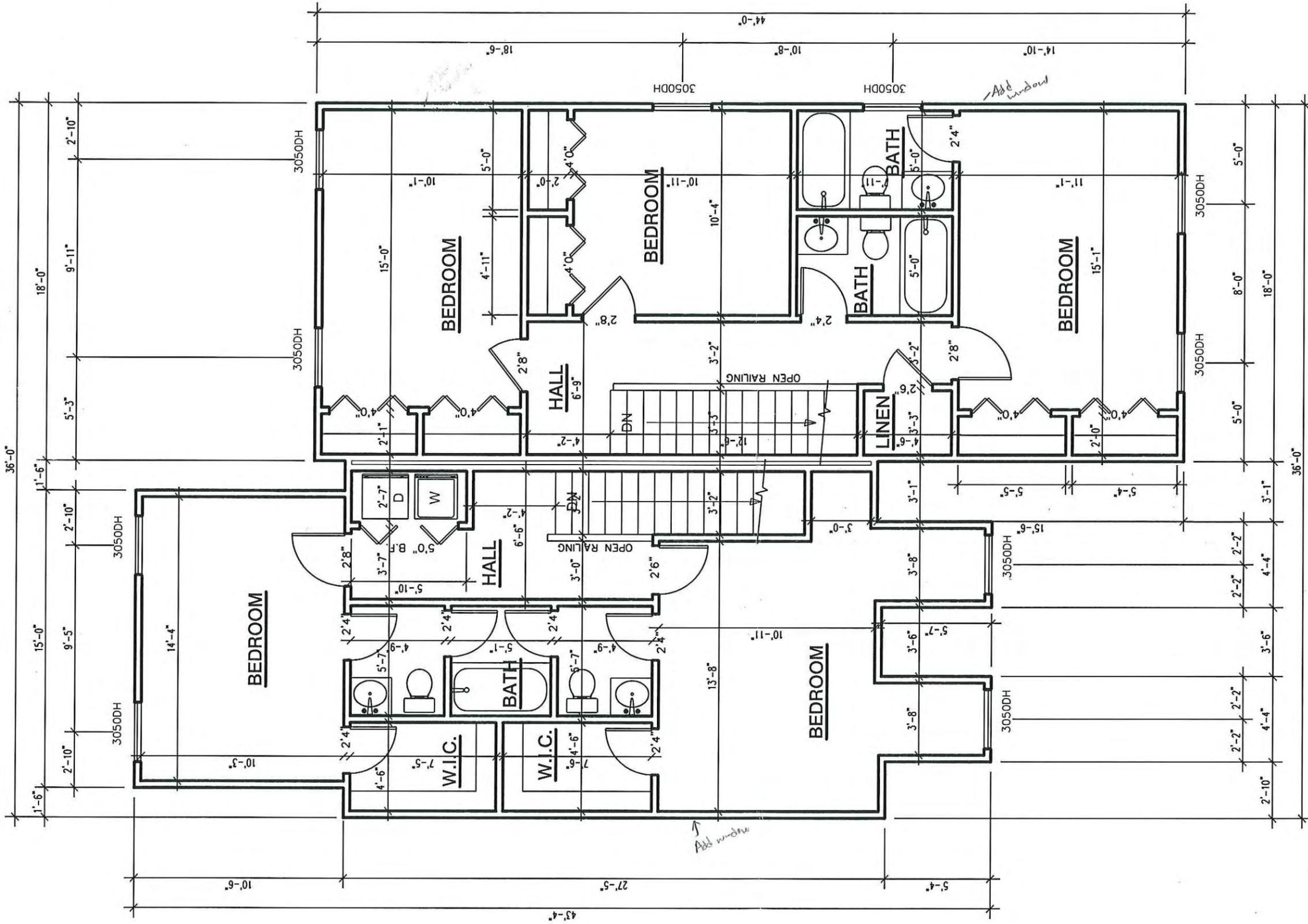
**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

Property Location:  
 1818 5th Avenue North  
 Nashville, Tennessee 37208

DRAWN KAJ
CHECKED TDC
DATE 2-3-14
SCALE 1/4" = 1'-0"
JOB NO.
SHEET <b>2</b>





**SECOND FLOOR PLAN** 9'-0" SECOND FLOOR CEILING HEIGHT  
 SCALE: 3/16" = 1'-0"

Property Location:  
 1818 5th Avenue North  
 Nashville, Tennessee 37208

DRAWN KAJ
CHECKED TDC
DATE 1-6-14
SCALE 3/16" = 1'-0"
JOB NO.
SHEET <b>4</b>