



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1507 Sweetbriar Avenue
June 18, 2014

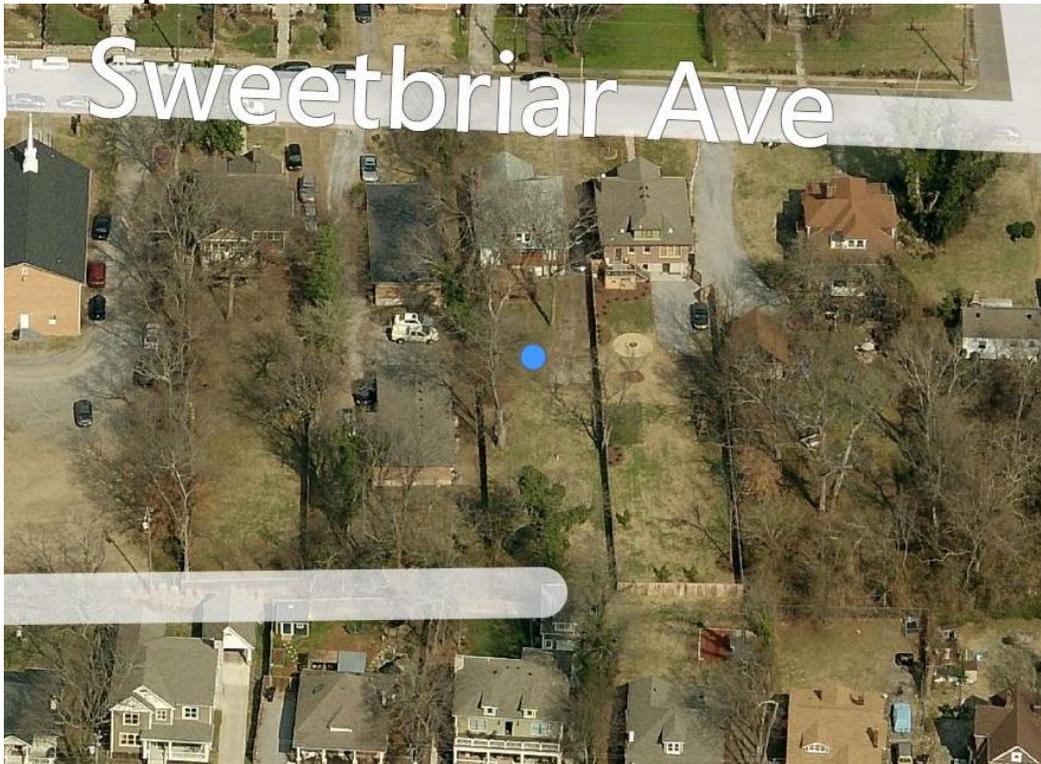
Application: New construction—addition and outbuilding; Setback determination
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11704011500
Applicant: Manuel Zeitlin, architect
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: The applicants propose a one and one-half story addition to an existing one and one-half story historic house for use as a duplex. They are also proposing a new outbuilding. The outbuilding requires a reduction to the rear setback. Base zoning requires that outbuildings that are larger than seven hundred square feet (700 sq. ft.) like the one proposed be situated twenty feet (20’) from the rear property line. The applicant is proposing to situate the outbuilding a minimum of five feet (5’) from the rear property line.</p> <p>Recommendation Summary: Staff recommends approval of the project with the condition that staff review and approve the shingle color and the materials for the trim, porch, and porch railings prior to purchase and installation of these materials. With this condition, staff finds that the project meets Section II.B. of the <i>Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

Secretary of Interior's Standards for Rehabilitation

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

I. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- *An extreme grade change*
- *Atypical lot parcel shape or size*

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch

(4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side Additions

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

Background: 1507 Sweetbriar is a contributing house to the Hillsboro-West End Neighborhood Conservation Zoning Overlay. It is zoned R8, which allows for duplexes. In May 2014, the Metro Historic Zoning Commission voted to approve the demolition of a non-historic deck attached to the house, and to disapprove the proposed addition design. This application represents a new design for an addition to the structure.



Analysis and Findings: The applicants propose a one and one-half story addition to an existing one and one-half story historic house for use as a duplex. They are also proposing a new outbuilding. The outbuilding requires a reduction to the rear setback. Base zoning requires that outbuildings that are larger than seven hundred square feet (700 sq. ft.) like the one proposed be situated twenty feet (20') from the rear property line. The applicant is proposing to situate the outbuilding a minimum of five feet (5') from the rear property line.

Height and Scale: The existing historic house is approximately thirty-four feet (34') wide and forty-five feet (45') deep. With the front porch, it has a total footprint of one thousand, six hundred and ninety square feet (1,690 sq. ft.). The applicant is proposing to add to the structure an addition that has a footprint of approximately one thousand, six hundred and forty-one square feet (1,641 sq. ft.). The addition ties into the back wall of the house with a sunroom that is inset approximately four feet (4') on the right side and twelve feet (12') on the left side. After a depth of approximately fifteen feet (15'), the addition steps back out to be inset approximately two feet (2') on the right side and one foot, five inches (1'5") on the left side. Staff finds that the structure's footprint meets the design guidelines.

The historic house is a one and one-half story historic building that is approximately twenty –four feet (24’) tall from finished grade. The addition will be approximately twenty-six feet (26’) tall from finished grade but because of the change in grade will not appear to be taller than the existing house. The eave height and the foundation height will match that of the historic house. Staff therefore finds that the addition’s height and scale meet Sections II.B.1.a., II.B.1.b., and II.B.2. of the design guidelines.

Location, Removability & Design: The addition is at the rear of the building and is narrower than the historic house. The addition is sufficiently inset at the back of the house so that the back corners of the house will remain. Enough of the rear wall will remain that if the addition were to be removed in the future, the original form of the house would still be intact. The addition is clearly differentiated from the historic house with the inset and with the use of modern materials like cement fiberboard siding and a split face block foundation. The addition’s scale, height, hipped roof form, fenestration pattern, and orientation ensure that it does not distract from the historic character of the house or the surrounding historic neighborhood. Staff therefore finds that the addition’s location, removability, and design meet Sections II.B.2.a, d.e. and f. of the design guidelines.



Setback & Rhythm of Spacing: The proposed addition will meet all base zoning requirements for setbacks. It will be approximately eight feet (8’) from the right side property line, ten feet (10’) from the left side property line, and over one hundred and forty feet (140’) from the rear property line. Staff therefore finds that the addition’s setback and rhythm of spacing meet Sections II.B.1.c. and II.B.2. of the design guidelines.

Materials: No major changes to the historic house’s materials were indicated on the drawings. The addition will primarily be clad in smooth face cement fiberboard with a reveal of four inches (4”). The trim and porch materials were not indicated. The foundation will be split-face concrete block and the roof will be architectural fiberglass shingles. The color was not indicated. The windows and doors will be Marvin integrity with a window design of three-over-one to match the existing house and a full-light design for the doors. The material of the rooftop railing on the rear porches was also not indicated. With staff’s approval of the shingle color and the materials for the trim, porch, and porch railing, staff finds that the project’s materials meet Sections II.B.1.c. and II.B.2. of the design guidelines.

Roof form: The inset connector porch portion of the addition will have a flat roof, which is appropriate since this portion of the addition is significantly inset on both sides and will likely not be visible. The main portion of the addition will have a hipped roof with slope of 8/12 to match that of the historic house. The addition includes gabled wall

dormers on both sides. While wall dormers are typically discouraged, staff finds them to be acceptable in this instance because they are located over sixty feet (60') behind the front wall of the house and this portion of the addition is inset. The wall dormers will be at most minimally visible from the street. Staff finds that the addition's roof form meet Sections II.B.1.e. and II.B.2. of the design guidelines.

Orientation: The historic house will retain its primary orientation towards the street. Although the addition will be used as a separate unit in a duplex, the addition is designed so that historic house retains its historic single family orientation and the addition reads as an addition to the house. Staff therefore finds that the addition's orientation meets Section II.B.1.f. and II.B.2. of the design guidelines.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff therefore finds that the addition's proportion and rhythm of openings meet Sections II.B.1.g. and II.B.2. of the design guidelines.

Appurtenances & Utilities: An existing driveway will be extended to the rear of the property to the location of the proposed outbuilding. The HVAC units will be located on the right side façade, at the location of the porch connector. Staff finds this location to be appropriate since it is behind the historic house. No other changes to the site's appurtenances were indicated on the drawings. Staff finds that the project's appurtenances and utilities meet Sections II.B.1.h., II.B.1.j., and II.B.2. of the design guidelines.

Outbuildings: The project includes a detached garage that is twenty-five feet (25') wide, and thirty-two feet (32') deep. The footprint of the garage will be eight hundred square feet (800 sq. ft.). Staff finds the footprint to be appropriate since the site is unusually large at nearly fifteen thousand square feet (15,000 sq. ft.). However, because the footprint is greater than seven hundred square feet, base zoning states that the structure must be located five feet (5') from the side property lines and twenty feet (20') from the rear property lines. The outbuilding meets the side setbacks, but will only be five feet (5') from the rear property line. Staff finds the rear setback to be appropriate in this instance because historically outbuildings were located close to the rear of the property.

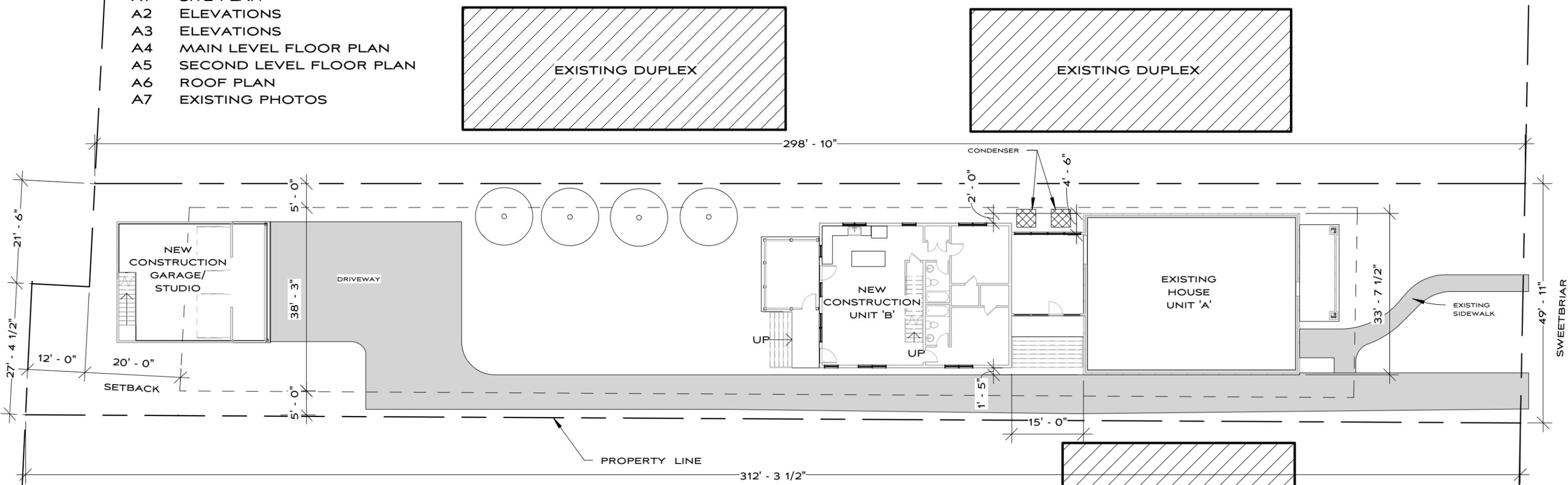
The outbuilding will be accessed via an existing driveway that is to be extended to the rear; the site does not have alley access. (The alley seen on maps is not improved.) The outbuilding will have an eave height of approximately ten feet (10') and a ridge height of approximately twenty-four feet (24'), both of which are subordinate to the historic structure. The outbuilding will have a side gabled roof form with a slope of 8/12, and includes dormers. The materials of the structure will be similar to those on the addition, and include smooth face cement fiberboard with a four inch (4") reveal, Marvin Integrity windows and doors, and an asphalt shingle roof. The proportion and rhythm of openings

are appropriate for an outbuilding. Staff finds that the outbuilding and its rear setback meet Sections II.B.1.i. and II.B.2. of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the condition that staff review and approve the shingle color and the materials for the trim, porch, and porch railings prior to purchase and installation of these materials. With this condition, staff finds that the project meets Section II.B. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

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- A2 ELEVATIONS
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- A7 EXISTING PHOTOS



1 SITE PLAN & LAYOUT
1" = 20'-0"



EXISTING FRONT RESIDENCE	2198 S.F.	FOOTPRINT 33'-7" X 45'
FIRST FLOOR W/SUNROOM ADDITION	1768 S.F.	
SECOND FLOOR	430 S.F.	
ADDED RESIDENCE	1810 S.F.	FOOTPRINT 30' X 40'
FIRST FLOOR	1200 S.F.	
SECOND FLOOR	610 S.F.	
ADDED GARGAGE	600 S.F.	FOOTPRINT 24' X 25'
SECOND FLOOR/STUDIO	547 S.F.	



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1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

SITE PLAN

HISTORIC SUBMITTAL
5-31-14

A-1

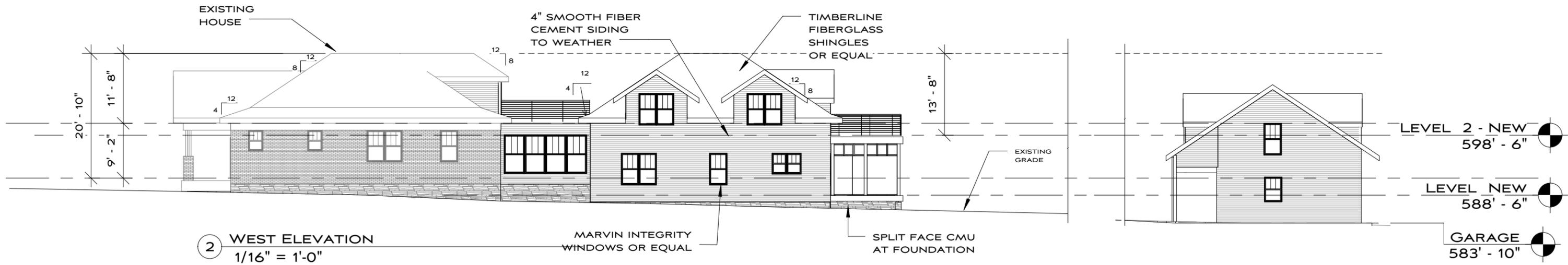
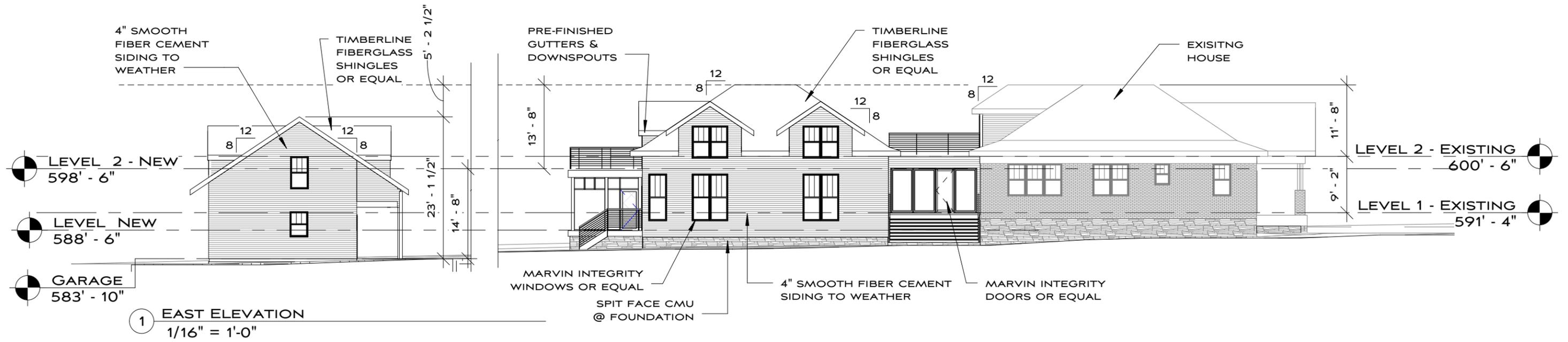
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1507 SWEETBRIAR AVENUE
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ELEVATIONS

HISTORIC SUBMITTAL

5-31-14

A-2

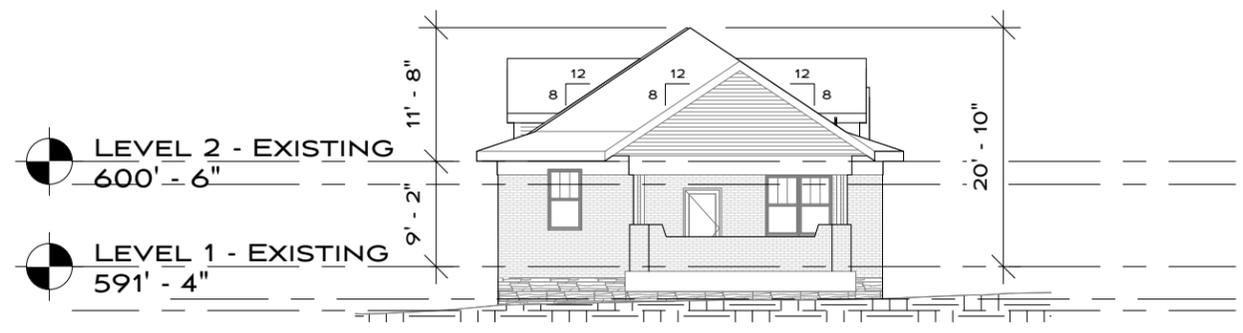
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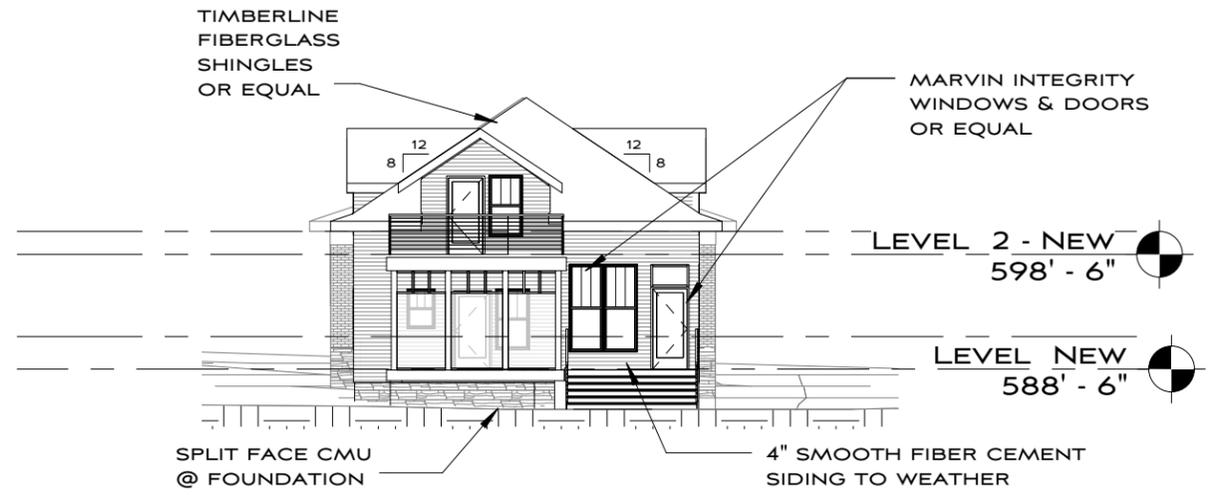


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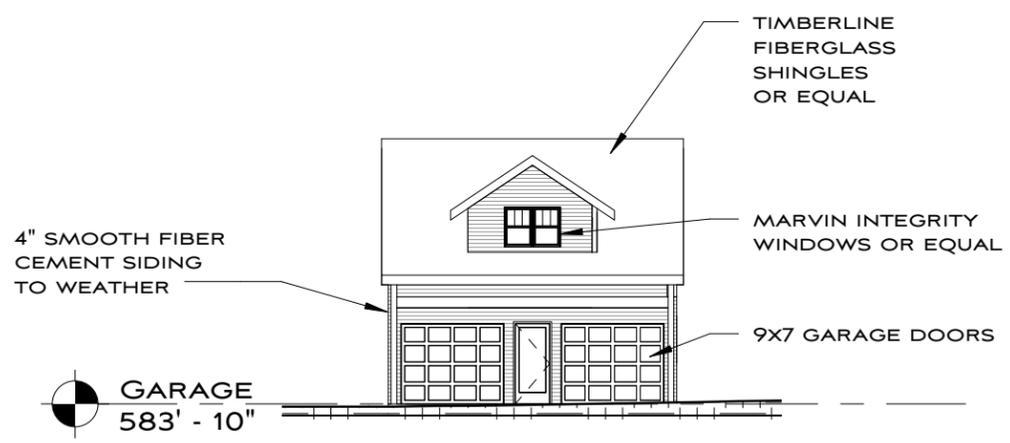
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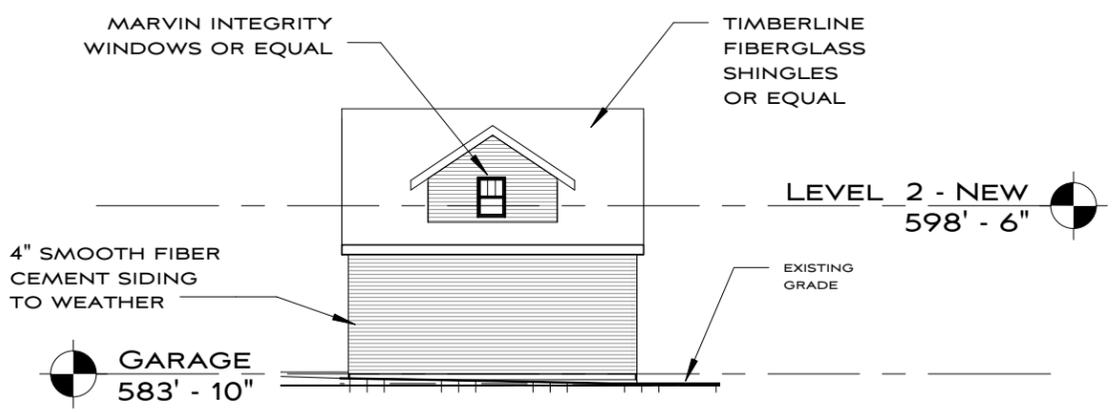
1 STREET ELEVATION - EXISTING HOUSE
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"



3 FRONT GARAGE ELEVATION
1/16" = 1'-0"



4 REAR GARAGE ELEVATION
1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212
ELEVATIONS

HISTORIC SUBMITTAL
5-31-14

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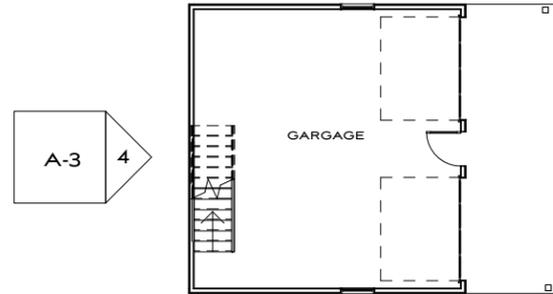
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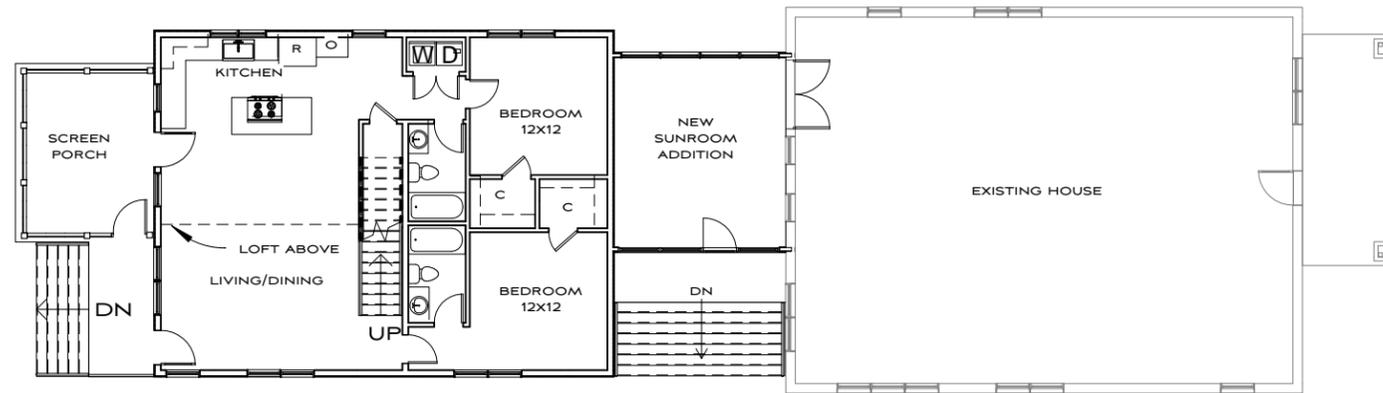
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2



3 A-3

A-3 2



1 A-3

1
A-2

1 LEVEL 1 NEW
1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

MAIN LEVEL PLAN

HISTORIC SUBMITTAL
5-31-14

A-4

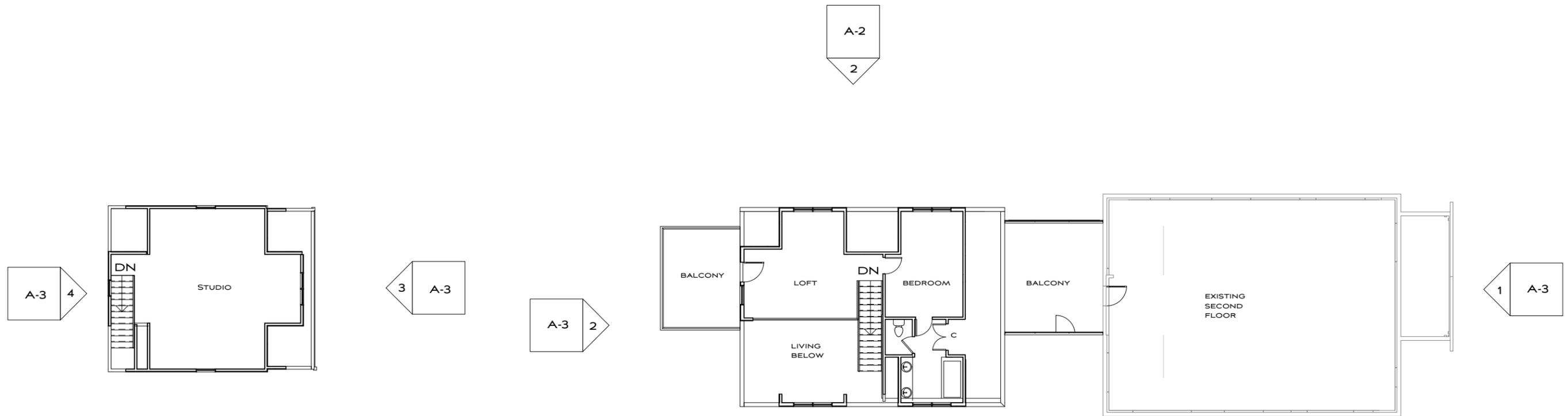
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1 LEVEL 2 - NEW
 1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
 NASHVILLE, TN 37212
 SECOND FLOOR
 PLAN
 HISTORIC SUBMITTAL
 5-31-14

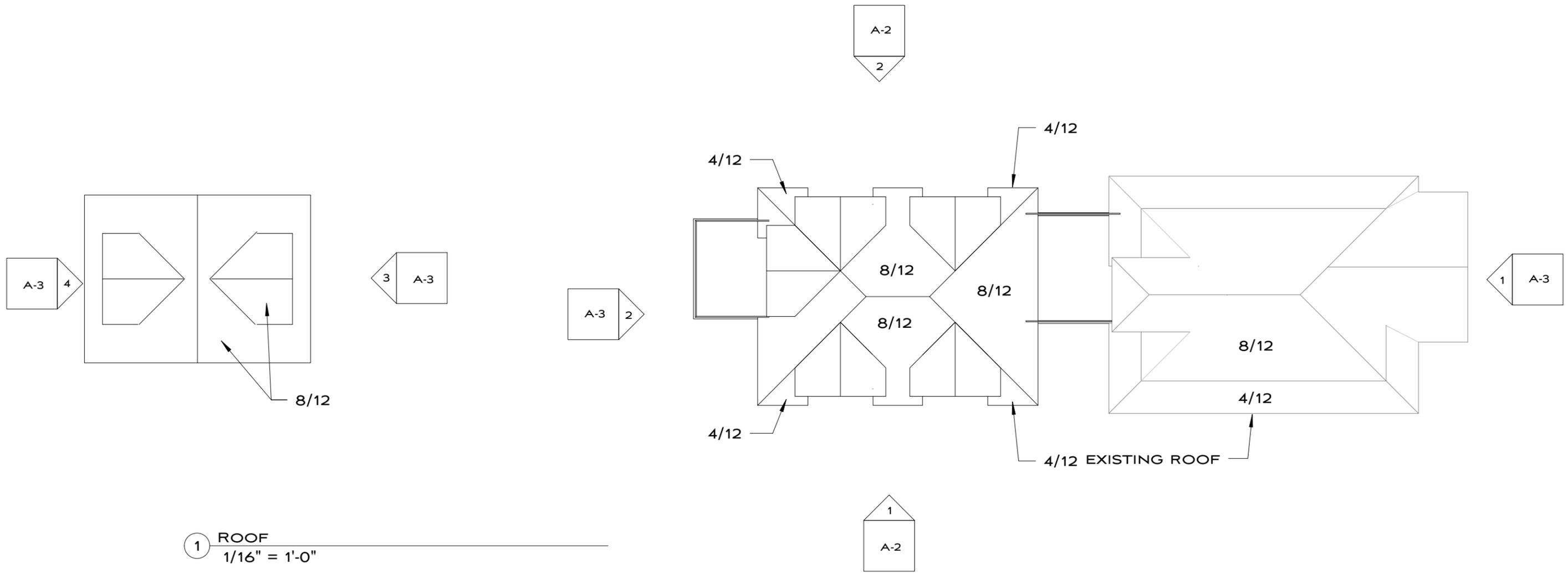
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MANUEL ZEITLIN ARCHITECTS

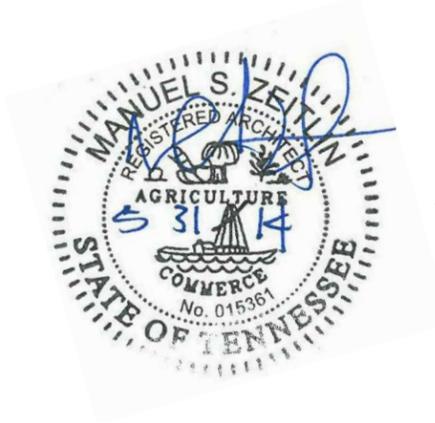


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1 ROOF
 1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
 NASHVILLE, TN 37212
 ROOF PLAN
 HISTORIC SUBMITTAL
 5-31-14

1257

A-6

MANUEL ZEITLIN ARCHITECTS

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FRONT WITH NEIGHBORS



FRONT WITH SIDE NEIGHBOR DUPLEX



SIDE NEIGHBOR DUPLEX AT REAR



FRONT & SIDE OF EXISTING HOUSE



REAR OF EXISTING HOUSE



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

EXISTING PHOTOS

HISTORIC SUBMITTAL
5-31-14

A-7

1257

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