



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 2116 Grantland Avenue August 20, 2014

Application: Partial demolition; New construction--addition
District: Woodland in Waverly Historic Preservation Zoning Overlay
Council District: 17
Map and Parcel Number: 10510032100
Applicant: Michael Ward, Allard Ward Architects
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to demolish a non-historic portion of the house and to construct a side addition. The addition will extend approximately six feet (6') beyond the existing right side wall of the historic house.

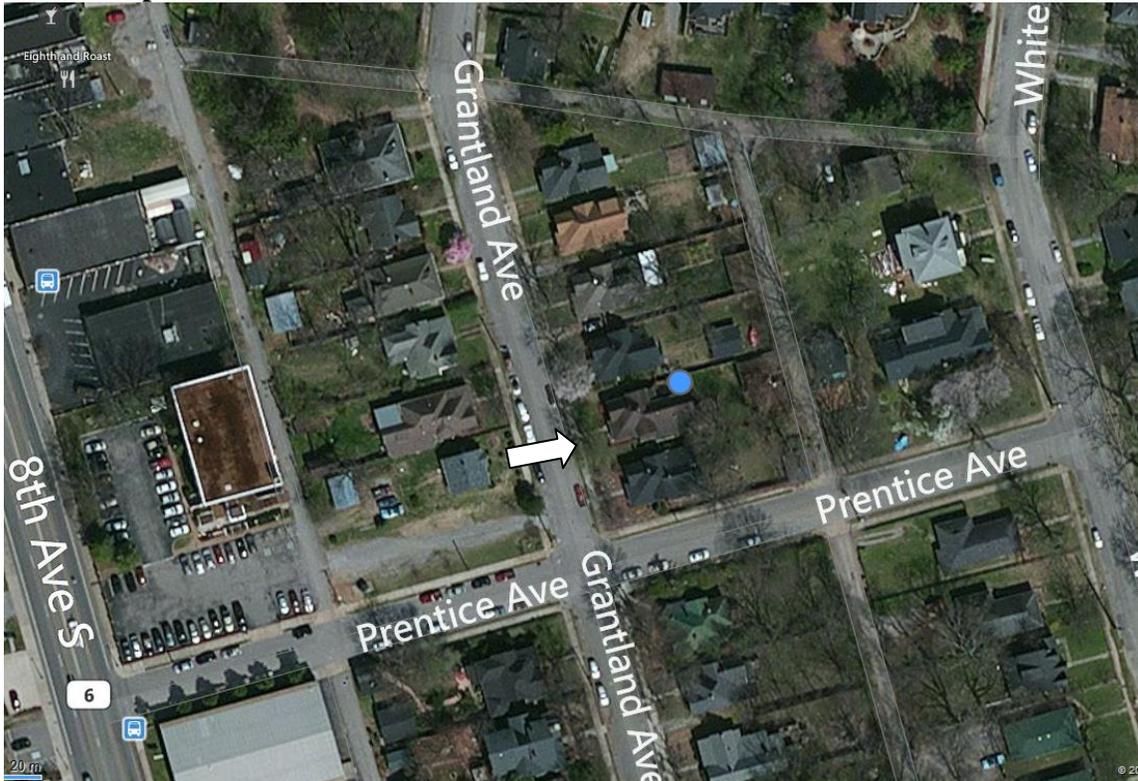
Recommendation Summary: Staff recommends approval of the project with the condition that staff approve the foundation material and the window and door specifications prior to purchase and installation of these materials. With this condition, staff finds that the project meets Sections III.B.1., III.B.2., and V.B.2. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. B. NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

1. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- e. Additions should follow the guidelines for new construction.

- f. *When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.*
- *The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.*
 - *The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.*
 - *Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*
 - *To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

2. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples. Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

V.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

V.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;

- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: 2116 Grantland Avenue is a c. 1904 Queen Anne cottage that contributes to the Woodland-in-Waverly National Register Historic District and the Woodland-in-Waverly Historic Preservation Zoning Overlay (Figure 1). In 2012, MHZC staff issued an administrative permit to re-roof the structure and replace non-historic siding.



Figure 1. 2116 Grantland Avenue

Analysis and Findings:

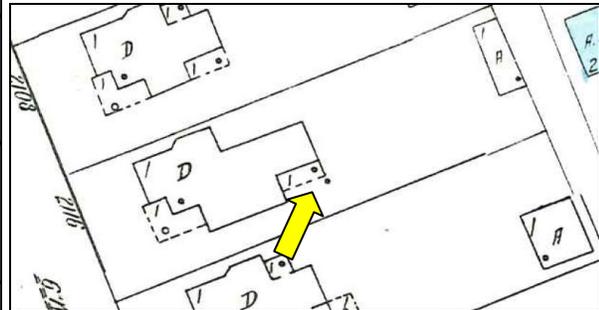
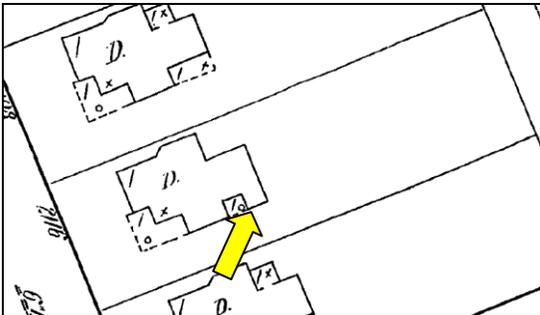
Application is to demolish a non-historic portion of the house and to construct a side addition. The addition will extend approximately six feet (6') beyond the existing right side wall of the historic house.

Partial Demolition: The applicant is proposing to remove and reconstruct a non-historic portion of the rear of the structure (Figures 2 & 3). An analysis of historic Sanborn maps shows that the portions of the house that are to be removed and reconstructed were not in their current configuration as late as 1957 (Figures 4 & 5). Staff therefore finds that the existing conditions of the rear portions of the right side elevation do not contribute to the historic character of the house, and their removal and reconstruction meet the design guidelines. The applicant is also proposing to remove two existing window openings at the rear of the structure, right façade, and install new window openings (Figure 6). Staff finds that these existing windows are not original to the house, as they do not have typical historic window proportions and the windows themselves are not historic. Staff therefore finds that the alteration of these window openings meets the design guidelines.

Staff finds that the removal and reconstruction of part of the right façade at the rear, and the alteration of the window openings on the right façade meet Section V.B.2. for appropriate demolition, and do not meet Section V.B.1. for inappropriate demolition.



Figures 2 & 3 show the rear portion of the house to be removed and reconstructed.



Figures 4 & 5. The 1914 Sanborn map (left) and the 1957 Sanborn map (right) show that the rear portion of the house was not enclosed in its existing form historically.



Figure 6. The window openings that are to be altered.

Height & Scale: The addition will increase the width of the house, at the rear portion of the right elevation, by approximately six feet (6'). The addition will be approximately sixteen feet, seven inches (16' 7") deep. The new addition will add approximately one hundred square feet (100 sq. ft.) to the house's existing footprint.

The addition's foundation height will match that of the existing house. Its eave height will be approximately ten feet (10'), which is slightly taller than the nine foot (9') eaves at the front of the house, but shorter than the twelve foot (12') tall eaves found on the historic portion of the right side elevation. The addition's ridge height will be approximately twenty feet, six inches (20'6"), which matches the ridge height of the rear

portion of the house and is lower than the house's maximum ridge height of approximately twenty-six feet (26'). Staff finds that the addition's height and scale are subordinate to the historic structure and meet sections III.B.1., III.B.2.a., and III.B.2.b. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Location & Removability: The addition involves the reconstruction of a non-historic portion of the rear of the right façade, and will extend beyond the historic structure's sidewall by approximately six feet (6'). While additions are typically encouraged to be located entirely behind the historic house, offset by an inset, staff finds that the wider addition meets the design guidelines for several reasons. The design guidelines state that wider additions are appropriate when a house is shifted to one side of the lot. In this case, the house is shifted to the left side of the lot, so that it is two feet (2') from the left/north side property line and eleven feet (11') from the right/south side property line. In addition, the wider portion of the addition occurs more than forty-five feet (45') behind the house's front wall, and it attaches to a portion of the house that is not historic. Therefore the addition could be removed in the future without affecting the historic integrity of the historic house. Staff finds that the addition meets sections III.B.1.a and III.B.1.d. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Design: The addition is distinguished from the historic portion of the house with a side gabled roof form. At the same time, the addition's subordinate eave and ridge height, its modest footprint, and its location far back from the front wall of the house, ensures that it does not contrast greatly with the historic house. Staff therefore finds that the addition meets sections III.B.1.c. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Setback & Rhythm of Spacing: The addition will meet the base zoning setbacks by being at least five feet (5') from the right/south side property line. Because the addition is located more than forty-five feet (45') from the front of the house, it will not significantly impact the historic house's rhythm of spacing along Grantland Avenue. Staff therefore finds that the addition meets sections III.B.1. and III.B.2.c. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

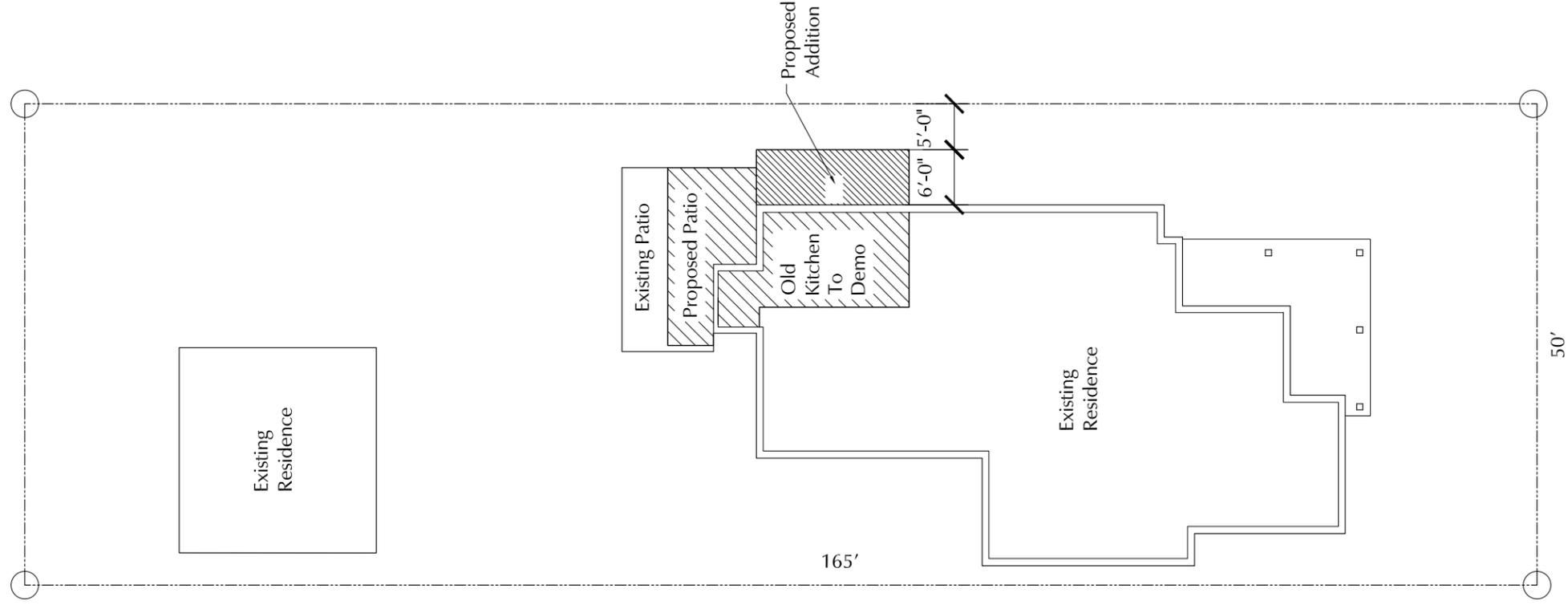
Materials: No major changes to the historic house's materials were indicated on the drawings. The addition's cladding will match that of the historic house, and the trim will be wood. The material for the foundation was not indicated, and staff asks to approve the foundation material if it does not match the rest of the house. The roof will be architectural dimensional shingles in a color to match the existing house. The window and door materials were not specified, and staff asks to review window and door specifications prior to purchase and installation. With the staff's final approval of the windows and doors and the foundation material, staff finds that the addition's materials meet sections III.B.1. and III.B.2.d. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Roof form: The primary roof form for the addition will be a side gable with a slope of 12/12 to match the historic house's roof pitch. At the rear, a 4/12 shed roof will cover the patio. Staff finds that the addition's roof forms meet sections III.B.1. and III.B.2.e. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The windows on the proposed addition are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. The applicant is proposing to alter two window openings on the existing house, on a non-historic portion of the right façade. The new window configuration will better match the historic proportion of window openings. Staff therefore finds the project's proportion and rhythm of openings to meet III.B.1. and III.B.2.g. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Recommendation Summary:

Staff recommends approval of the project with the condition that staff approve the foundation material and the window and door specifications prior to purchase and installation of these materials. With this condition, staff finds that the project meets Sections III.B.1., III.B.2., and V.B.2. of the *Woodland-in-Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.



1

Site Plan



Scale: 1/16"=1'-0"

Drawings:

Site Plan

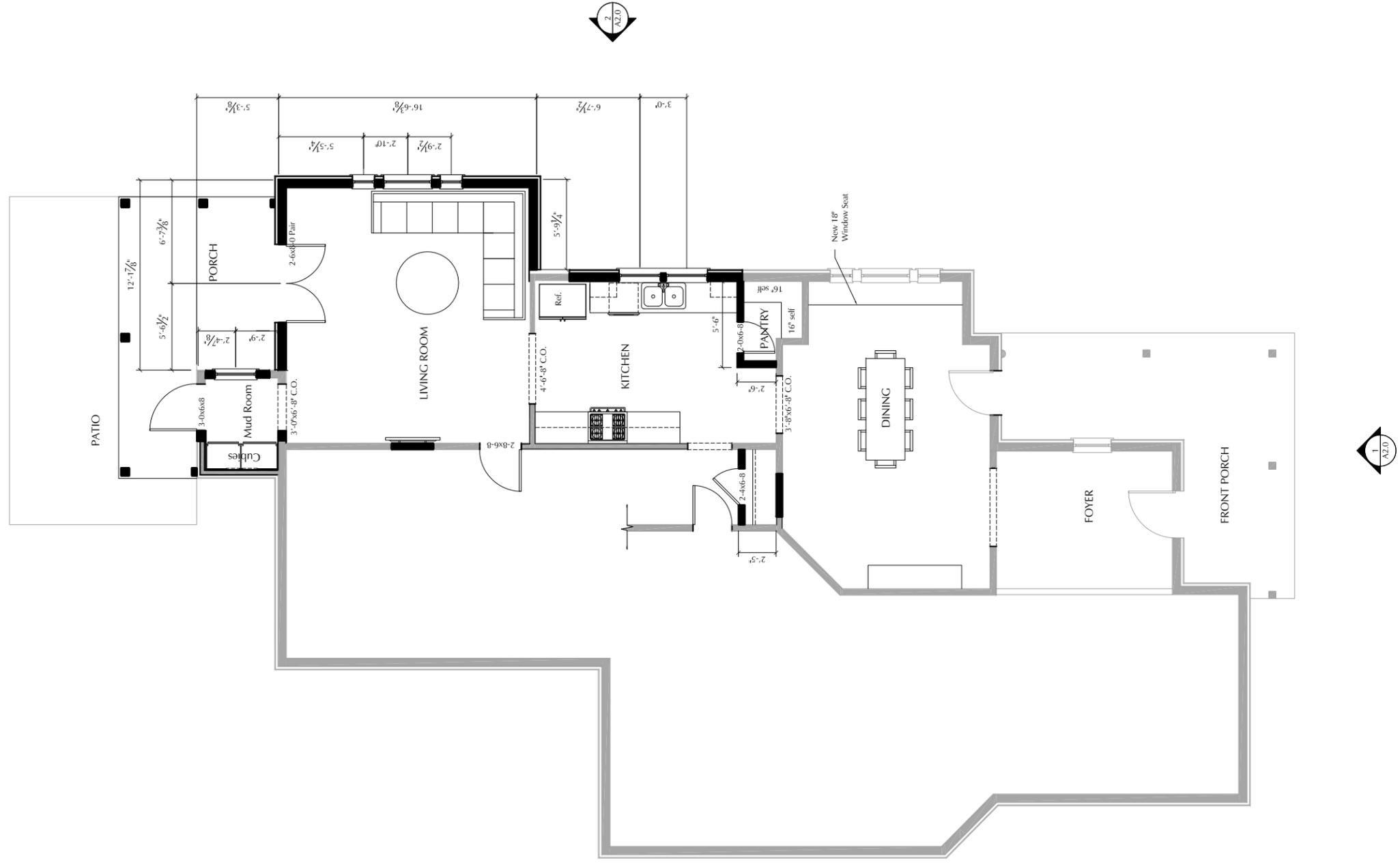
Date:

07.28.14

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A Renovation for:
The Wheeler Residence
 2116 Grantland Avenue
 Nashville, TN 37204

A1.0



1 Floor Plan
 Scale: 1/8"=1'-0"

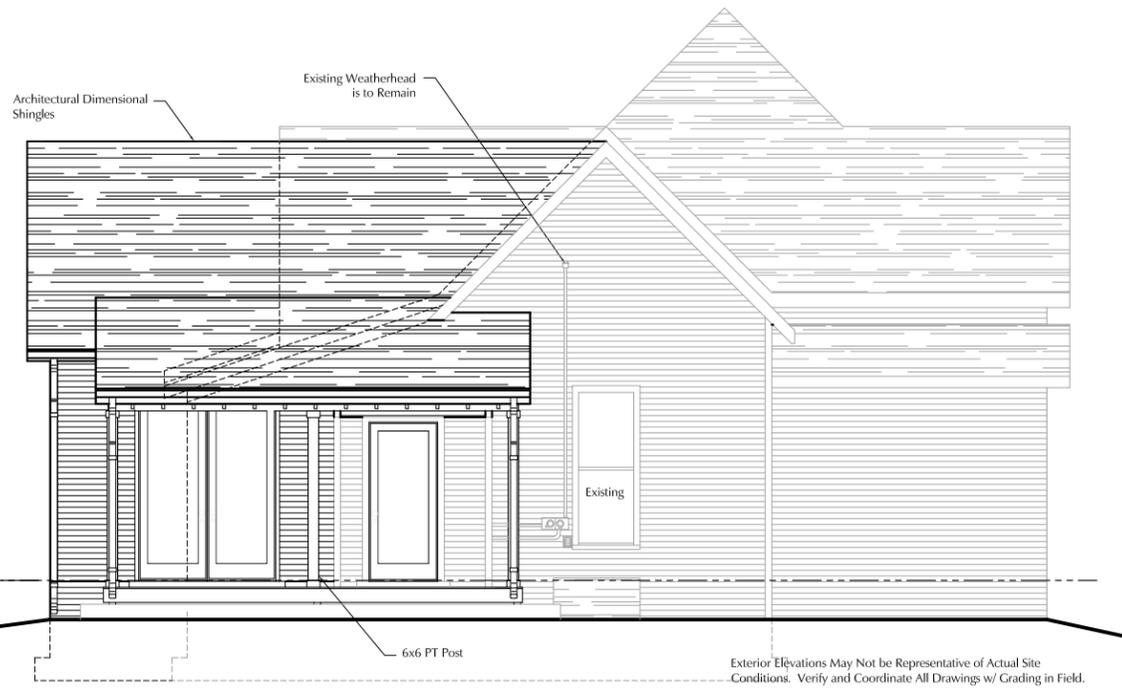
Drawings:
 Floor plan
 Date:
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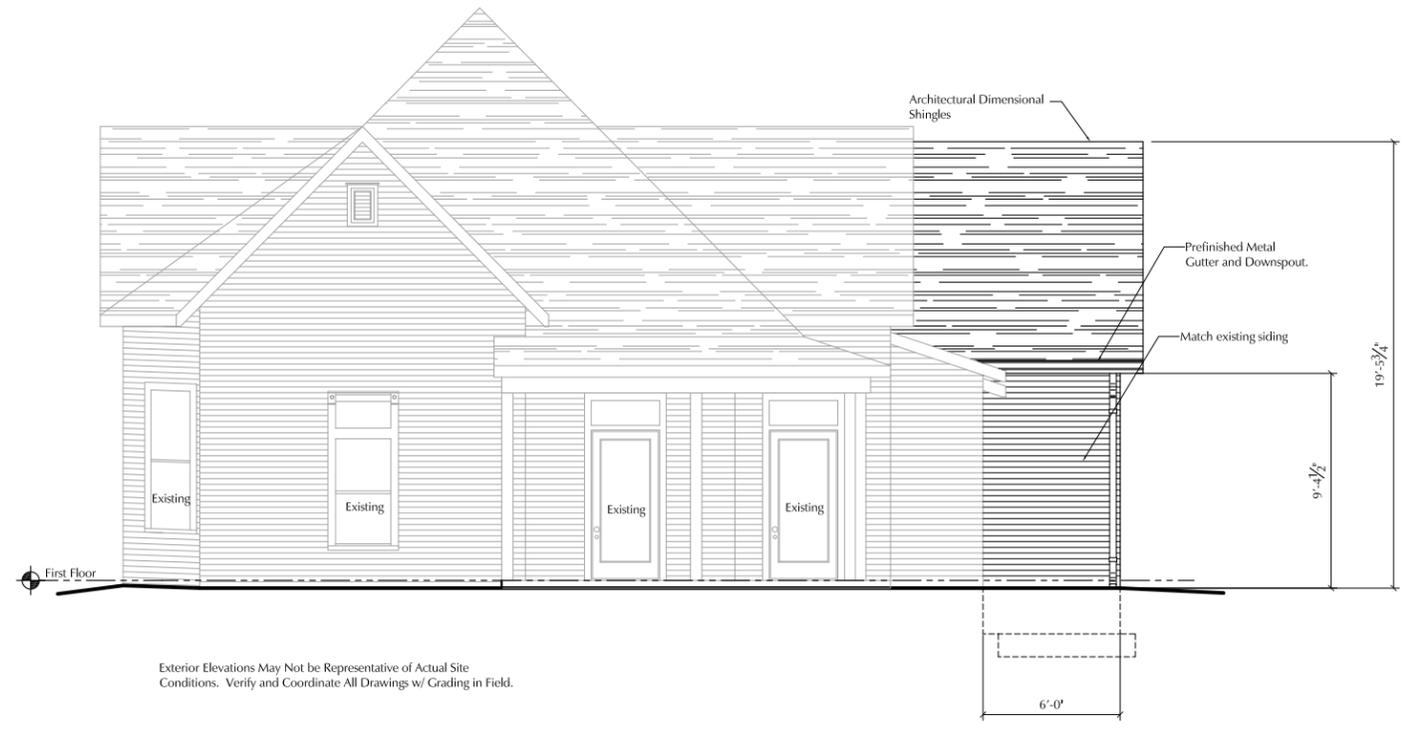
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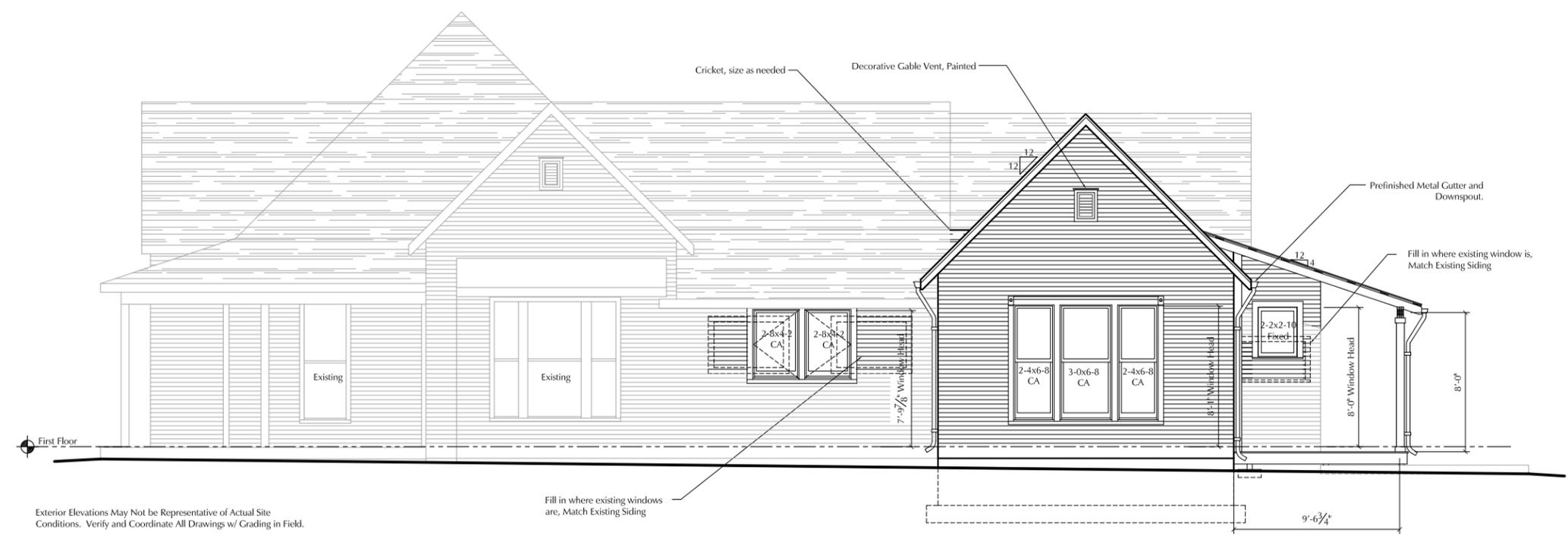
PRELIMINARY - NOT FOR CONSTRUCTION



1 Rear Elevation



2 Front Elevation



3 Side Elevation



PRELIMINARY - NOT FOR CONSTRUCTION

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Drawings:	
Elevations	
Date:	08.05.14

A2.0