



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1721 5<sup>th</sup> Avenue North**  
**May 21, 2014**

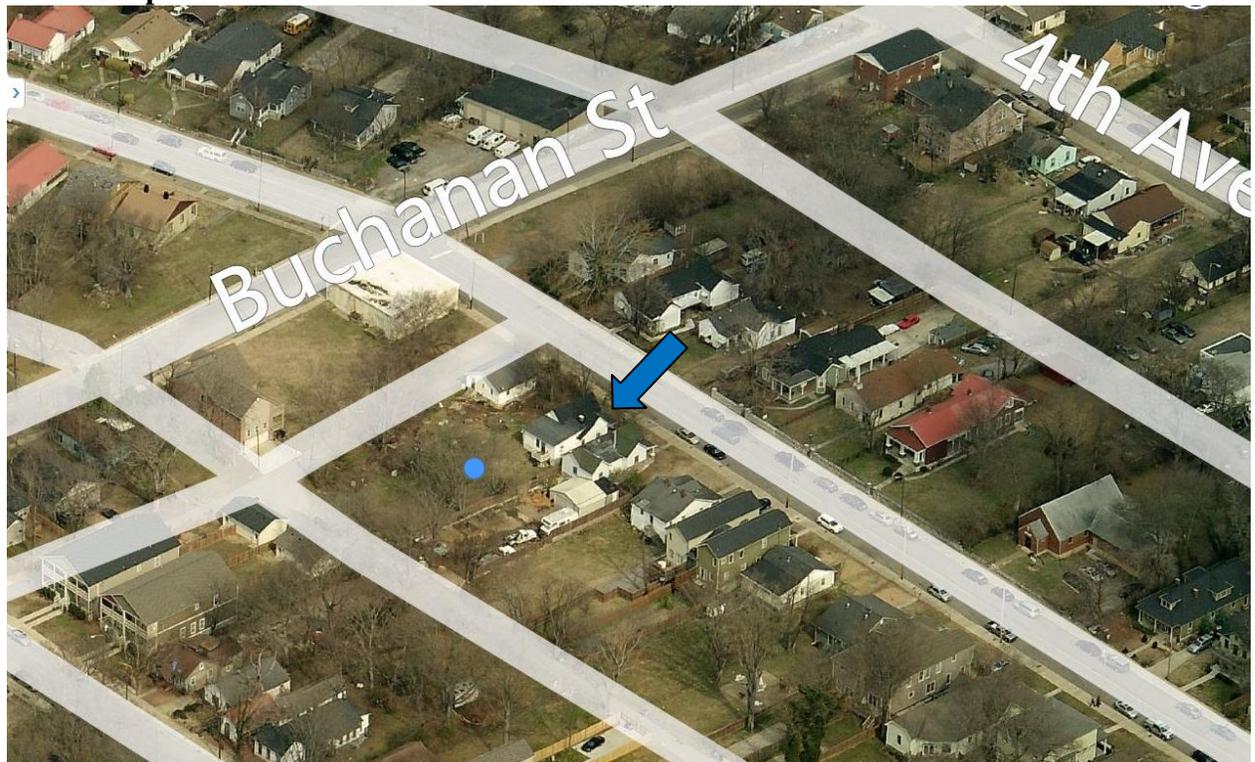
**Application:** Violation  
**District:** Salemtown Neighborhood Conservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08108046200  
**Applicant:** Gail Wales, owner  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

|   |   |
|---|---|
| <p><b>Description of Project:</b> Applicant requests to retain a siding that does not meet the design guidelines and is different than what was permitted.</p> <p><b>Recommendation Summary:</b> Staff recommends disapproval of the lap reveal finding that it does not meet section III.D.b of the <i>Salemtown Neighborhood Conservation Zoning Overlay: Handbook &amp; Design Guidelines</i>.</p> | <p><b>Attachments</b><br/><b>A:</b> Photographs<br/><b>B:</b> Permit for new construction<br/><b>C:</b> Emails from applicant</p> |
|---|---|

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. New Construction

#### D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. The majority of historic buildings are frame with a lap siding with a maximum of a 5" reveal. Only a few historic examples are masonry.
  - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
  - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding . (Few buildings were historically brick and there are no stone examples.)
    - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
    - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
    - Four inch (4") nominal corner boards are required at the face of each exposed corner.
    - Stone or brick foundations should be of a compatible color and texture to historic foundations.
    - When different materials are used, it is most appropriate to have the change happen at floor lines.
    - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
    - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
    - Texture and tooling of mortar on new construction should be similar to historic examples.

**Background:** The home at 1721 5<sup>th</sup> Avenue North was demolished in February 2013, before the designation of the Salemtown Neighborhood Conservation Zoning Overlay. In October 2013, the Commission approved an application for a duplex infill on this site and a second design was approved in November 20, 2013.

Materials. The primary cladding for the structure was permitted by the MHZC to be fiber cement siding with a five inch (5") reveal, meeting section III.D.b of the design guidelines. A siding with a seven inch reveal was installed instead. The applicant now requests to retain the siding. Staff recommends disapproval since the reveal of the siding does not meet design guidelines III.D.b which states that "lap siding should be smooth and not stamped or embossed and have a maximum of a five-inch (5") reveal" and it is different than what was noted on both the text portion and drawings of the permit.

The applicant has submitted several examples of wider siding in the neighborhood. (Please see attached emails.) The examples are not of historic siding.

**Recommendation Summary:** Staff recommends disapproval of the lap reveal finding that it does not meet section III.D.b of the *Salemtown Neighborhood Conservation Zoning Overlay: Handbook & Design Guidelines*.



# METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park  
3000 Granny White Pike  
Nashville TN 37204  
(615) 862-7970

[histlap1@nashville.gov](mailto:histlap1@nashville.gov)

**HISTORICAL COMMISSION PERMIT - 201300391**

*Entered on: 07-NOV-2013*

**IVR PERMIT TRACKING NUMBER: 1948085**

**Site Address**

1721 C 5th Ave N, NASHVILLE, TN 37208

**Parcel:** 081082C90000CO

COMMON AREA 5TH AVENUE TOWNHOMES

**Parcel Owner**

O.I.C. 5TH AVENUE TOWNHOMES

**Purpose:**

DESCRIPTION

- Construct duplex infill

ROOFING

- Roofing material shall be composite asphalt shingles.
- Roofing color must be approved by MHZC staff prior to installation.
- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall be wood or aluminum clad wood windows with single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. For double or triple windows, there shall be a 4" to 6" mullion between.

- Doors shall be full-light wood doors. Door manufacturer and type must be approved by MHZC staff prior to installation.

- 4 inches (nominal) wood casings are required around doors and windows within clapboard walls.

- Wood brick mold is only appropriate around doors and windows within masonry walls.

- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.

- Exterior siding material shall be wood or smooth-faced, cement-fiberboard siding (Ex. Hardiplank) with a maximum reveal of 5 inches.

- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

WALKWAYS, DRIVEWAYS AND PARKING PADS

- Walkway shall be concrete.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.

- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.

- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

**Applicant:** GAIL WALES

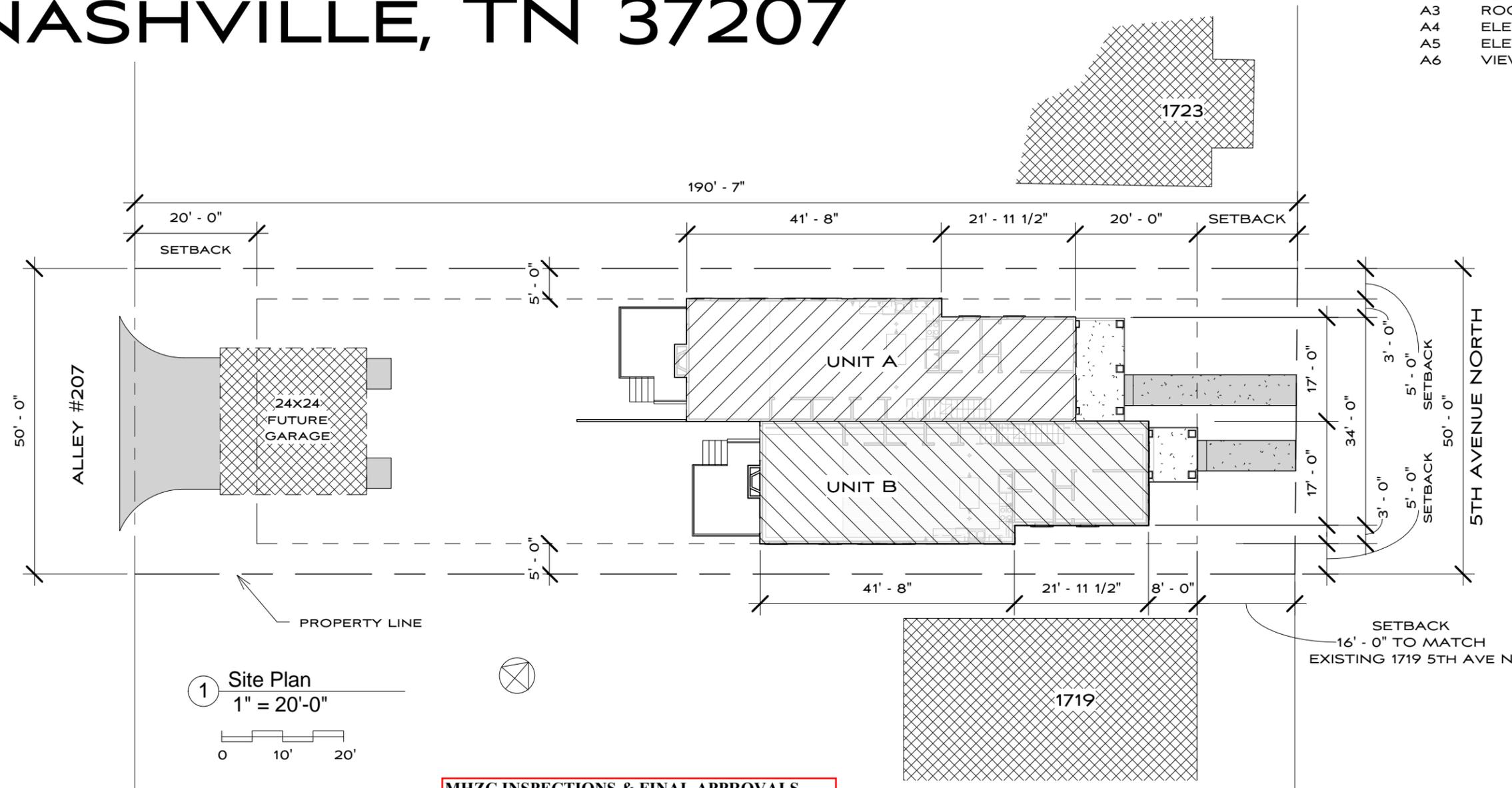
**Activities to be Completed – call (615) 862-7970:**

|  |    |            |
|--|----|------------|
| SETBACK REQUIRED (Y/N):                  | NO | 11/07/2013 |
| FIELD STAKING:                           |    |            |
| FOUNDATION CHECK:                        |    |            |
| ROUGH FRAMING INSPECTION:                |    |            |
| ROOFING COLOR APPROVAL PRIOR TO INSTALL: |    |            |
| WINDOW APPROVAL PRIOR TO INSTALL:        |    |            |
| DOOR APPROVAL PRIOR TO INSTALLATION:     |    |            |
| BRICK APPROVAL PRIOR TO INSTALLATION:    |    |            |
| CERTIFICATE OF OCCUPANCY:                |    |            |

Issue Date: November 21, 2013 Issued By: MELISSA BALDOCK

# 1721 5TH AVENUE NORTH NASHVILLE, TN 37207

|    |                           |
|----|---------------------------|
| A0 | SITE PLAN                 |
| A1 | FLOOR PLAN - MAIN LEVEL   |
| A2 | FLOOR PLAN - 2ND FLOOR    |
| A3 | ROOF PLAN                 |
| A4 | ELEVATIONS - NORTH & EAST |
| A5 | ELEVATIONS - SOUTH & WEST |
| A6 | VIEW                      |



1 Site Plan  
1" = 20'-0"

CONTACT/OWNER :  
GAIL WALES  
200 CARDEN AVE.  
NASHVILLE, TN 37205  
(615) 500-7325  
GAILWALES@ICLOUD.COM

### MHZC INSPECTIONS & FINAL APPROVALS CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the three following points:
  - a. After the building footprint has been field staked
  - b. After the foundation wall has been construction
  - c. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
  - a. Windows and doors
  - b. Roof color
  - c. Masonry
  - d. Utility location

|              |           |
|--------------|-----------|
| UNIT A -     | 2120 S.F. |
| MAIN LEVEL   | 1225 S.F. |
| SECOND FLOOR | 895 S.F.  |
| UNIT B -     | 2120 S.F. |
| MAIN LEVEL   | 1225 S.F. |
| SECOND FLOOR | 895 S.F.  |

11-18-13 - REV. SE  
METRO HISTOR

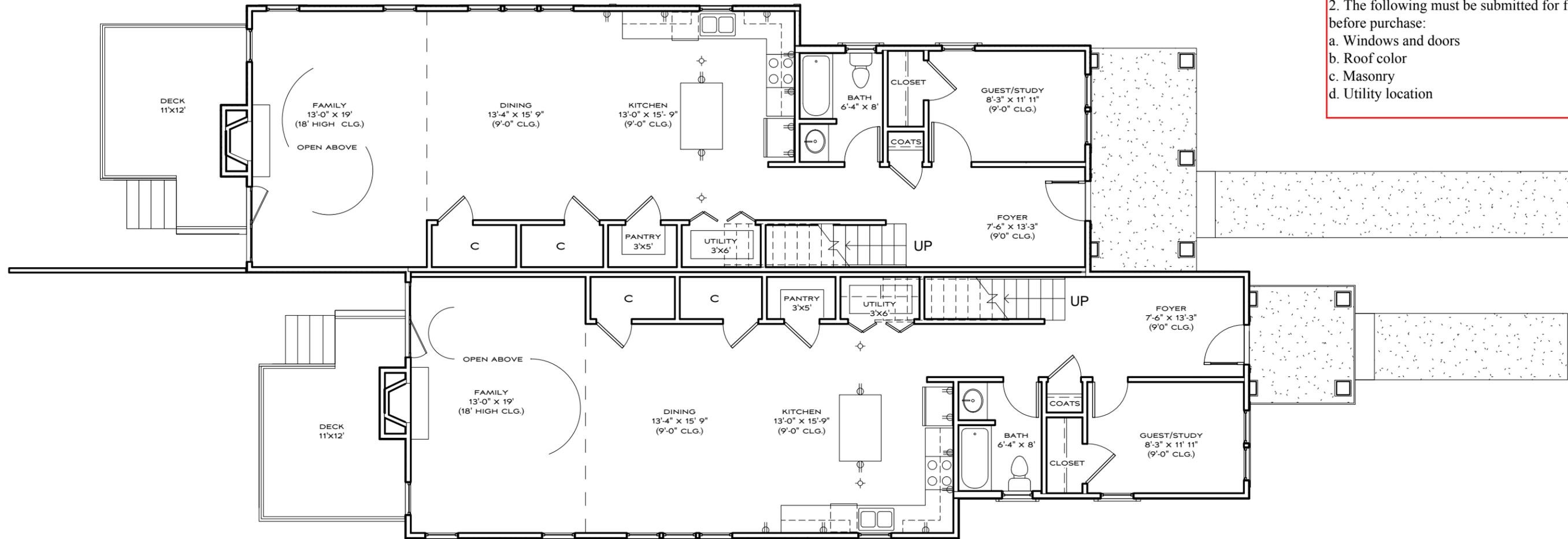
1721 5TH  
NASHVILLE  
SITE PLAN  
HISTORIC  
11-18-13

### MHZC NOTES; CALL 862-7970 IF QUESTIONS

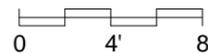
1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
7. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
8. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**MHZC INSPECTIONS & FINAL APPROVALS  
CALL 862-7970 FOR QUESTIONS AND TO  
SCHEDULE INSPECTIONS**

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  - a. Windows and doors
  - b. Roof color
  - c. Masonry
  - d. Utility location



② Main Floor Plan  
1/8" = 1'-0"



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8. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**1721 5TH AVE N. HOMES  
NASHVILLE, TN 37207**

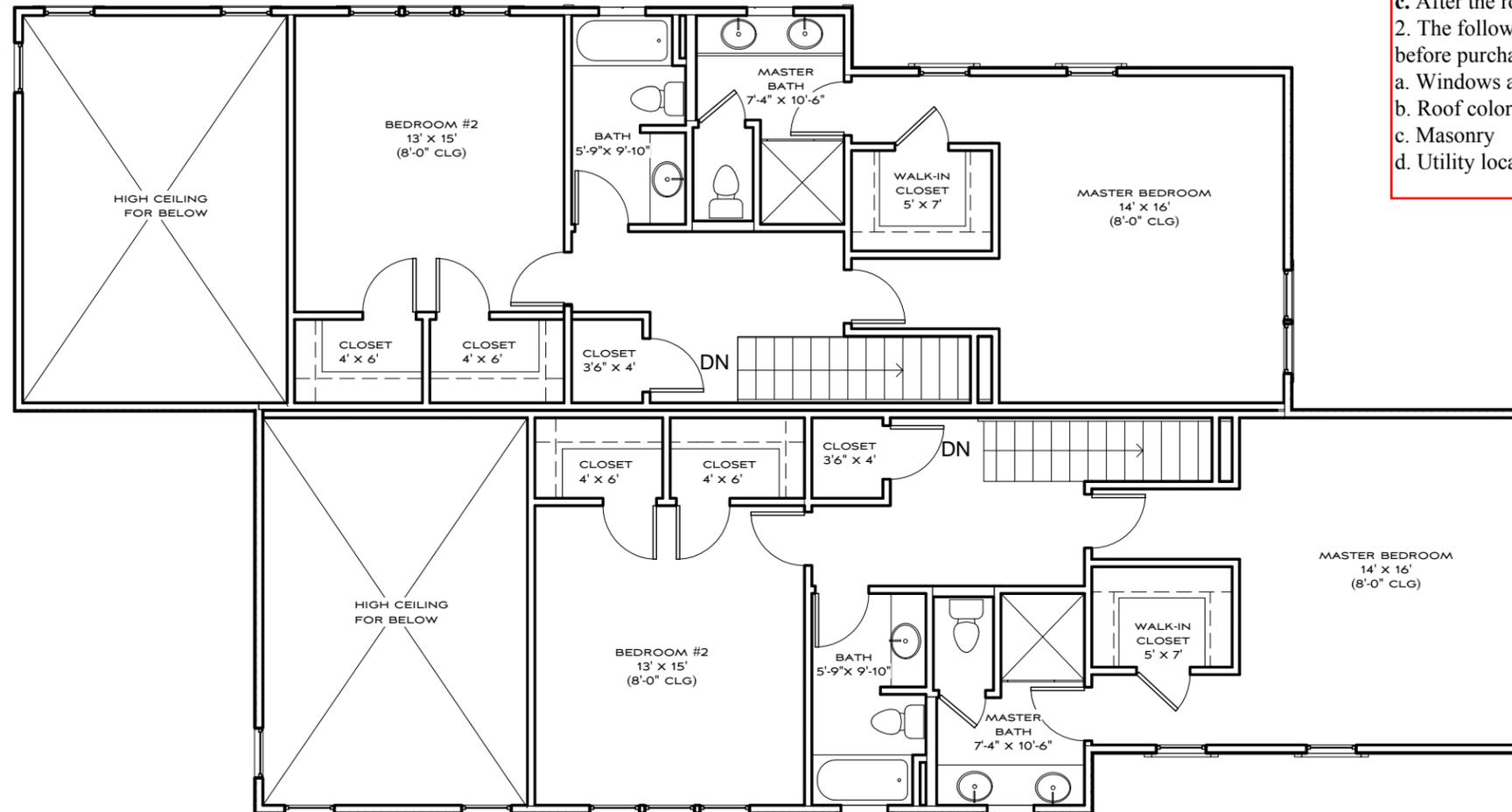
FLOOR PLAN - MAIN  
LEVEL  
HISTORIC SUBMITTAL  
11-18-13

**A1**

1341

**MHZC INSPECTIONS & FINAL APPROVALS  
CALL 862-7970 FOR QUESTIONS AND TO  
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  - b. Roof color
  - c. Masonry
  - d. Utility location



① Second Floor Plan  
1/8" = 1'-0"

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721 5TH AVE N. HOMES  
NASHVILLE, TN 37207

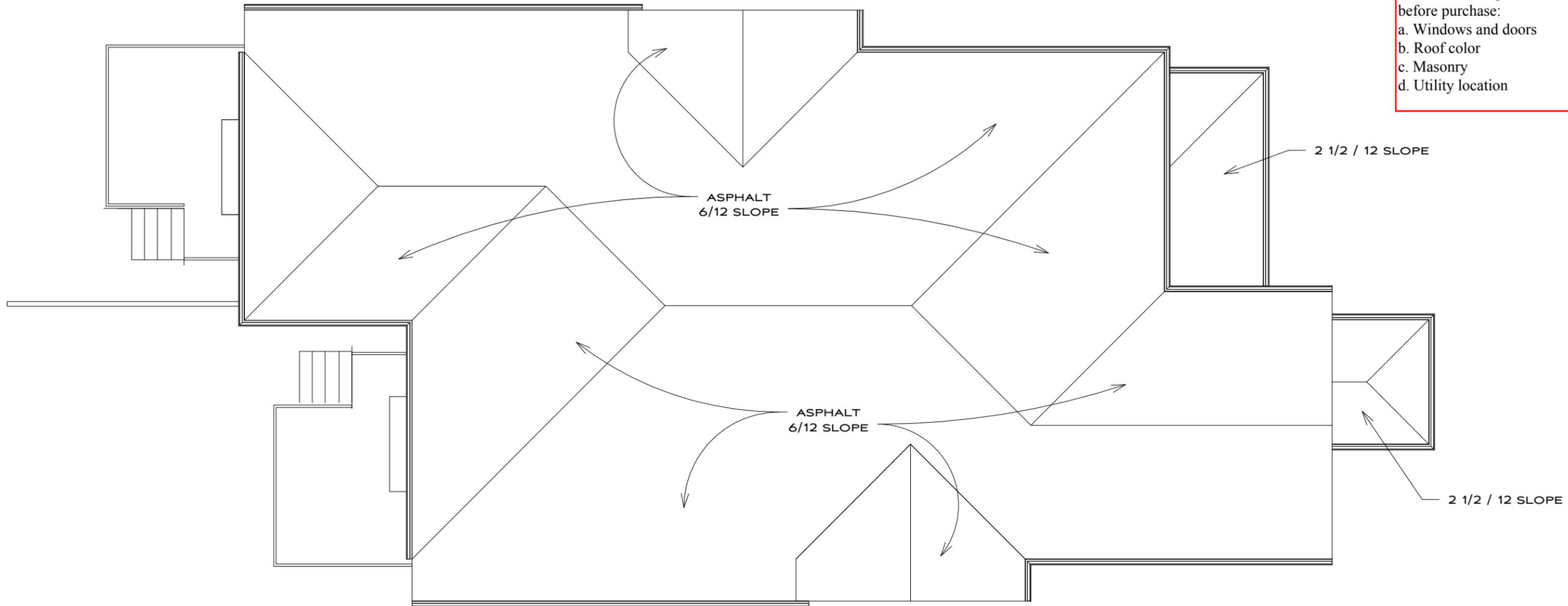
FLOOR PLAN -  
UPPER LEVEL  
HISTORIC SUBMITTAL  
1-18-13

**A2**

1341

**MHZC INSPECTIONS & FINAL APPROVALS**  
**CALL 862-7970 FOR QUESTIONS AND TO**  
**SCHEDULE INSPECTIONS**

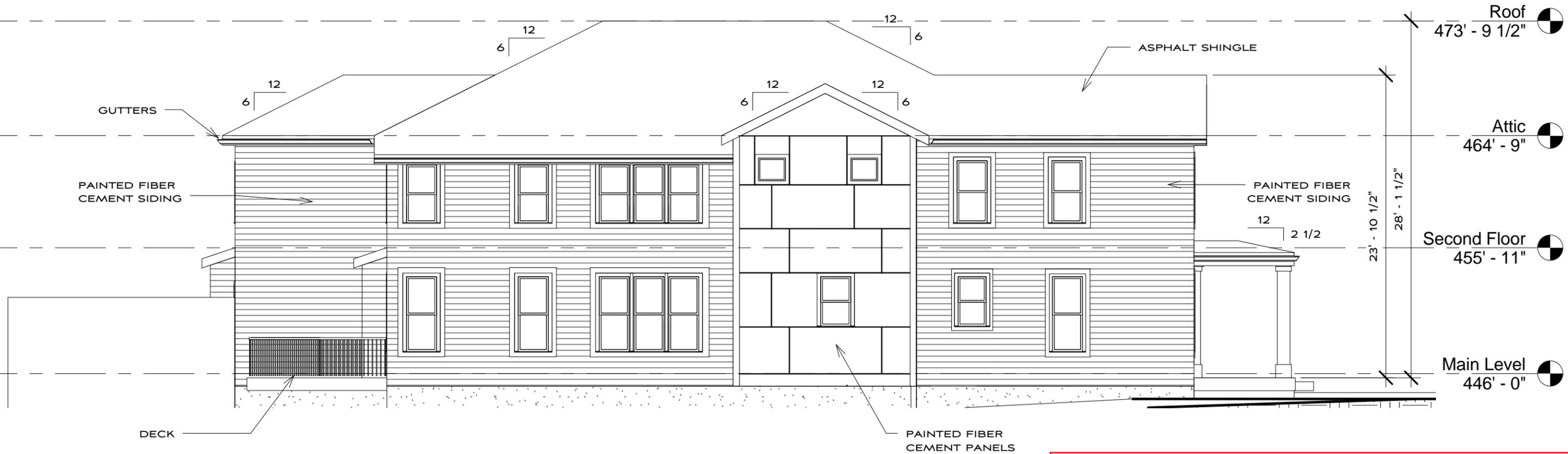
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  - Windows and doors
  - Roof color
  - Masonry
  - Utility location



1 Roof Plan  
 1/8" = 1'-0"

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|  |           |
|--|-----------|
| 1721 5TH AVE N. HOMES<br>NASHVILLE, TN 37207 |           |
| ROOF PLAN                                    | <b>A3</b> |
| HISTORIC SUBMITTAL                           |           |
| 11-18-13                                     | 1341      |



① East  
1/8" = 1'-0"

**MHZC INSPECTIONS & FINAL APPROVALS**  
**CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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- After the building footprint has been field staked
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- After the rough framing has been completed

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- Windows and doors
- Roof color
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- Utility location



② North  
1/8" = 1'-0"

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1721 5TH AVE N. HOMES  
 NASHVILLE, TN 37207

ELEVATIONS  
 HISTORIC SUBMITTAL  
 11-18-13

**A4**  
 1341



① West  
1/8" = 1'-0"



② South  
1/8" = 1'-0"

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CALL 862-7970 FOR QUESTIONS AND TO  
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  - b. Roof color
  - c. Masonry
  - d. Utility location

1721 5TH AVE N. HOMES  
NASHVILLE, TN 37207

ELEVATIONS

HISTORIC SUBMITTAL

11-18-13

1341

**A5**



① View From Side - East

**MHZC NOTES; CALL 862-7970 IF QUESTIONS**

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  - c. Masonry
  - d. Utility location



② View From Side - West

1721 5TH AVE N. HOMES  
NASHVILLE, TN 37207

VIEW  
HISTORIC SUBMITTAL  
11-18-13

**A6**

1341

## Zeigler, Robin (Historical Commission)

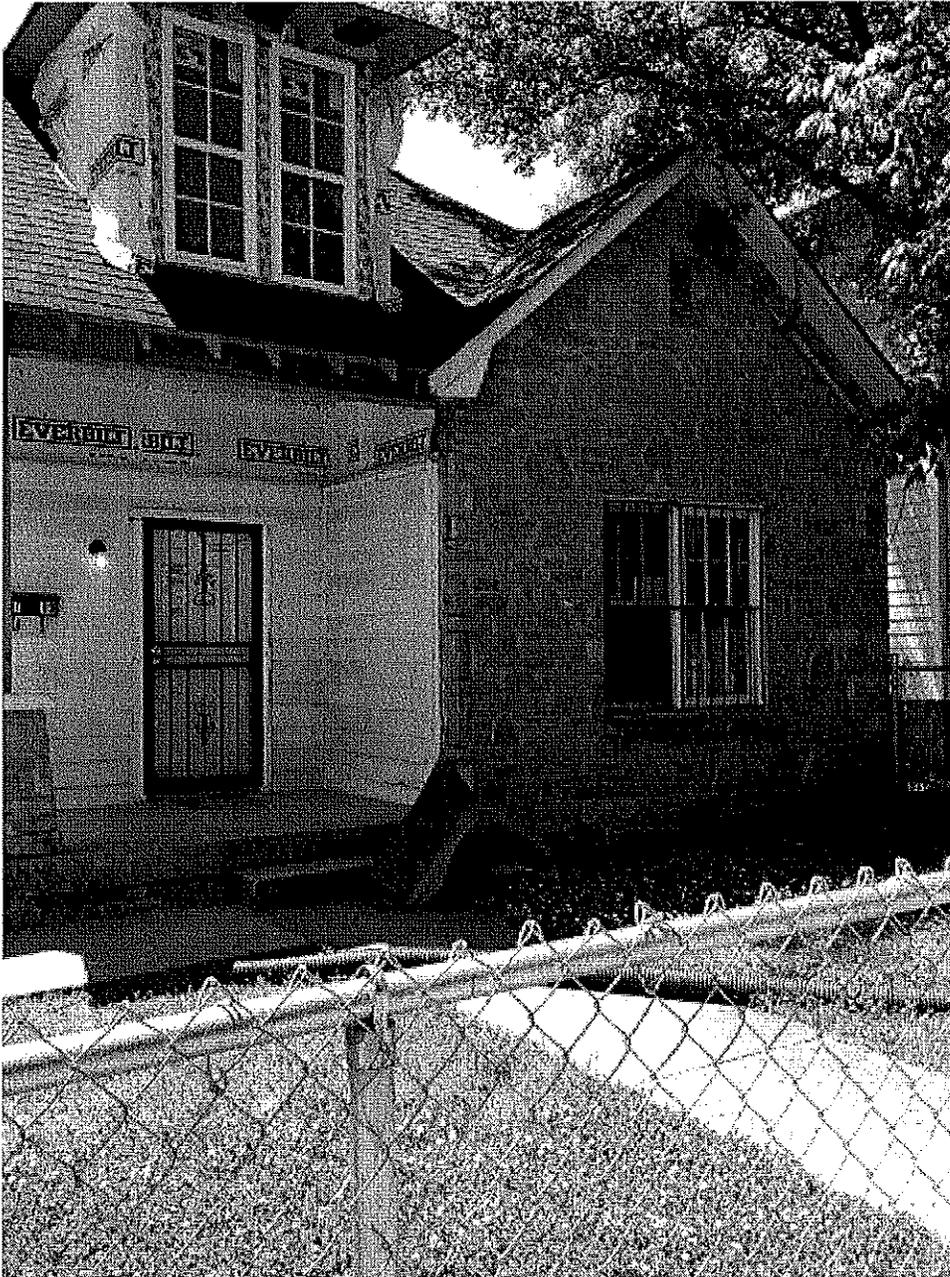
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**From:** Gail Wales <2ndbean@gmail.com>  
**Sent:** Tuesday, May 06, 2014 3:52 PM  
**To:** Zeigler, Robin (Historical Commission)  
**Subject:** 5th Ave. examples









Sent from my iPad

## **Zeigler, Robin (Historical Commission)**

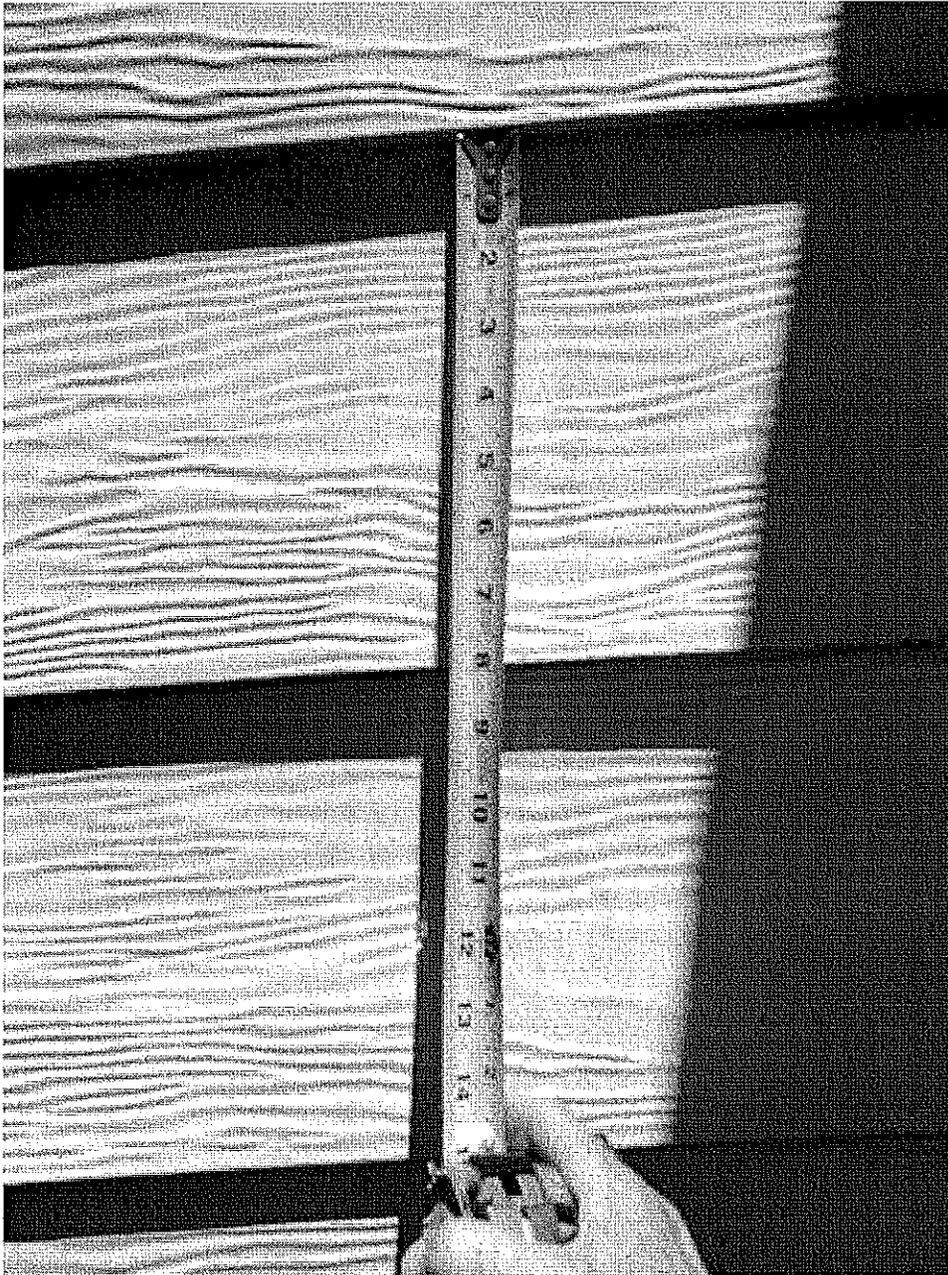
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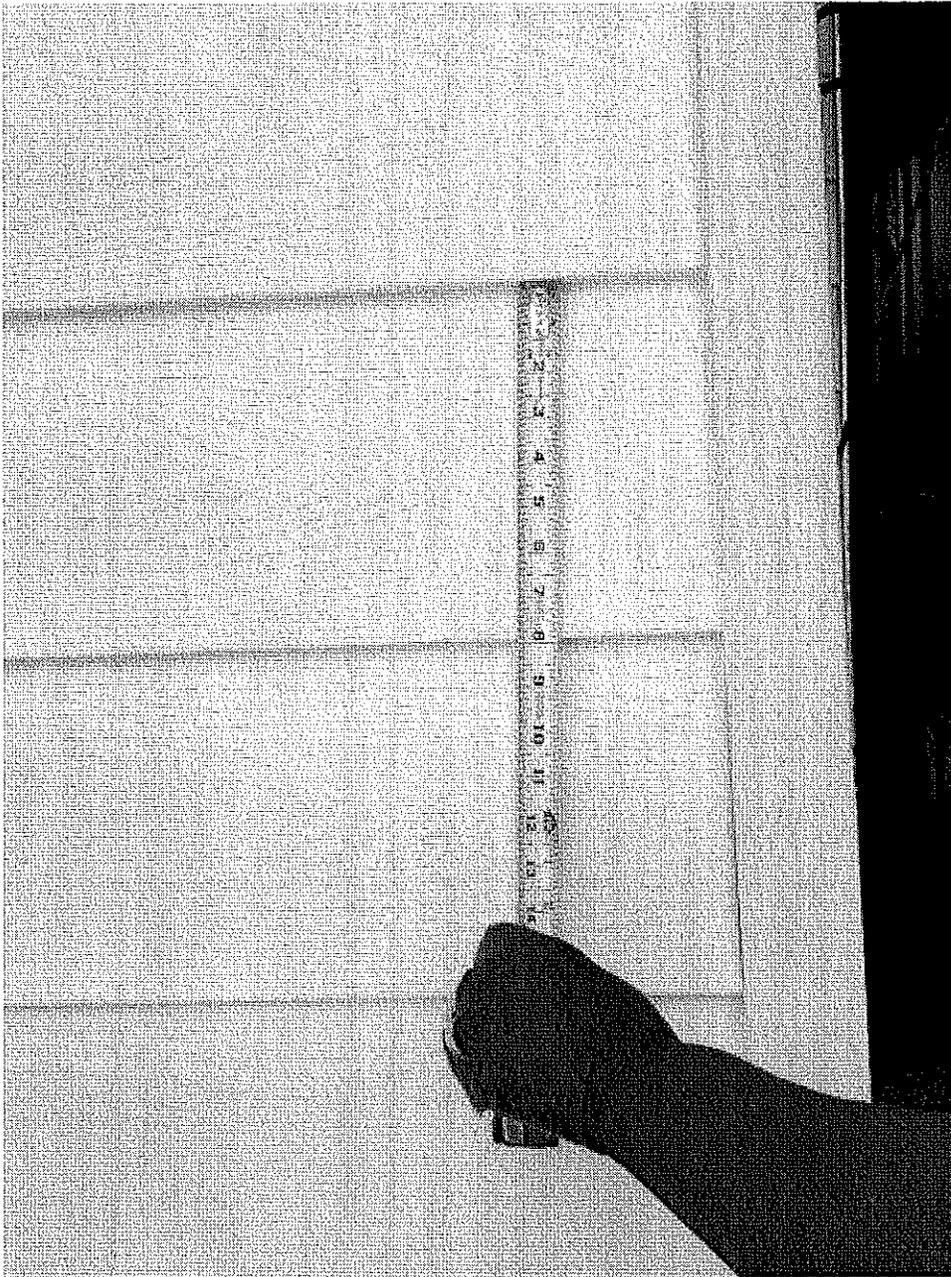
**From:** Gail Wales <2ndbean@gmail.com>  
**Sent:** Tuesday, May 06, 2014 3:50 PM  
**To:** Zeigler, Robin (Historical Commission)  
**Subject:** Fwd: more examples of historic houses using 7" siding

Sent from my iPad

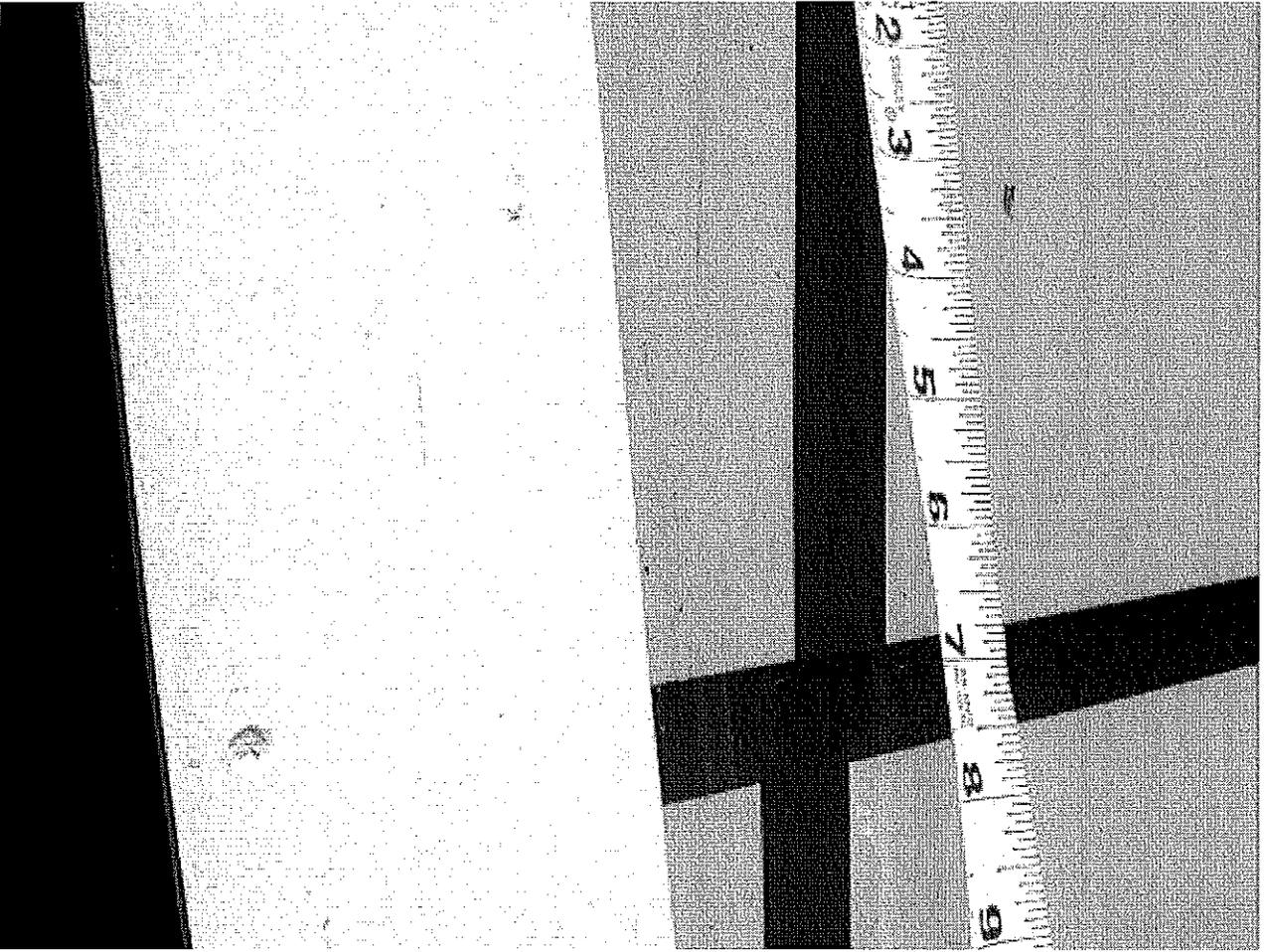
Begin forwarded message:

**From:** Gail Wales <[gailwales@icloud.com](mailto:gailwales@icloud.com)>  
**Date:** May 6, 2014 at 3:34:17 PM CDT  
**To:** [2ndbean@gmail.com](mailto:2ndbean@gmail.com)  
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