



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

412 Broadway

June 18, 2014

Application: New construction - addition

District: Broadway Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 09306307800

Applicant: John F. Werne III, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a rooftop addition, one story tall and sitting back thirty feet (30') from the front of the building.

Recommendation Summary: Staff recommends approval of the rooftop addition with the conditions that:

1. Windows and doors be approved by staff;
2. Plans for any future roof deck and railing are submitted for review and administrative approval.

Staff finds that with these conditions the project meets the design guidelines for additions to contributing buildings in the Broadway Historic Zoning District.

Attachments

A: Photographs

B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

H. Windows

1. Historic window openings, windows, and window surrounds should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials. If replacement windows or window surrounds are necessary, replacements should replicate originals.
3. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum, or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
5. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building. The installation of such window openings on the rear of the building may be appropriate.
6. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
7. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.
8. Window grilles and balcony rails are not appropriate window treatments. Shutters are only appropriate when they replace original wood shutters and should be operable.

A. Roof Shape

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

B. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 60% of the street level façade of a new building shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian. This guideline is most important on Broadway where most of the buildings have commercial ground floor storefronts.
3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

C. Guidelines: Relationship of Materials, Texture, Details, and Material Color

The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.

Masonry materials were primarily used in the historic district, and should continue to be predominant. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*.

Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.

3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

D. Guidelines: Orientation

1. The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible.
2. Primary building entrances shall be oriented to the primary street.
3. Entrances to buildings should be recessed.

E. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

F. Parking/Parking Structures, Plaza, Arcades, Landscape and Open Space

1. Parking, parking structures, plazas, arcades, landscape and open space may be appropriate components of new construction when the design of such development contributes to the overall character of the district and the streetscape, and the new construction is consistent with the design guidelines for new construction.
2. New parking should remain subordinate to the street scene and should be wrapped with a pedestrian friendly buffer or façade.
3. Parking structures should be wrapped with retail space or other active use along the street edge.
4. Curb cuts are not permitted on Broadway, and vehicular access should occur at the alley on properties that abut alleys.
5. All applicable guidelines for new construction shall be followed for parking structures.
6. Removal or demolition of existing historic buildings or portions of buildings to create a plaza, arcade, or open space is not appropriate.

Background: The building at 410-412 Broadway is a Victorian commercial structure, constructed circa 1900. Although one structure, it has been divided internally with the right third functioning as 410 Broadway and the remainder as 412 Broadway. The building is two stories tall at the front, with only one story above grade at the rear because the elevation of the Ryman Alley is higher than that of Broadway. The roof of the building slopes down toward the alley, which further reduces the height of the building at the rear. The first story storefront of the building has been altered, and although the second story window pattern is intact, the window openings are covered with louvered plywood panels that resemble shutters.

Analysis and Findings: The applicant is proposing to construct a third story addition on the roof of the existing building and remove the shutters, replacing the windows.

Height, Setbacks:

The addition will sit back thirty feet (30') from the front wall of the building, extending all the way to the rear of the structure. The addition will be above the two left thirds of the building with a front wall twelve feet (12') taller than the existing front parapet. This is subordinate to the existing structure, for which the first and second stories are seventeen feet (17') and sixteen feet (16') tall, respectively. The height of the addition is appropriate and meets the design guidelines, which require that rooftop additions be no more than one-story. This location is also appropriate because it will not alter the appearance of the building from the street, nor will it obscure or destroy any character-defining features or materials.

At the rear of the building, the rear wall of the addition will stack directly above the existing rear wall, increasing it from thirteen feet (13') tall to thirty-one feet (31') tall. This location is appropriate because the addition is only one story tall from the front, and because there is little on the rear elevation that is original to the building and there are no defining historic features.

The proposal meets section III.H of the Broadway design guidelines.

The plans also indicate that a railing for a roof deck may be added in the future, but that it is not part of the current scope of review. The railing would sit back eight feet (8') from the front of the building. In a past case, the Commission determined that eight feet (8') is an appropriate setback for railings associated with rooftop additions. Additional information on this railing and roof deck would need to be submitted at that time for administrative approval.

Windows:

The louvered panels over the second story windows will be removed. The windows will be assessed and, based on their condition will either be repaired or replaced with aluminum-clad windows, matching the size and proportion of the original windows. The windows may function as casements, but will need to have the appearance of historic double-hung sashes with a meeting rail.

Signage and lighting:

Signage and lighting must be reviewed in the Broadway Historic Preservation Zoning Overlay. No new signage or lighting is indicated at this time, but could be reviewed by staff in the future. Attaching signs or lighting to railings would not be appropriate.

Materials:

The exterior walls of the addition will be stucco, with aluminum store-front type doors and windows. The rear elevation will have aluminum sectional windows/doors.

All of the historic buildings in the district are brick or stone. Although stucco is not a typical material for the district it is a masonry material and so is compatible with materials found in the district and appropriate for new construction. In addition, it will help distinguish the addition from the existing building. The windows and doors are also appropriate for new construction in the overlay, especially for rear and upper story facades.

Compatibility: The size, setbacks, height and materials keep this addition to a compatible scale with the historic building and the district and prevent it from being “visually jarring” or “contrasting” with the district.

Mechanical Systems:

The mechanical systems will be located on the third story roof, behind a parapet wall so as to screen them from public view.

Recommendation: Staff recommends approval of the rooftop addition with the conditions that:

1. Windows and doors be approved by staff;
2. Plans for any future roof deck and railing or lighting and signage are submitted for review and administrative approval; and,
3. The existing windows be assessed to determine if they should be repaired or may be replaced. Replacement windows, if appropriate should retain the double-hung design.

Staff finds that with these conditions the project meets the design guidelines for additions to contributing buildings in the Broadway Historic Zoning District.



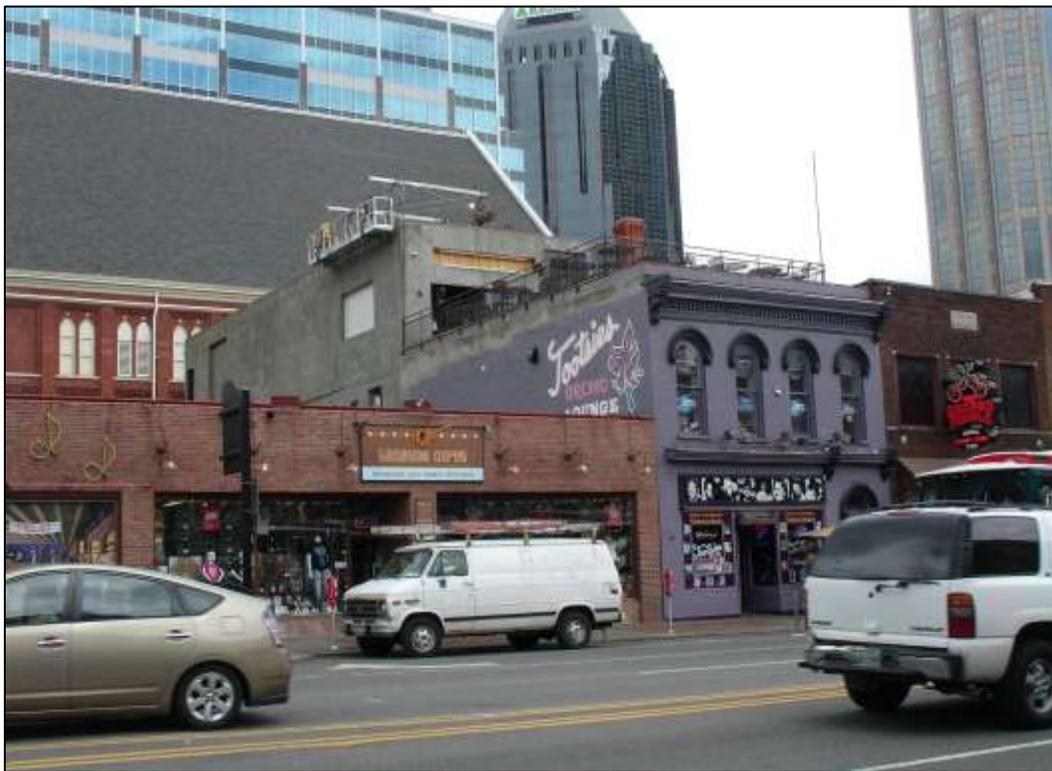
412 Broadway (The Stage).



412 Broadway and context looking east.



Rear façade of 412 Broadway



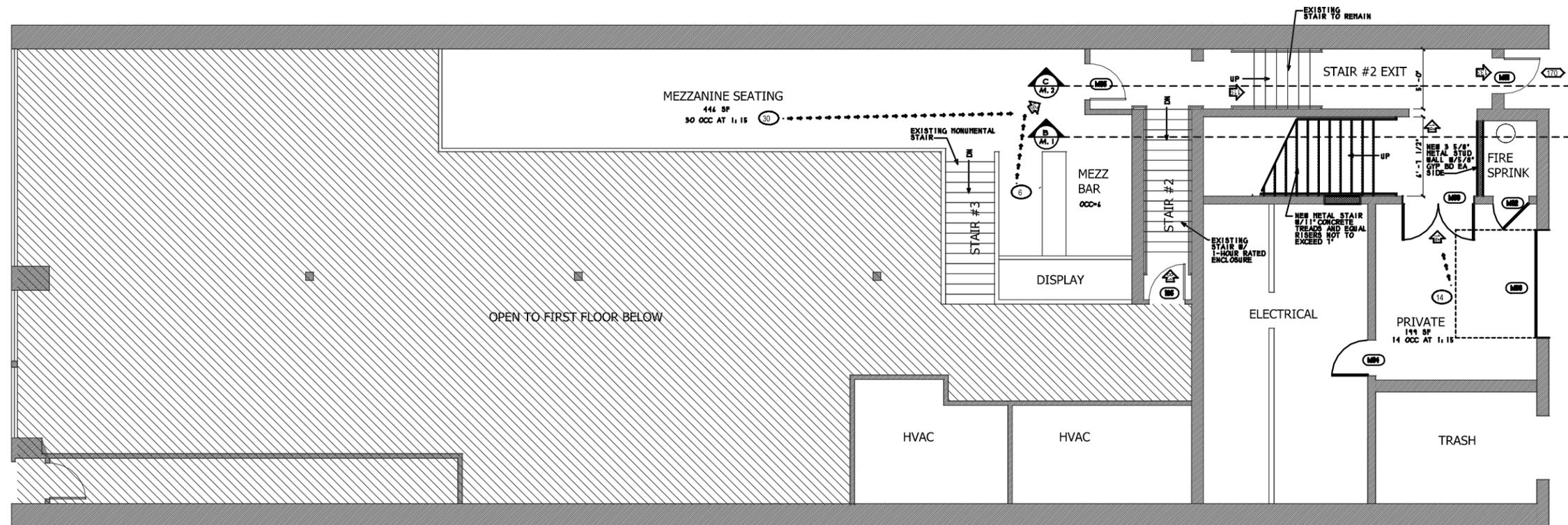
Rooftop addition under construction at 422 Broadway (Tootsie's Orchid Lounge).
(with permit violations)



The Stage on Broadway

Third Level Addition

412 BROADWAY, NASHVILLE, TN



INTERIOR WALL AND CEILING FINISH REQUIREMENTS PER IBC TABLE 602.1 FOR SPRINKLERED BUILDINGS

GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES
A-2	B	B	C

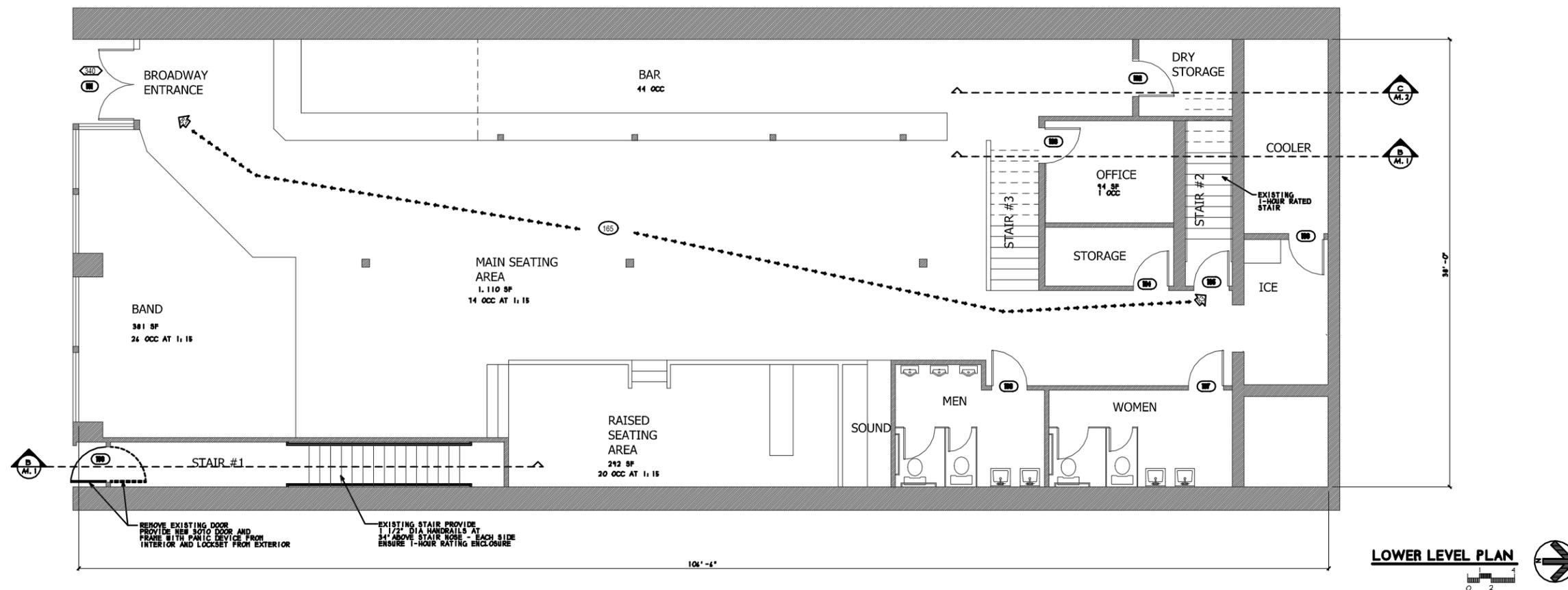
OCCUPANCY - A-2 RESTAURANT
CONSTRUCTION TYPE PER 2004 IBC: III B, UNPROTECTED, SPRINKLERED

ALLOWABLE AREA	1,500 SF PER FLOOR MAX 3 FLOORS
BUILDING AREA - GROSS	4,832 SF LARGEST FLOOR



MEZZANINE FLOOR PLAN

GRADE LEVEL RHYMAN ALLEY



LOWER LEVEL PLAN



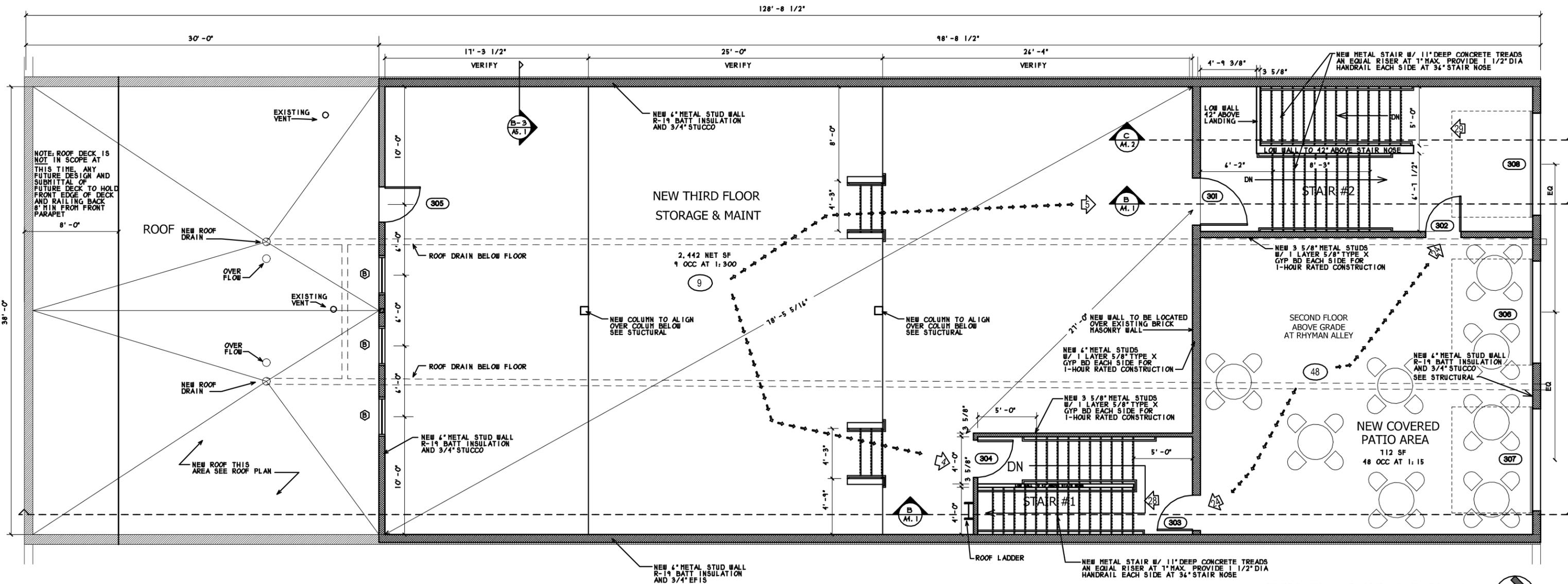
JOHN F. WERNE III
ARCHITECT

jwerne3@gmail.com

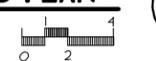
1020 OWEN COURT, ASHLAND CITY, TENNESSEE 37015 615-792-3966

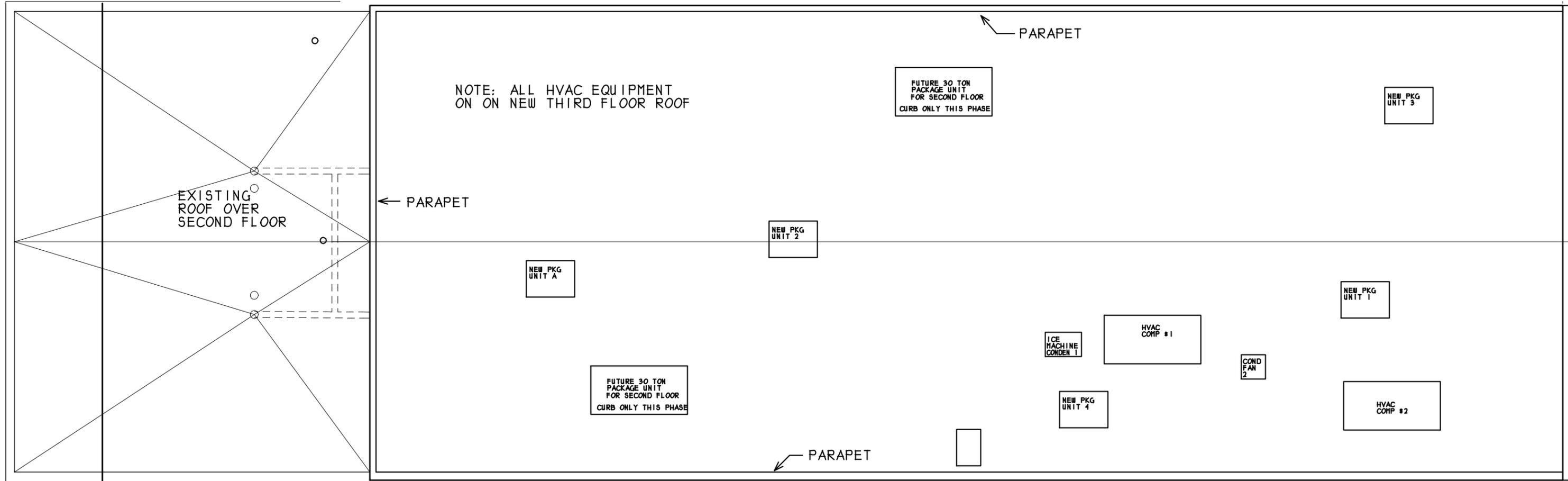
A-1.1

DATE: 5-9-14



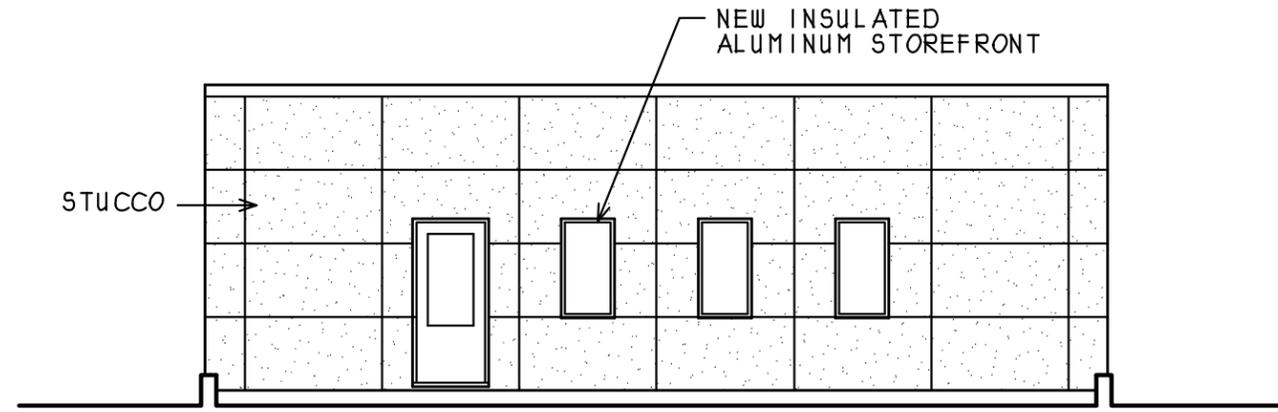
THIRD FLOOR/SECOND PLAN





ROOF PLAN

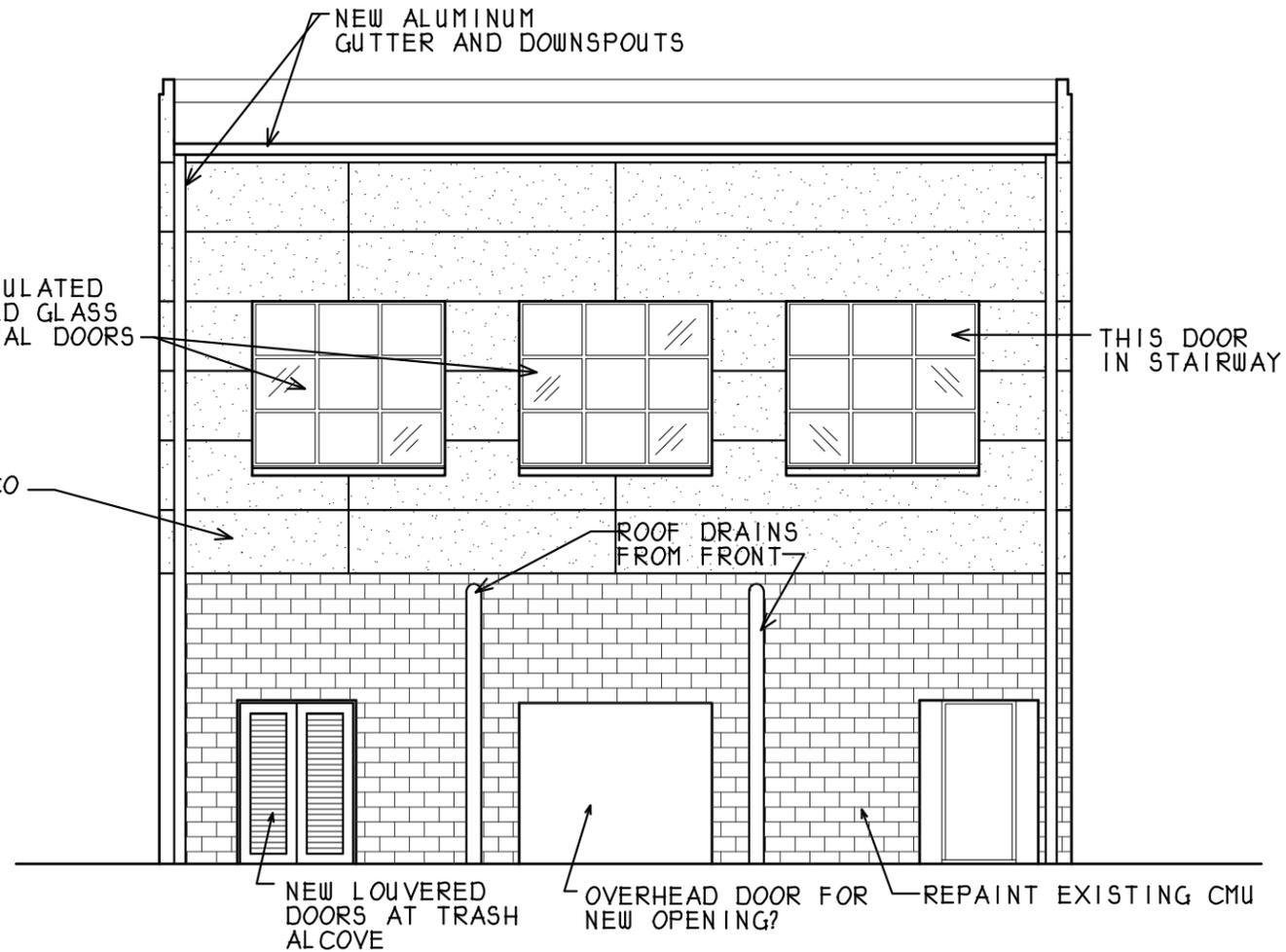
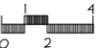




FRONT AT ROOF TOP

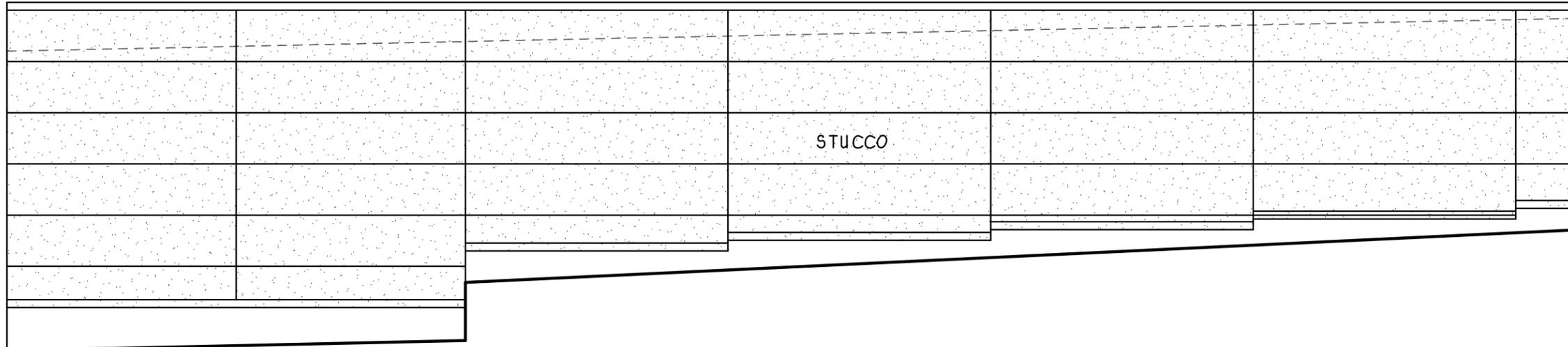


FRONT ELEVATION ON BROADWAY



REAR ELEVATION

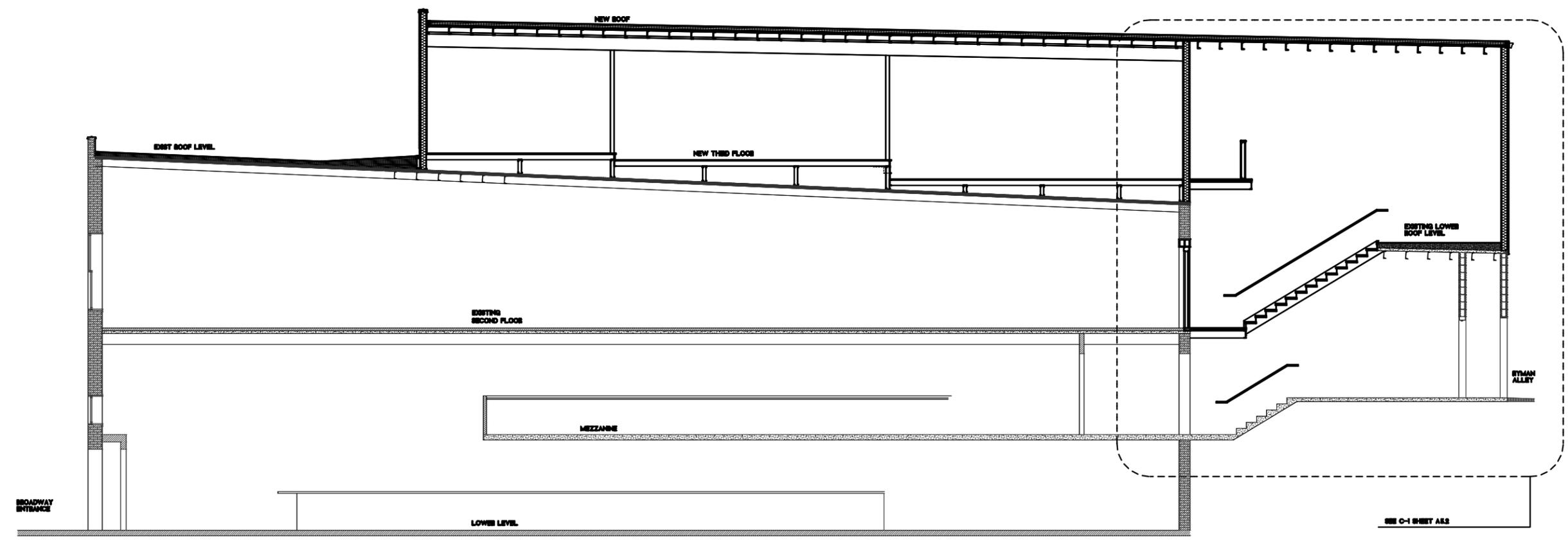
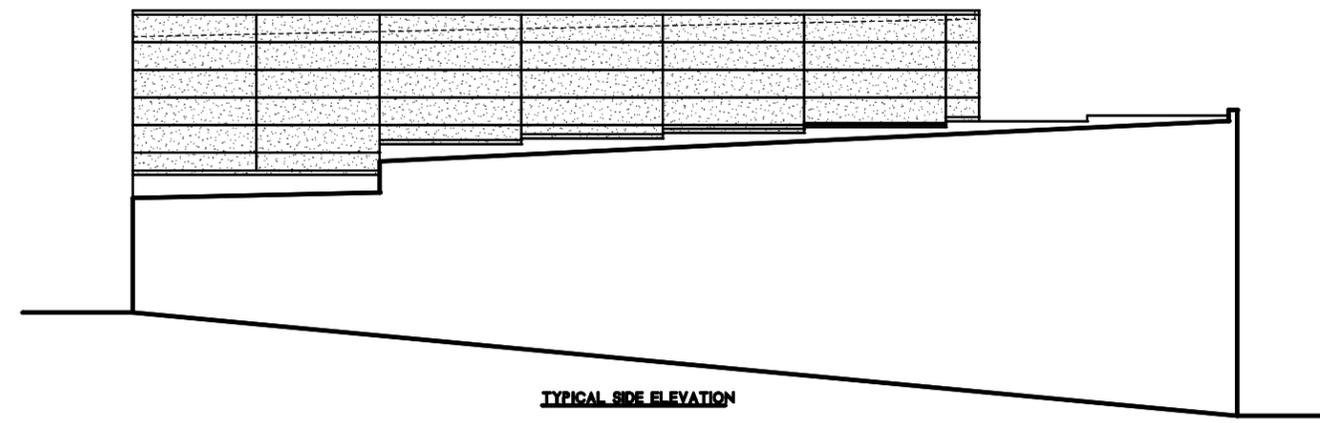
WITH THIRD GARAGE DOOR IN STAIR



TYPICAL SIDE ELEVATION



The Stage on Broadway
Third Level Addition
 412 BROADWAY, NASHVILLE, TN



SECTION "C"
 0 2 4

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