



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**815 Fatherland Street**  
**May 21, 2014**

**Application:** New construction-infill  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08216019200  
**Applicant:** William Smallman  
**Project Lead:** Paul Hoffman, paul.hoffman@nashville.gov

<p><b>Description of Project:</b> The applicant proposes construction of a single-family residence. The proposal is for a two-and-a-half story, four-square style building on the site of a non-contributing house.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the application, with the conditions:</p> <ul style="list-style-type: none"> <li>• Staff have final approval of windows, doors, roofing color, fences, and materials for the porch and driveway;</li> <li>• A revised site plan be submitted to indicate the walkway, driveway, fences, and other appurtenances; and,</li> <li>• HVAC be located on the rear façade or on a side façade beyond the midpoint of the house.</li> </ul> <p>With these conditions, Staff finds the proposed infill to be compatible with the context and meets sections III.B.2, IV.B.2 and V.B of the Edgefield Historic Preservation Zoning Overlay Design Guidelines.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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## Applicable Design Guidelines:

### III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- a. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

*Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*

**Background:** The house currently at 815 Fatherland Street is a brick building circa 1950 that was approved for demolition by Staff in May of 2014. Due to its age of construction, and form that is out of character for the district, the building is not a contributing building to the Edgefield Historic Preservation Zoning Overlay.



Figure 1. Existing non-contributing home at 815 Fatherland Street.

## **Analysis and Findings:**

The applicant proposes new construction of a two-and-a-half story residence on the site.

**Setback & Rhythm of Spacing:** The front setback of the new house will be approximately twenty-six feet (26'). This is midway between the front setback of the contributing home to either side. It will be centered on the lot with eleven feet (11') setback on each side. The building will be approximately eighty feet (80') from the rear property line. The location of the proposed building reinforces the existing rhythm along Fatherland Street. The setbacks meet base zoning requirements and meet section III.B.2.a of the design guidelines.

**Height & Scale:** The proposed building is two and a half stories with a maximum ridge height of thirty-one feet and six inches (31'6"). Building heights range from sixteen feet (16') to forty-three feet (43'). It will be thirty-four feet (34') wide. Homes on this block of Fatherland range in width from thirty feet (30') to forty-six feet (46'). The proposal fits in this range of width and height and is compatible with other historic homes on Fatherland Street. It will be taller than the houses next door, which are approximately eighteen feet (18') and twenty-one feet (21') high, but tall homes next to shorter ones is commonly seen in the Edgefield Historic Zoning Overlay.



Figure 2. Taller homes next to shorter ones is part of the character of Edgefield, as here, a few doors down in the 800 block of Fatherland.

The foundation height of three feet (3') is appropriate with foundations seen nearby, which range from two to four feet (2'-4'). The eave height is twenty-three feet (23') from grade. The porch height will be approximately fifteen feet (15'). Staff finds the proposed design to be compatible with other historic buildings in the district and meets guidelines III.B.2.b for height and scale.

**Building Shape:** The proposed building is a four-square style home. Two and two-and-a-half-story homes are not uncommon in the Edgefield Historic Zoning Overlay. This shape is compatible with surrounding historic buildings and meets section III.B.2.c.



Figure 3. Front elevation of proposed residence

**Roof Shape:** The house will have a hipped roof with 6/12 pitch. The porch roof is also hipped and has 3/12 pitch; the central porch entrance is gabled and also has 3/12 pitch. A shed roof over the rear porch has 3/12 pitch. These roof forms are similar to those seen in the overlay. The proposed roof form meets section III.B.2.d of the design guidelines.

**Orientation:** The proposed building addresses Fatherland Street with its primary entrance facing the street. A walkway currently connects the existing house to the street; the proposal does not show the walkway remaining; therefore Staff recommends retaining or replacing the walkway. Staff recommends approval of driveways or parking pads. With these conditions, the proposed house matches the orientation of nearby historic houses and meets section III.B.2.e.

**Proportion and Rhythm of Openings:** The windows on the proposed building are all generally twice as tall as they are wide and meet the historic proportions of openings. The small paired windows on the right elevation, toward the front of the house, are appropriate as they mimic the small square windows that are often located to either side of a chimney on historic homes. The small horizontal window on the second story of the rear façade is acceptable in this minimally-visible location. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings meet section III.B.2.f of the design guidelines.

**Materials, Texture, and Details and Material Color:** The new house will be clad in smooth face cement fiberboard with a five inch (5") reveal. The trim will be wood or cement fiber trim boards. The foundation will be split-face concrete block, and the roof will be asphalt shingles. Details were not provided for windows and doors, porch columns, railing, fences, driveways or parking areas, or roof color. Staff requests final approval of these materials. With this condition, Staff finds that the project meets section III.B.2.g.

**Appurtenances & Utilities:** The applicant intends to maintain the existing retaining wall and walkway, and to add a driveway at the rear to the alley. A fence is also part of the project but does not appear on the site plan. A front yard fence can be up to four feet (4') in height. A privacy fence is only appropriate from the midpoint of the house and back;

this fence can be up to six feet (6') in height. The site plan submitted does not indicate these changes to the site's appurtenances. As mentioned in the previous section reviewing Orientation, Staff requests the site plan be revised to show the intended appurtenances. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. With these conditions, the project meets section IV.B.2.

**Recommendation:**

Staff recommends approval of the application, with the conditions:

- Staff have final approval of windows, doors, fences, roofing color, materials for porch and driveway;
- Revised site plan be submitted to indicate the walkway, driveway, fences and any other appurtenances; and,
- HVAC be located on the rear façade or on a side façade beyond the midpoint of the house.

With these conditions, Staff finds the proposed infill to be compatible with the context and meets sections III.B.2, IV.B.2 and V.B of the Edgefield Historic Preservation Zoning Overlay Design Guidelines.

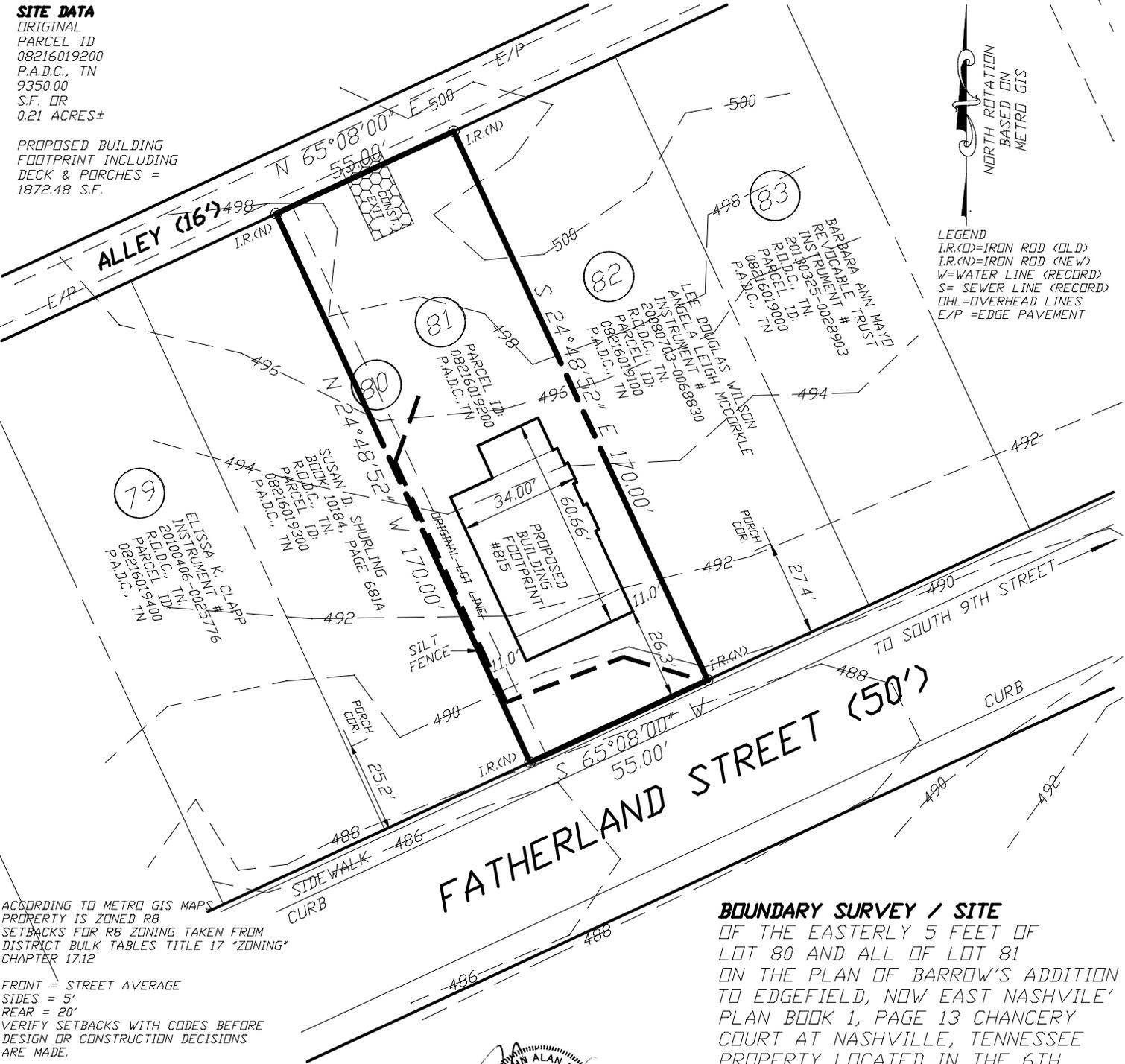
**SITE DATA**

ORIGINAL  
 PARCEL ID  
 08216019200  
 P.A.D.C., TN  
 9350.00  
 S.F. OR  
 0.21 ACRES±

PROPOSED BUILDING  
 FOOTPRINT INCLUDING  
 DECK & PORCHES =  
 1872.48 S.F.



**LEGEND**  
 I.R.(O)=IRON ROD (OLD)  
 I.R.(N)=IRON ROD (NEW)  
 W=WATER LINE (RECORD)  
 S= SEWER LINE (RECORD)  
 DHL=OVERHEAD LINES  
 E/P =EDGE PAVEMENT



ACCORDING TO METRO GIS MAPS  
 PROPERTY IS ZONED R8  
 SETBACKS FOR R8 ZONING TAKEN FROM  
 DISTRICT BULK TABLES TITLE 17 "ZONING"  
 CHAPTER 17.12

FRONT = STREET AVERAGE  
 SIDES = 5'  
 REAR = 20'  
 VERIFY SETBACKS WITH CODES BEFORE  
 DESIGN OR CONSTRUCTION DECISIONS  
 ARE MADE.

BY GRAPHIC SCALING FROM THE LATEST  
 F.E.M.A. / FLOOD INSURANCE RATE MAP  
 THIS PROPERTY IS NOT LOCATED IN A  
 F.E.M.A. / F.I.R.M SPECIAL FLOOD HAZARD AREA  
 PROPERTY IS LOCATED IN ZONE "X" UNSHADED  
 MAP 470040 PANEL 0217 F  
 EFFECTIVE DATE = 4-20-01

THIS SURVEY WAS PREPARED FROM THE  
 LATEST RECORDED DEED DESCRIPTION.  
 THIS SURVEY IS SUBJECT TO THE FINDINGS  
 OF A CURRENT TITLE EXAMINATION.  
 NO TITLE REPORT WAS FURNISHED PRIOR TO  
 THE SURVEY.

UTILITIES SHOWN WERE TAKEN FROM PUBLIC  
 AS-BUILT RECORDS & FIELD LOCATION. THERE MAY  
 BE UTILITIES OR EASEMENTS PRESENT THAT ARE  
 NOT SHOWN ON THIS SURVEY.  
 CONTACT THE TENNESSEE ONE CALL SYSTEM  
 PRIOR TO ANY CONSTRUCTION OR DIGGING.

PREPARED BY:  
 CAMPBELL, McRAE  
 & ASSOCIATES,  
 SURVEYING, INC.  
 2918 BERRY HILL DRIVE  
 NASHVILLE, TN, 37204  
 PH. 615-298-2424  
 FAX 615-297-2828  
 EMAIL cmas@att.net

I HEREBY CERTIFY THAT THIS IS  
 A CATEGORY I SURVEY WITH THE  
 RATIO OF PRECISION OF THE  
 UNADJUSTED SURVEY BEING 1: 18,000.  
 THIS SURVEY WAS DONE IN  
 COMPLIANCE WITH THE CURRENT  
 STANDARDS OF PRACTICE ADOPTED  
 BY THE TENNESSEE STATE BOARD OF  
 EXAMINERS FOR LAND SURVEYORS.

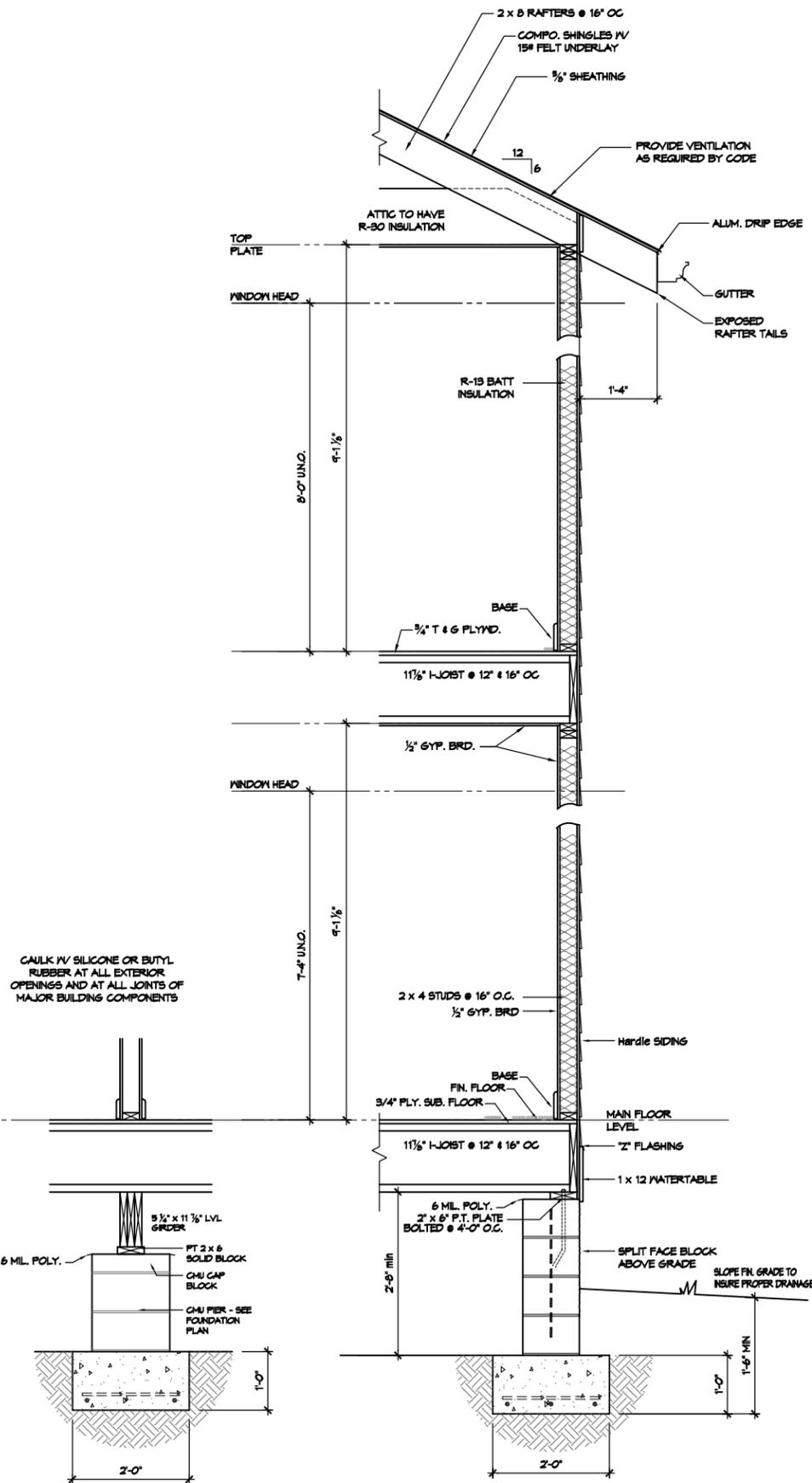
JOHN ALAN HOOD  
 TN. R.L.S.#1838



**BOUNDARY SURVEY / SITE**

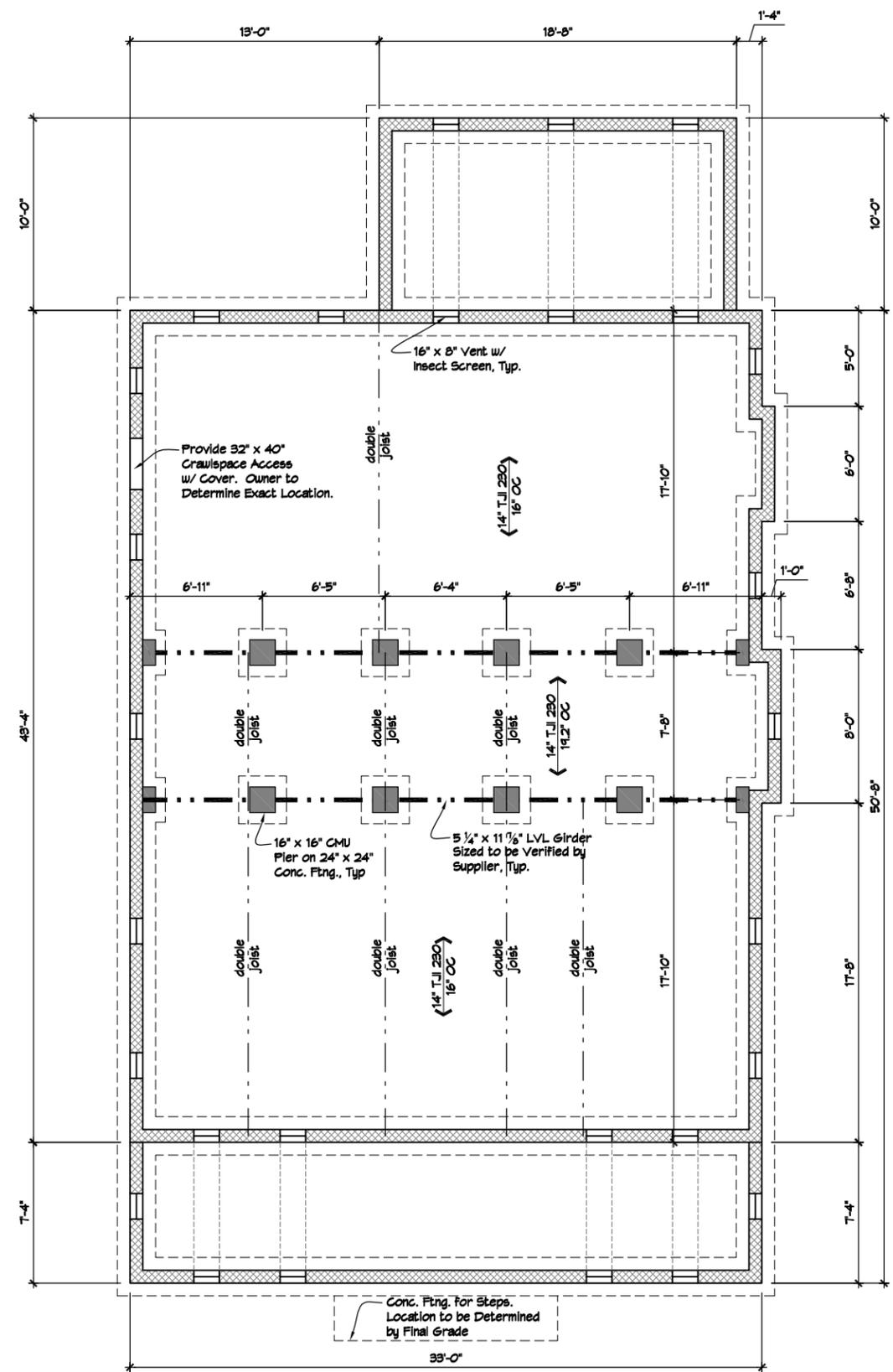
OF THE EASTERLY 5 FEET OF  
 LOT 80 AND ALL OF LOT 81  
 ON THE PLAN OF BARROW'S ADDITION  
 TO EDGEFIELD, NOW EAST NASHVILLE'  
 PLAN BOOK 1, PAGE 13 CHANCERY  
 COURT AT NASHVILLE, TENNESSEE  
 PROPERTY LOCATED IN THE 6TH  
 COUNCIL DISTRICT OF NASHVILLE,  
 DAVIDSON COUNTY TENNESSEE  
 ON THE NORTHERLY MARGIN OF  
 FATHERLAND STREET, WEST  
 OF SOUTH 9TH STREET.  
 PROPERTY ADDRESS:  
 815 FATHERLAND STREET,  
 NASHVILLE, TN, 37206  
 DEED REFERENCE:  
 INSTRUMENT # 20131204-0123674  
 R.O.D.C., TN.  
 PARCEL ID:  
 08216019200  
 P.A.D.C., TN.  
 DATE OF SURVEY 3-21-14  
 SCALE : 1"=40' ORDER #306-15-3  
 PREPARED FOR:  
 WILLIAM H. SMALLMAN





2 Pier Detail  
3/4" = 1'-0"

1 Wall Section  
3/4" = 1'-0"



Foundation Plan

Pinnacle Home Designs assumes NO LIABILITY of the owner and/or contractor to verify that the plans meet any and all codes in the area in which the work is to be built, prior to beginning construction. Owner and/or contractor to verify all dimensions prior to beginning construction.

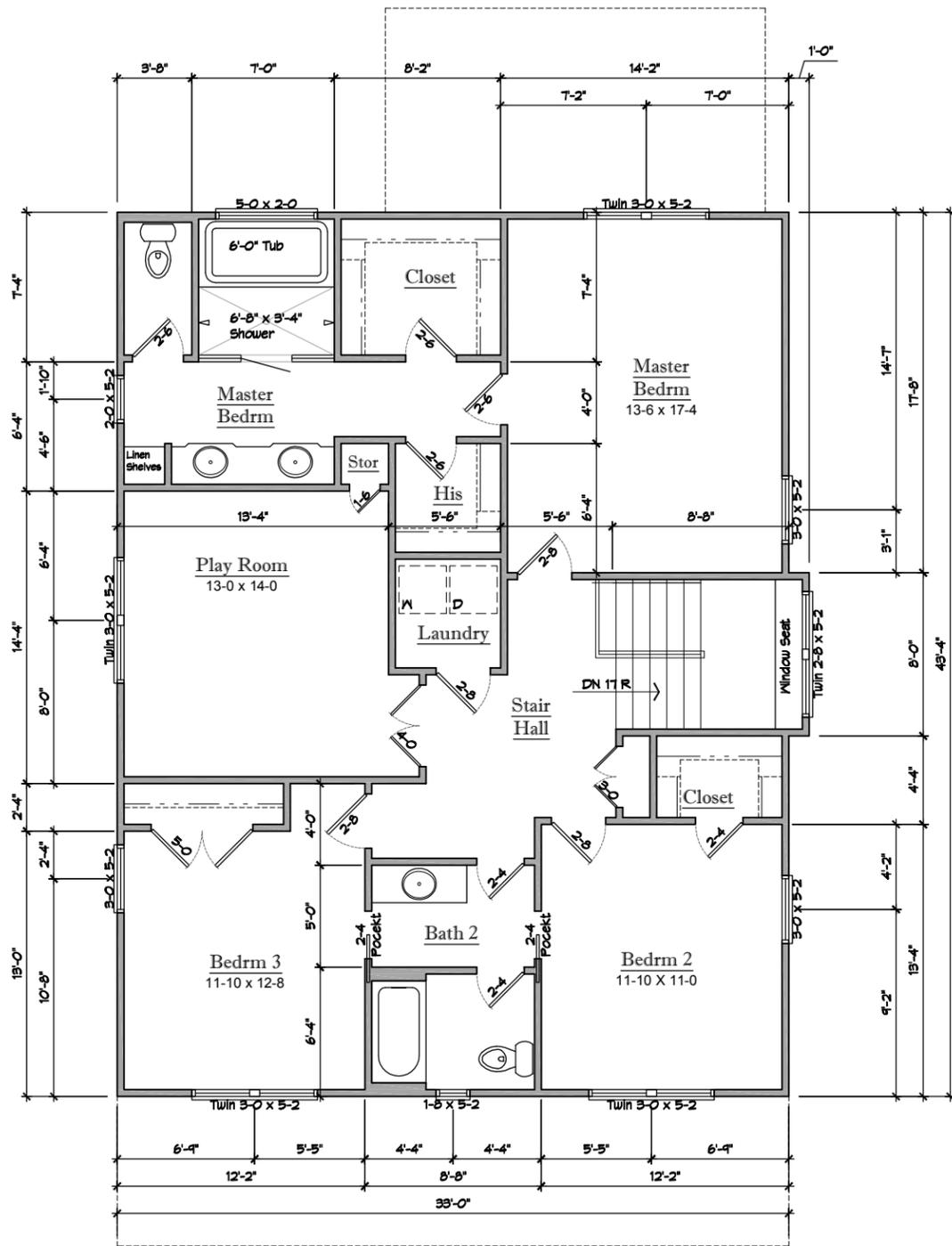
© 2014 Pinnacle Home Designs

**Magness Development**  
**815 Fathrland St**  
 Nashville Tennessee

revisions

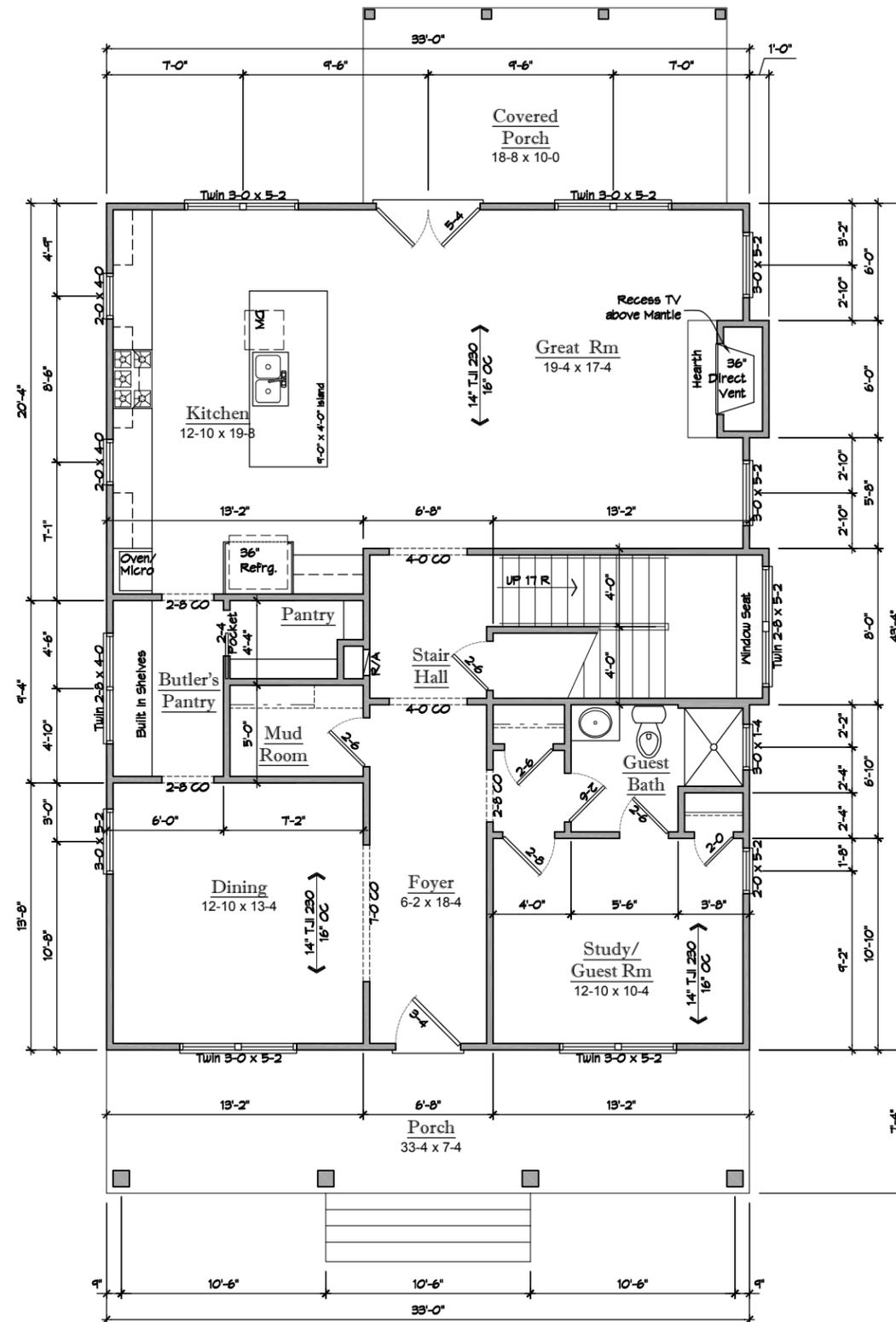
drawn by  
D\_O  
 project number  
MDG14003  
 date  
May 13, 2014  
 scale  
1/4" = 1'-0"  
 sheet title  
Foundation Plan  
Details

sheet  
**A1.1**



2nd Floor Plan

1,366 sf



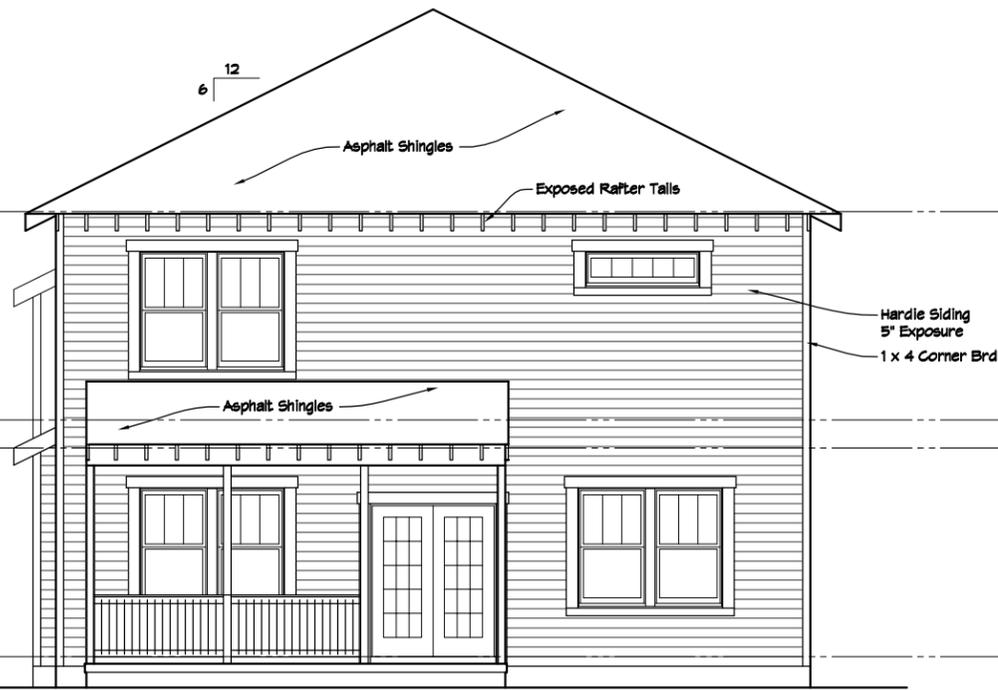
Main Floor Plan

1,438 sf

PINNACLE HOME DESIGNS assumes NO LIABILITY for any structural load from these plans. It is the responsibility of the owner and/or contractor to verify that the plans meet any and all codes in the area in which the structure is to be built, prior to beginning construction.  
 Owner and/or contractor to verify all dimensions prior to beginning construction.  
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revisions
drawn by D_O
project number MDG14003
date May 13, 2014
scale 1/4" = 1'-0"
sheet title Floor Plans
sheet <b>A1.2</b>



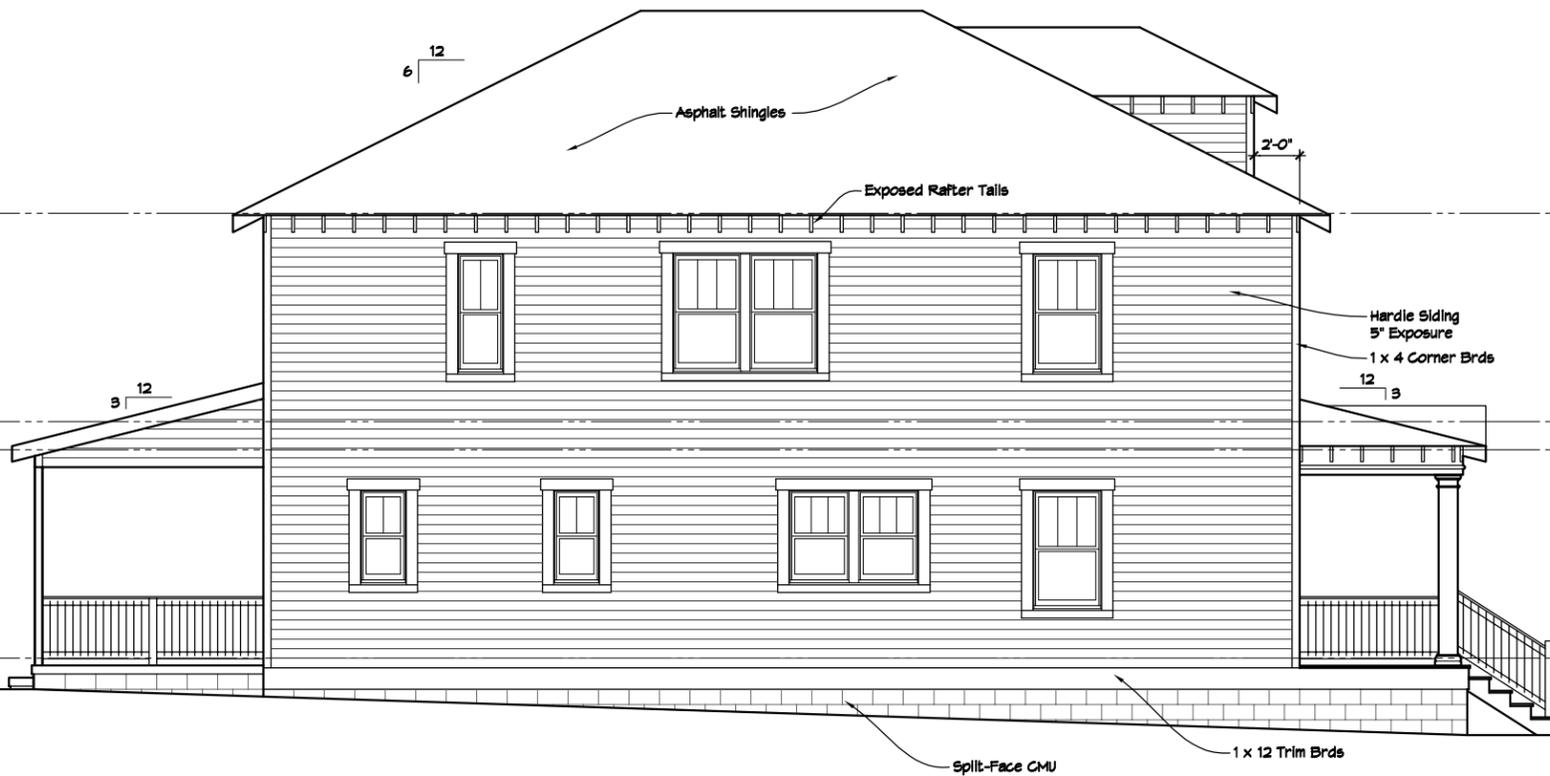
Rear Elevation

1/4" = 1'-0"



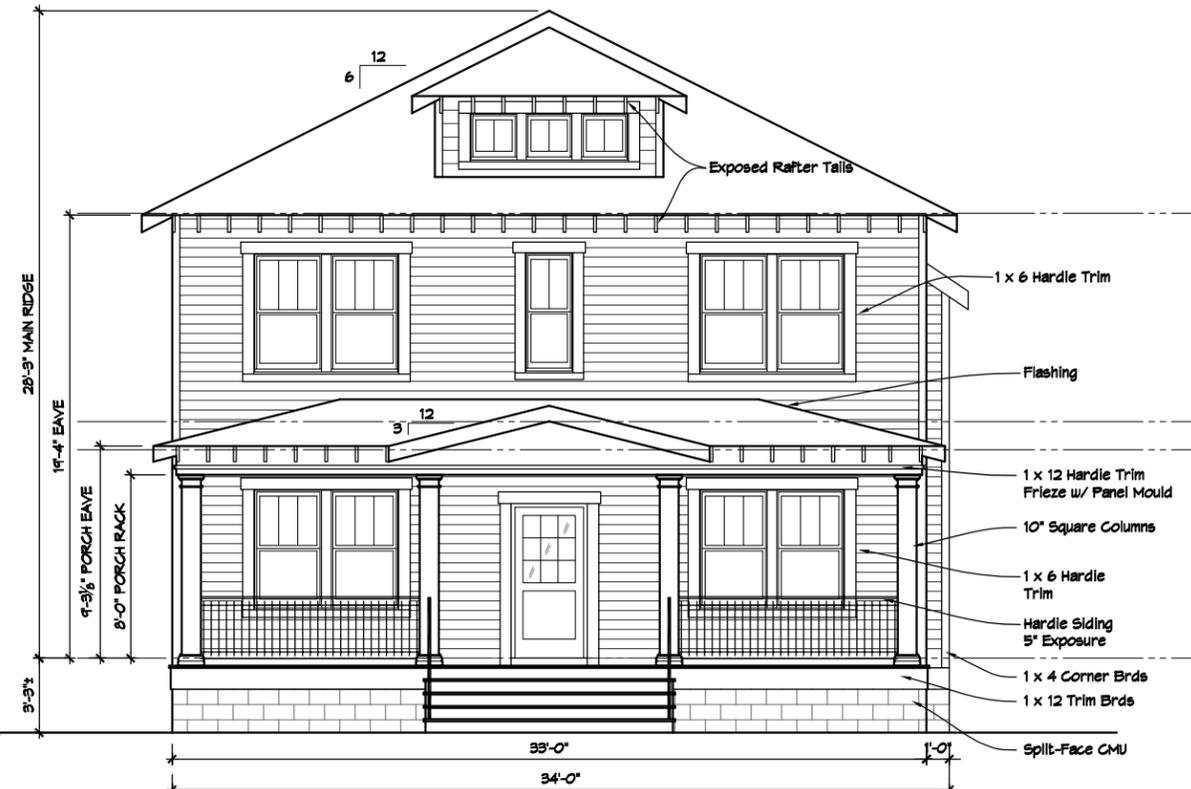
Right Side Elevation

1/4" = 1'-0"



Left Side Elevation

1/4" = 1'-0"



Front Elevation



PINNACLE HOME DESIGNS assumes NO LIABILITY for any errors or omissions in these plans. It is the responsibility of the owner and/or contractor to verify that the plans meet any and all codes in the area in which the work is to be built, prior to beginning construction. Owner and/or contractor to verify all dimensions prior to beginning construction.

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drawn by  
 D.O  
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 scale  
 1/4" = 1'-0"  
 sheet title  
 Elevations  
 sheet

**A2.1**