



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**

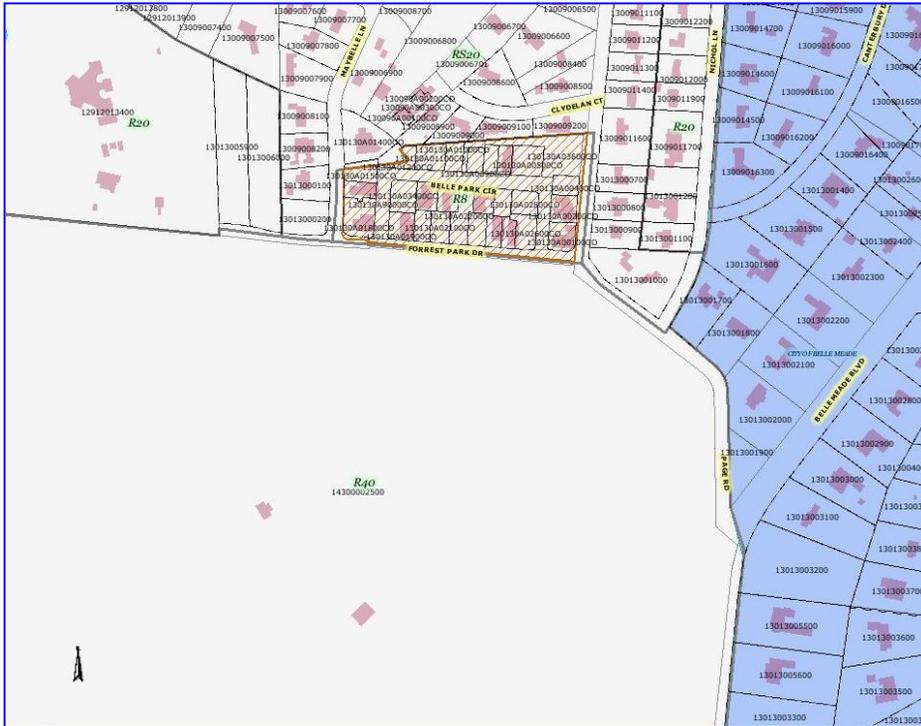
**Warner Parks Historic Landmark, Hwy 100, (1221 Forrest Park Drive)**

**April 16, 2014**

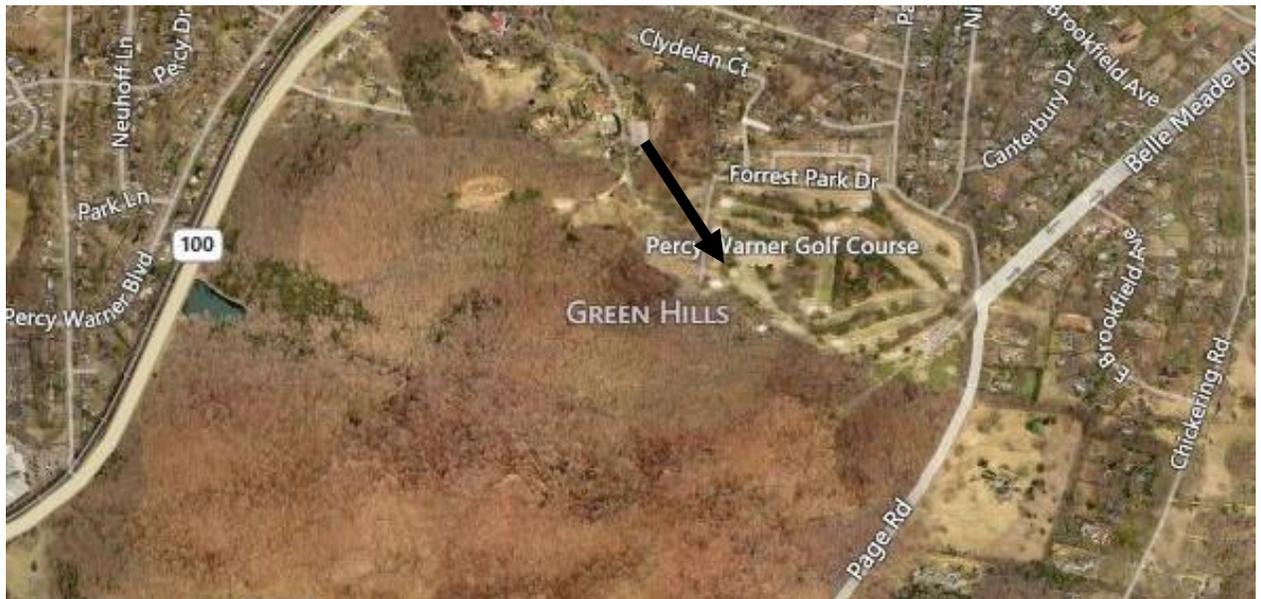
**Application:** New construction-infill  
**District:** Historic Landmark Zoning Overlay  
**Council District:** 24  
**Map and Parcel Number:** 14300002500  
**Applicant:** Matthew Cramer/ Lose & Associates, Inc.  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> The applicant proposes to construct a new clubhouse at the Percy Warner Golf Club, a non-contributing area of the Warner Parks Historic Landmark.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>D:</b> Elevations</p>
<p><b>Recommendation Summary:</b> Staff recommends approval of the new Percy Warner Golf Clubhouse as the project meets all guidelines new construction at a Landmark site.</p>	

**Vicinity Map:**



**Aerial Map:**



**Background:** The golf course is listed in the National Register nomination as a non-contributing area of Percy Warner Park. Staff approved demolition of the non-contributing, 1960s era, clubhouse and a new parking lot in 2013.



## Applicable Design Guidelines:

### II. Building Site

Some Historic Landmark Districts consist only of the historic building and the land immediately underneath it. Other landmark districts consist of a building *and* the landscape surrounding the landmark. Often this landscape or *site* is an integral part of the landmark's importance and construction on or alteration of the site may have an impact on the landmark building itself. The following guidelines are intended for use when construction is proposed on a landmark site:

1. Features of the site that are important in defining the overall character of the landmark should be identified, retained, and preserved. Removal or radical change of site features which are important in defining the overall historic character of the landmark should be avoided.
2. Removal or relocation of buildings or landscape features which are historically related to the landmark shall be avoided.
3. Repair of deteriorated landscape or site features rather than replacement is encouraged where possible. Addition of conjectural landscape features which would create a false sense of historic development should not occur.
4. Construction of new buildings adjacent to the landmark building shall not detract from or diminish the value of the landmark itself. Standards 9 & 10 from the above guidelines address new construction and shall be applied when new buildings are proposed in a landmark district.
5. New or added exterior site features shall be placed so as not to detract from or diminish the value of the landmark itself.

*Signage and lighting should be appropriately scaled and styled to complement the historic landmark. Signage should be placed so as not to obscure architectural details.*

6. Site work including construction of parking and utility work shall be undertaken carefully so as not to disturb architectural or archaeological features of the landmark site.

*New parking should be placed to the rear of the landmark building to minimize adverse visual impact. Parking surface should be selected to minimize harm to the landscape surrounding the landmark. Excavation work should be carefully undertaken and care shall be used to properly record any archaeological materials encountered.*

## Analysis and Findings:

### II. Building Site

The golf course is a non-contributing area to the Percy Warner National Register nomination. The construction will not require the demolition of any historic features nor significantly impact the view shed from any historic locations. The project meets sections II.1-3.



Previous clubhouse.

Section II.3 also requires that new construction not create a false sense of historic development. The planned building is of a contemporary design, and does not attempt to mimic the look of a historic building but does include modern interpretations of the rusticated design of many of the WPA-era picnic shelters found throughout the park. The building will appear to be one-story from its main entrance, utilizing an exposed basement level at the rear for service areas. It will be a side-gabled building with a central gabled covered stair and exposed rafter tails. There is a front porch with square posts on stone pedestals and with an open metal railing.



Example of picnic shelter in Percy Warner Park.

The foundation is painted cast concrete, the roof is asphalt-shingles, and the siding is cedar lap siding. Half the roof covers conditioned space and the other half covers an open area. Contemporary elements include materials and large windows, keeping the building from creating a false sense of history, while at the same time design features such as heavy timber construction and the porch design allow the building to fit in well with earlier Percy Warner Park development.

Guideline 4 requires that a new building not detract from the landmark. In this case, the building is planned to be on the opposite side of the golf course from the historic areas of Warner Park. It will likely not be visible from the historic areas of the park, except at a great distance and during the fall and winter. The project meets section II.4 and 5

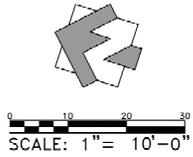
There is no concern about disturbing archaeological or natural features since the clubhouse takes the place of a previous building. Construction is not expected to conflict with design guideline II.6.

Staff recommends approval of the new Percy Warner Golf Clubhouse as the project meets all guidelines for new construction at a Landmark site.

- NOTES:
1. INSTALL JOINTS WHERE SHOWN, ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
  2. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
  3. ALL DIMENSIONS AND COORDINATES ARE TO THE FACE OF CURB, FACE OF WALL OR RADIUS POINTS.
  4. A LICENSED SURVEYOR IS REQUIRED TO LAY OUT THE FOOTINGS FOR PROPOSED BUILDING.
  5. ALL MATERIAL AND CONSTRUCTION SHALL COMPLY WITH METRO SPECIFICATIONS.

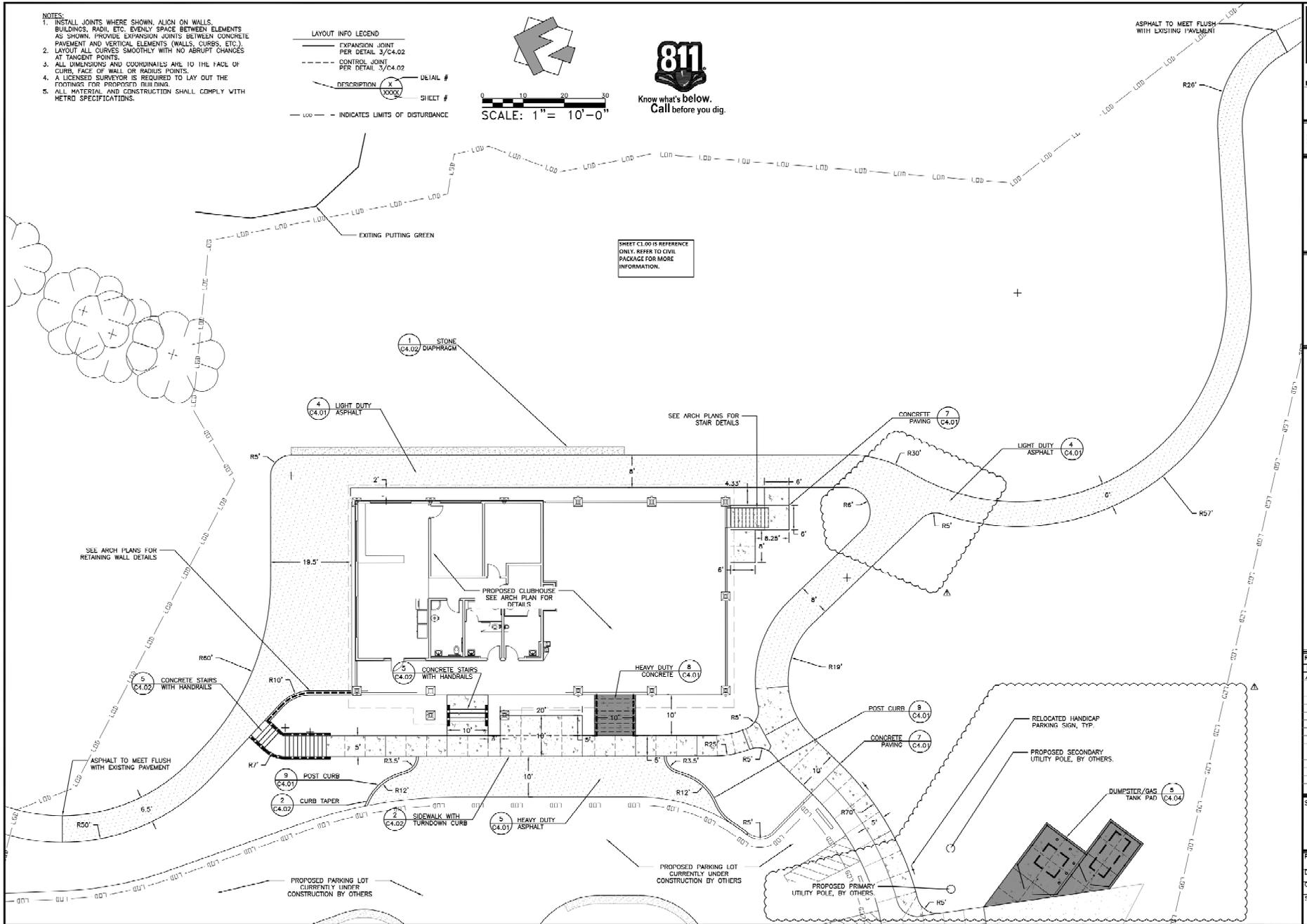
LAYOUT INFO LEGEND

EXPANSION JOINT PER DETAIL 3/C4.02	
CONTROL JOINT PER DETAIL 3/C4.02	
DESCRIPTION	DETAIL #
XXXX	SHEET #
--- L.O.D. --- INDICATES LIMITS OF DISTURBANCE	



**811**  
Know what's below.  
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**PERCY WARNER PARK  
GOLF CLUBHOUSE  
METRO PARKS AND RECREATION  
NASHVILLE, TENNESSEE**

REVISIONS:

NO.	DATE	BY	COMMENTS
1	2-12-14	MS	OWNER COMM.

SHEET TITLE  
**SITE LAYOUT PLAN**

PROJECT NUMBER/DATE  
13173 / 2/8/14  
DRAWN BY MS SCALE  
CHECKED BY LD 1"=10'  
SHEET NUMBER  
**C1.00**

