

KARL F. DEAN
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 112 Second Avenue North April 16, 2014

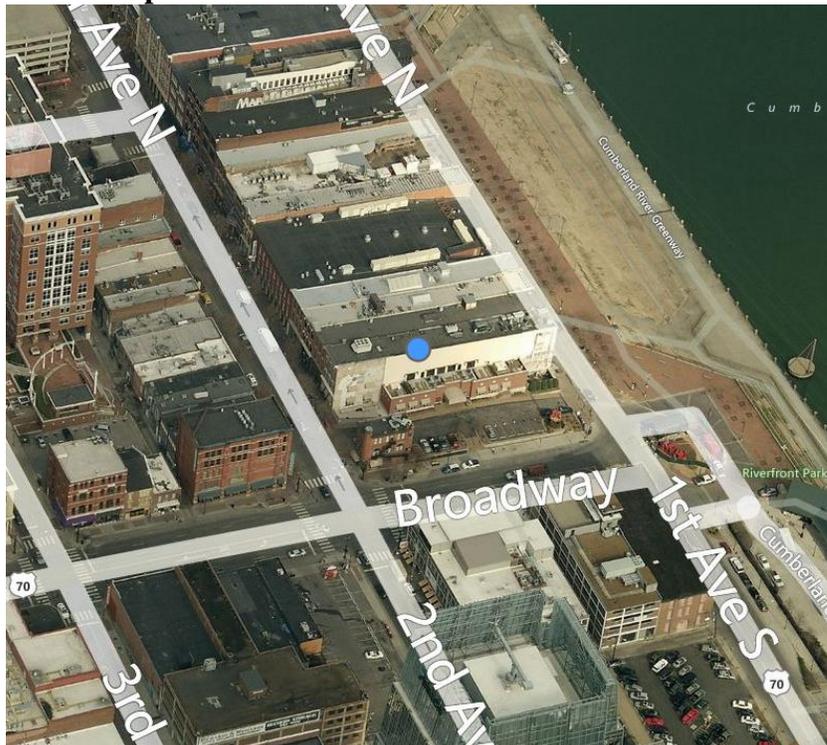
Application: New construction-addition
District: Second Avenue Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306208400
Applicant: David Plummer, Centric Architecture, Inc.
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The applicant proposes to add a one and one-half story addition to the roof.</p> <p>Recommendation Summary: Staff recommends disapproval based on the fact that the project does not meet the massing, height and setback requirements of the design guidelines, specifically section H for additions, and could jeopardize the property's National Register listing.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

NEW CONSTRUCTION

D: Guidelines: Roof Shape

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

E: Guidelines: Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 80% of the street level façade of a new building shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian. This guideline is most important on Second Avenue where most of the buildings have commercial ground floor storefronts. First Avenue and side facades may have less glazing.
3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

F: Guidelines: Relationship of Materials, Texture, Details, and Material Color

1. The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.
2. Masonry materials were primarily used in the historic district, and should continue to be predominant. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems (EIFS) and vinyl are not appropriate exterior materials.
3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

H: Guidelines: Additions to Existing Buildings

1. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.
2. Additions should not be made to the public facades of existing buildings.
3. Additions should not contribute to the loss of, or obscure, historic character-defining features or materials.
4. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.

5. Rooftop additions should not exceed one story in height (or 15') and should be set back a minimum of 30 feet from the Second Avenue façade of the building, 10 feet from First Avenue, and 20' from a secondary street if it is a corner building

Rooftop railings should set back from each street facing wall by 8'.

Railings should not be used to support additional elements such as speakers, lighting, plants or signage.

In locations where railings are visible from the street, the materials should minimize the impact of the railing. Materials such as butt-joint glass or horizontal steel cable, may be appropriate.

Background: 112 Second Avenue North is a contributing building to the Second Avenue Historic Preservation National Register of Historic Places district and the Historic Preservation Zoning Overlay.

Analysis and Findings:

Massing, Scale, Setbacks: The front of the addition sits back twelve feet and ten and one-half inches (12' 10 ½") rather than the thirty-feet (30') required in section H.5 of the design guidelines. The First Avenue side of the addition, not including the glass railing, sits back approximately sixteen feet (16'), which meets the minimum of ten feet (10') required by the design guidelines. Railings on rooftops typically sit back a minimum of eight feet (8'). In this case, the First Avenue railing meets the requirement and the Second Avenue railing does not; however, the Second Avenue railing is no taller than the parapet wall.

A portion of the addition is proposed to be two-stories rather than the one-story maximum allowed by design guideline section H.4. The one-story maximum is further defined as fifteen feet (15'). In this case, the two-story portion is approximately twenty-eight feet (28') tall. Sections H.1 and 4 both state that additions to historic buildings should be kept to a "minimum." The purpose of the one-story maximum and the setback requirements is to assure that additions are minimal and therefore do not jeopardize the building's or the district's National Register listing. Staff finds that the project does not meet section H.4 of the design guidelines.

Proportion and Rhythm of Openings: The front façade of the addition is primarily glazing, meeting section E.1 and 4.

Relationship of Materials, Texture, Details, and Material Color: The cladding will be metal panels. No other materials were indicated.

Roof form: The primary roof form of the addition is flat, similar to most other buildings in the district.

Staff recommends disapproval based on the fact that the project does not meet the massing, height and setback requirements of the design guidelines, specifically section H for additions, and could jeopardize the property's National Register listing.

REVISIONS

No.	Description	Date
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MH2C SUBMISSION

NOT FOR
CONSTRUCTION

SITE

A1.0



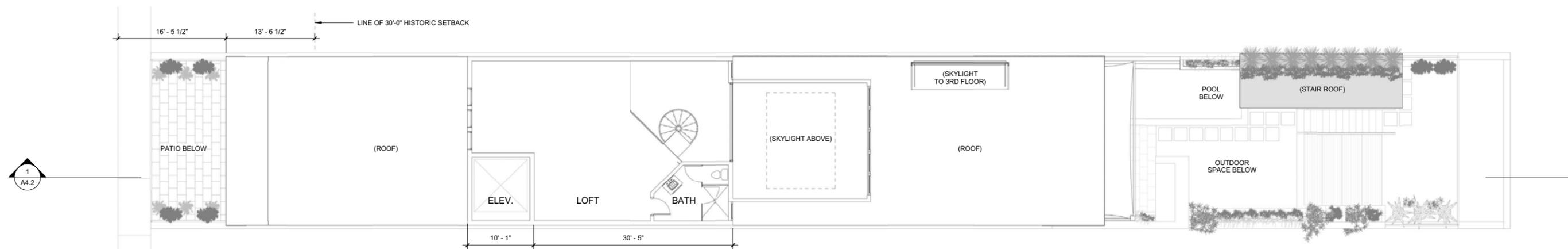
VIEW A



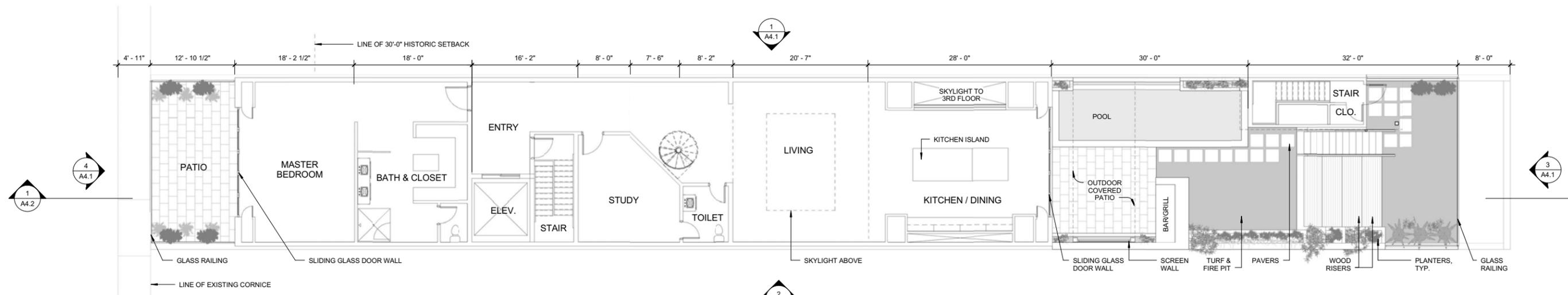
VIEW B



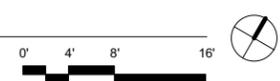
VIEW C



2 LOFT LEVEL



1 ROOFTOP LEVEL



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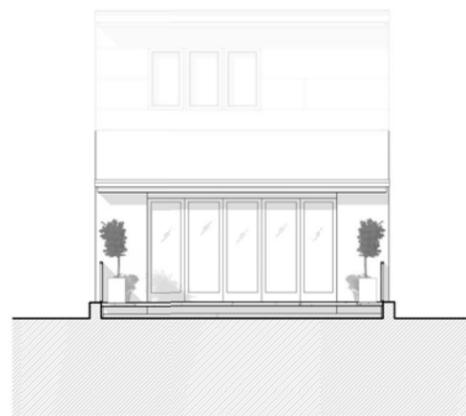
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PLANS

A1.1



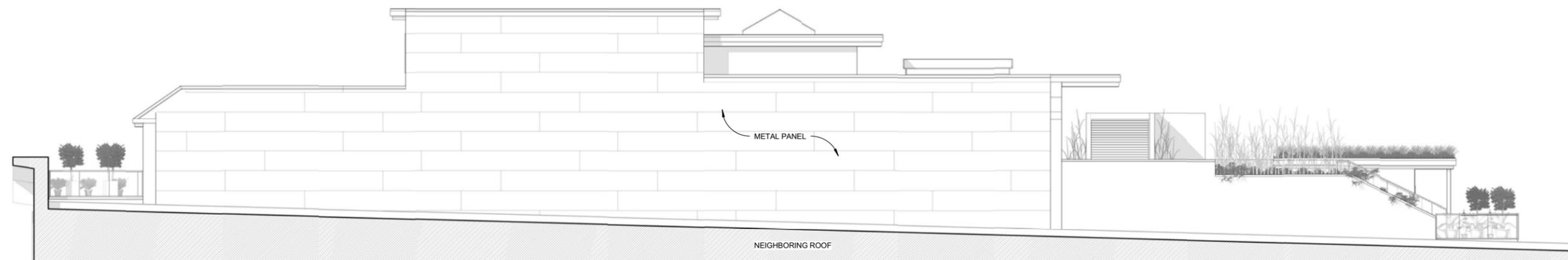
4 2ND ST N ELEVATION

0' 4' 8' 16'



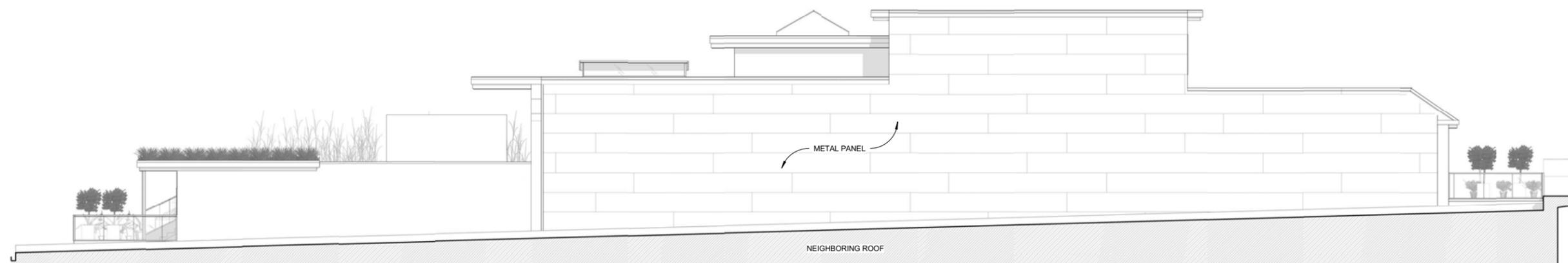
3 1ST ST N ELEVATION

0' 4' 8' 16'



2 SIDE ELEVATION AT WATKINS BLOCK PEDIMENT

0' 4' 8' 16'



1 SIDE ELEVATION AT NEIGHBORING ROOF

0' 4' 8' 16'

DANIEL RESIDENCE
N. 2ND STREET | NASHVILLE | TN | 37201

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ELEVATIONS

A4.1

REVISIONS

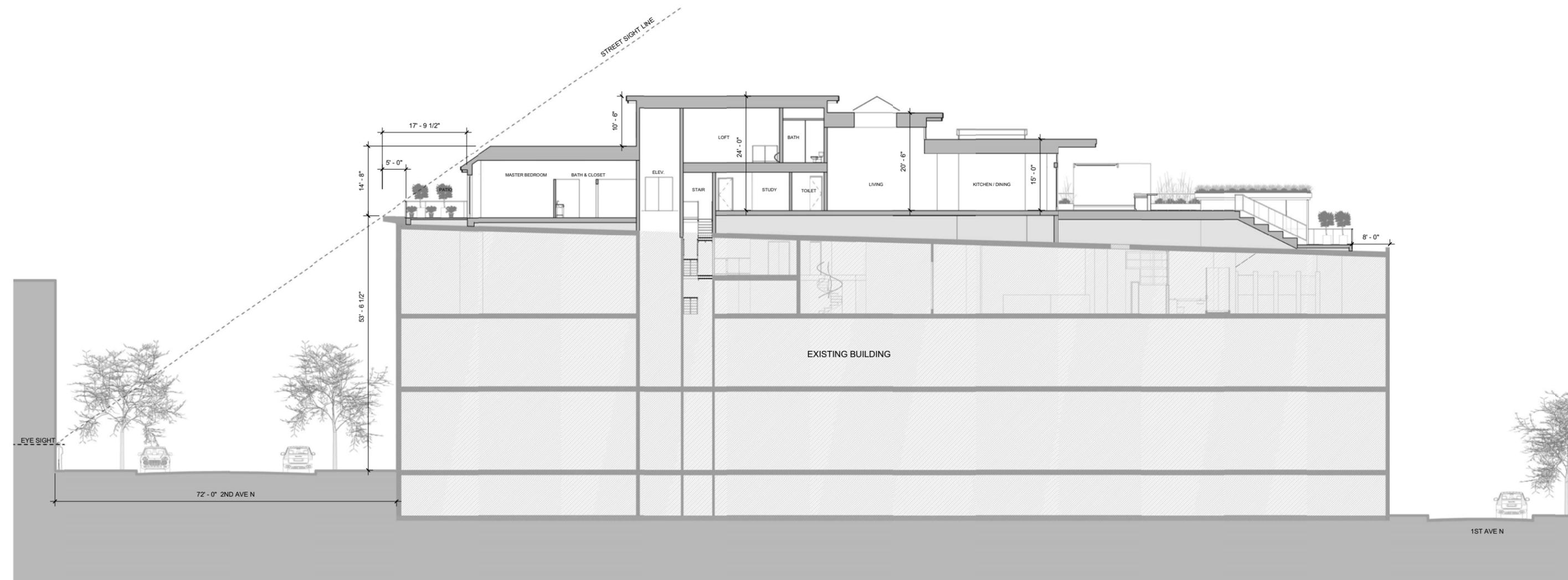
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CONSTRUCTION**

BUILDING SECTION

A4.2



1 OVERALL SECTION



