



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**916 Fatherland Street**  
**August 20, 2014**

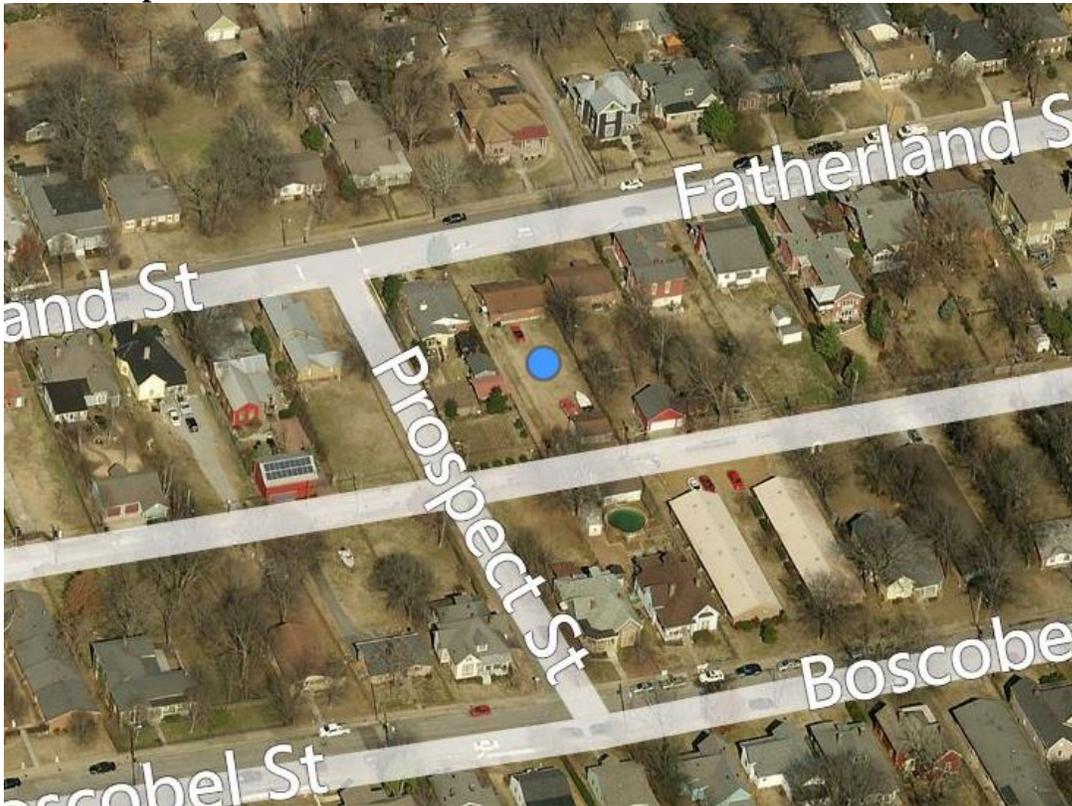
**Application:** New construction—infill  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08216026700  
**Applicant:** Infill Development Services, LLC.  
**Project Lead:** Melissa Baldock, [Melissa.baldock@nashville.gov](mailto:Melissa.baldock@nashville.gov)

<p><b>Description of Project:</b> Application is to construct a duplex infill.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none"> <li>1. The finished floor height be consistent with the finished floor heights of the neighboring historic houses, to be verified by MHZC staff in the field;</li> <li>2. Staff approve a brick sample, the asphalt shingle color, all windows and doors, exterior lighting fixtures, and the front porch and stair railings prior to purchase and installation;</li> <li>3. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house; and</li> <li>4. Staff approve all appurtenances, including but not limited to, fencing, walkways, exterior lighting fixtures, and parking pads.</li> </ol> <p>With these conditions, staff finds that the project meets Section III.B.2. of the <i>Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b></p> <p><b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



**Applicable Design Guidelines:**

**III. B. NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS**

**2. NEW CONSTRUCTION**

**a. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

**b. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

**c. Building Shape**

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

**d. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

**e. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

**f. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be*

*representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **g. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

#### **i. Appurtenances Related to New Construction**

*For information on fences, paving, walls, et cetera, see the Appurtenances section.*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

**Background:** The existing structure at 916 Fatherland Street was constructed c. 1967 and does not contribute to the historic character of the Edgefield Historic Preservation Zoning Overlay (Figure 1). In July 2014, MHZC staff issued an administrative permit to demolish the structure. The structure has not yet been demolished.



Figure 1. 916 Fatherland Street.

### **Analysis and Findings:**

Application is to construct a duplex infill.

**Height & Building Shape:** The proposed infill will be two stories tall, with a ridge height of approximately thirty-one feet (31') above the foundation. Because of the slope of the site, the grade to ridge height will vary from approximately thirty-two feet, one inch (32'1") to thirty-three feet, five inches (33'5") at the front of the house. The eave height will be approximately twenty feet (20') above the foundation. The foundation varies in height because of the slope of the site, and is drawn to range from one foot (1') at the lowest part of the front façade to three feet (3') high at the rear. Staff asks that a condition of approval be that the finished floor height be consistent with the finished floor heights of the neighboring historic houses, to be verified by MHZC staff in the field. With this condition, staff finds that the infill's proposed height matches the historic context, where there is a mix of one, one-and-a-half, and two-story houses. Several of the historic structures are approximately thirty feet (30') tall, and other structures that are as tall as thirty-four feet (34').



The infill will be thirty-seven feet (37') wide at the front, and will expand to be forty feet (40') wide after the midpoint of the structure. Staff finds that this width meets the historic context, where historic houses range in width from thirty feet to forty-two feet (30' – 42'). The duplex will be sixty-seven feet (67') deep, not including the front porches. The duplex's side facades will be broken up with a first-story bay approximately midway on the side façades, and with a wider portion of the duplex that begins approximately thirty-eight feet (38') behind the front wall of the infill.

Staff finds that that infill's height and building shape meet Sections III.B.2.b. and III.B.2.c. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Setback & Rhythm of Spacing: The proposed duplex infill meets all base zoning requirements for setbacks. It will be a minimum of five feet (5') from the two side property lines at its widest point, and will be more than ninety feet (90') from the rear property line. The house will be set back twenty-four feet (24') from the front of the property line. Because the two adjacent houses are non-contributing, the applicant will be matching the front setback of the historic structure at 920 Fatherland, which is appropriate. Staff finds that that infill's setback and rhythm of spacing meet Section III.B.2.a. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Roof Form: The primary roof form will be a hipped roof with a slope of approximately 5.5/12. The design guidelines state that primary roof slopes should be a minimum of 6/12. However, in the Edgefield neighborhood, there are several historic houses with low sloped hipped roofs, including the houses at 610 Fatherland and 817 Russell Street, and therefore, staff finds the 5.5/12 roof slope to be appropriate. The front porch roofs will be hipped with a 3.5/12 slope, and the one-story rear portion of the house will have a shed roof with a slope of 3.5/12. Staff finds that that infill's roof forms are compatible with the surrounding historic neighborhood and meet Section III.B.2.d. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Orientation: The duplex is oriented to face Fatherland Street. The duplex units will have two separate entrances, both of equal prominence, each behind a partial-width front porch that is six feet (6') deep. There will be two pathways leading from the front sidewalk to the front entries. Staff finds that that duplex's orientation meets Section III.B.2.e. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The infill's primary windows will be more than twice as tall as they are wide, and the windows on the second story are no taller than those on the first story. Therefore, the infill's windows meet the historic proportion of window openings. There are no large expanses of wall space without a door or window opening. Staff therefore finds that that infill's proportion and rhythm of openings meet Section III.B.2.f. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Materials: The duplex will be clad in brick, and staff asks to approve a brick sample. The foundation will be split face block, and the roof will be asphalt architectural shingles. Staff asks to approve the shingle color. The porch columns will be wood, and the trim will be wood or cement fiberboard. The porch steps and floor will be concrete. The materials for the windows and doors were not specified, and staff asks to approve the window and door specifications prior to purchase and installation. Staff also requests more information on the exterior lighting fixtures at the entries and the front porch and stair railings. The rear deck and stairs will be wood. With the aforementioned staff approval of materials and samples, staff finds that that infill's materials meet Section III.B.2.g. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Appurtenances & Utilities: The location of the HVAC units and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. Staff also asks to approve any appurtenances, including, but not limited to, fencing, sidewalks and pathways, parking pads, and lighting fixtures.

Outbuildings: Although the site plan shows an outbuilding on the site, no outbuilding is proposed as part of this application. Staff did not review the placement, dimensions or design of an outbuilding, nor of the parking pads.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve a brick sample, the asphalt shingle color, all windows and doors, exterior lighting fixtures, and the front porch and stair railings prior to purchase and installation;
3. The HVAC shall be located behind the house or on either side, beyond the midpoint of the house; and
4. Staff approve all appurtenances, including but not limited to, fencing, walkways, exterior lighting fixtures, and parking pads.

With these conditions, staff finds that the project meets Section III.B.2. of the *Edgefield Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

**Context Photos:**



914 Fatherland Street, non-contributing structure to the right/east



918 Fatherland Street, non-contributing structure to the left/west



920 Fatherland Street, to the left/west of the site



922 and 924 Fatherland St, to the left/west of the site



915 (left) and 917 (right) Fatherland Street, across the street from the site.



919 Fatherland Street, across the street from the site



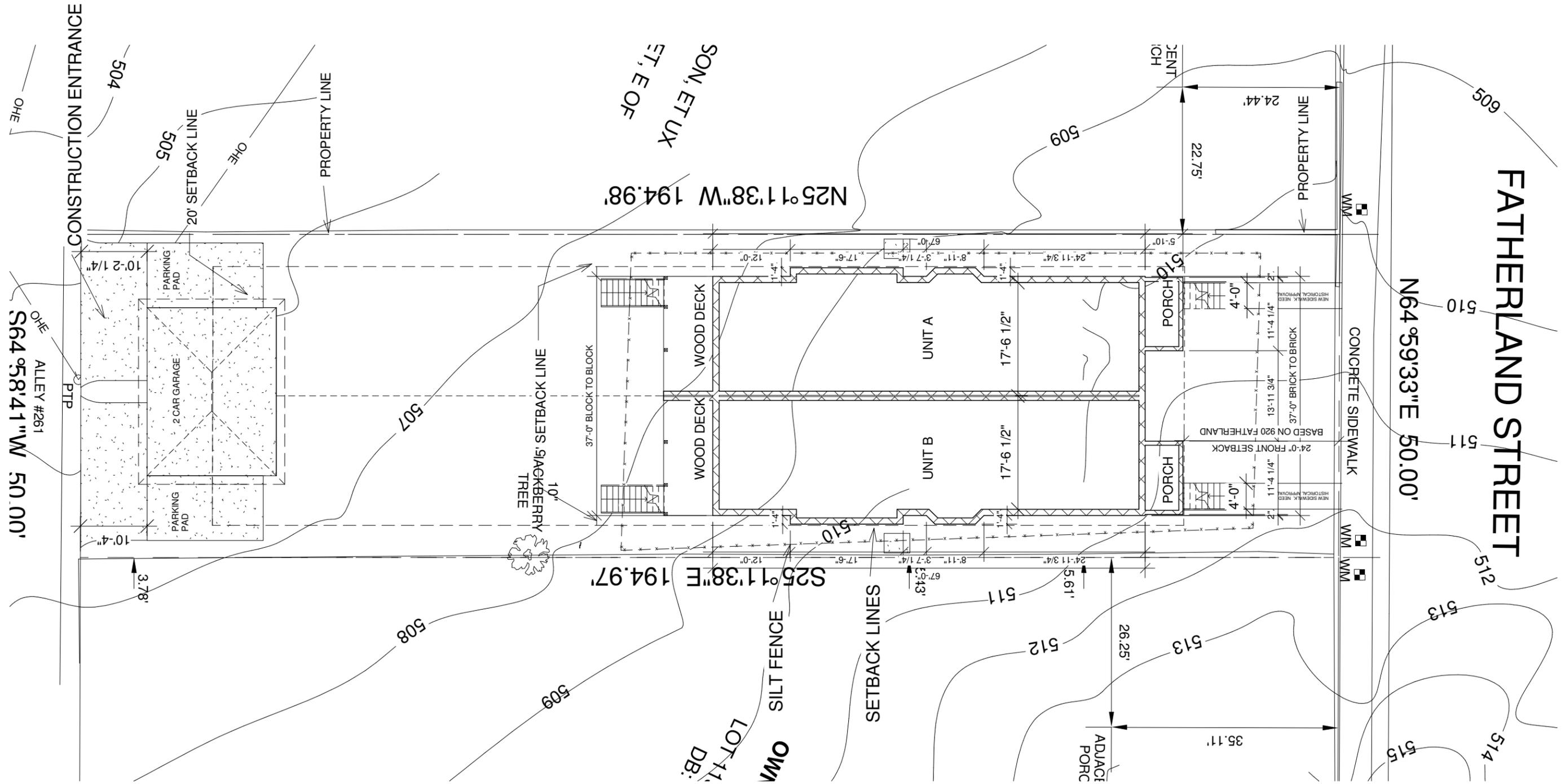
921 Fatherland Street, across the street from the site.

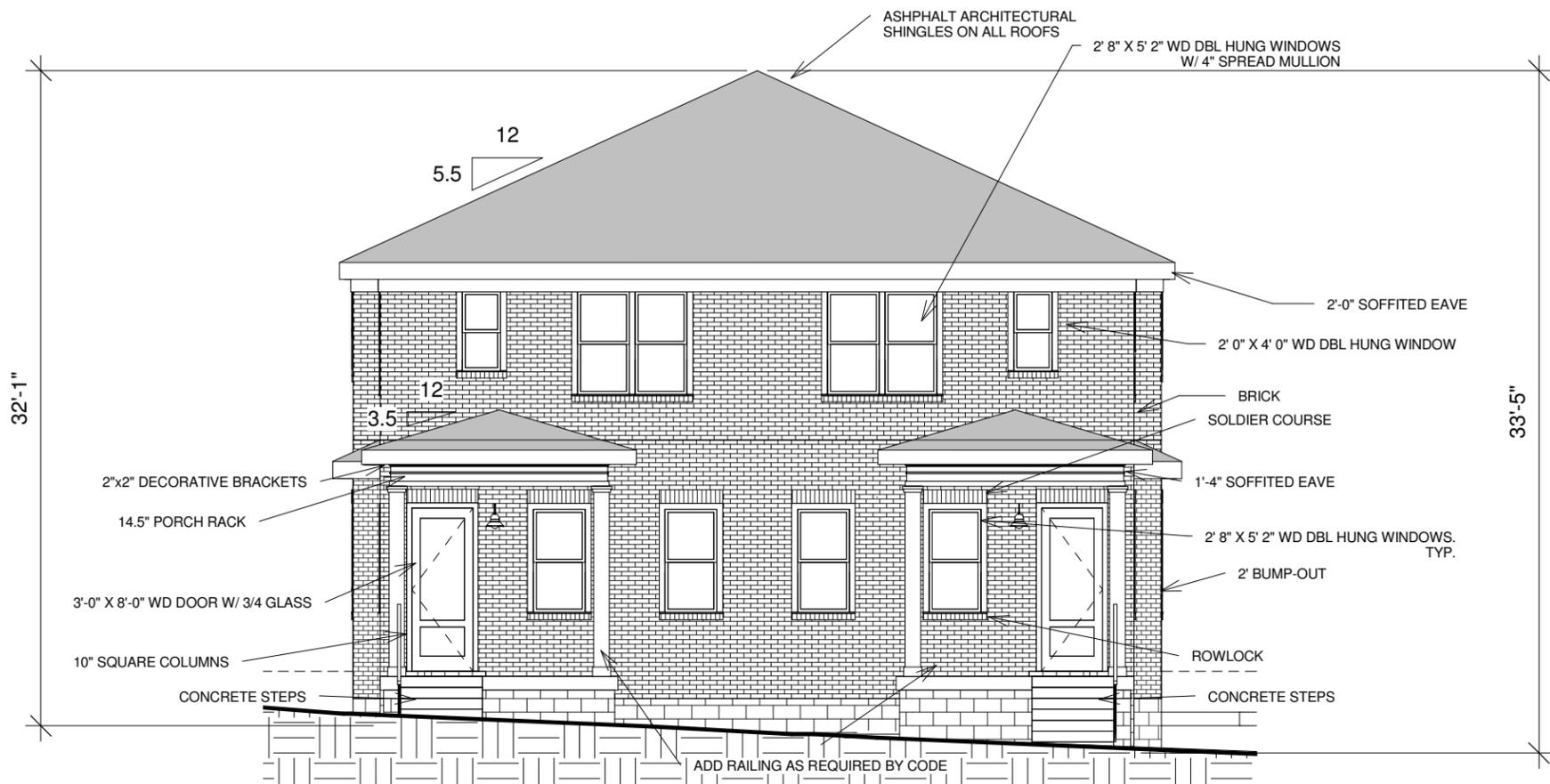


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916 Fatherland  
 Nashville, TN 37206

<b>SITE</b>		<b>H1</b>
Date	8/4/14	
Drawn by	J. Feller	Scale 1/16" = 1'-0"





916 FATHERLAND FRONT ELEVATION

SCALE 1/8" = 1'-0"

① Historic - Front  
1/8" = 1'-0"



② 3D View 2



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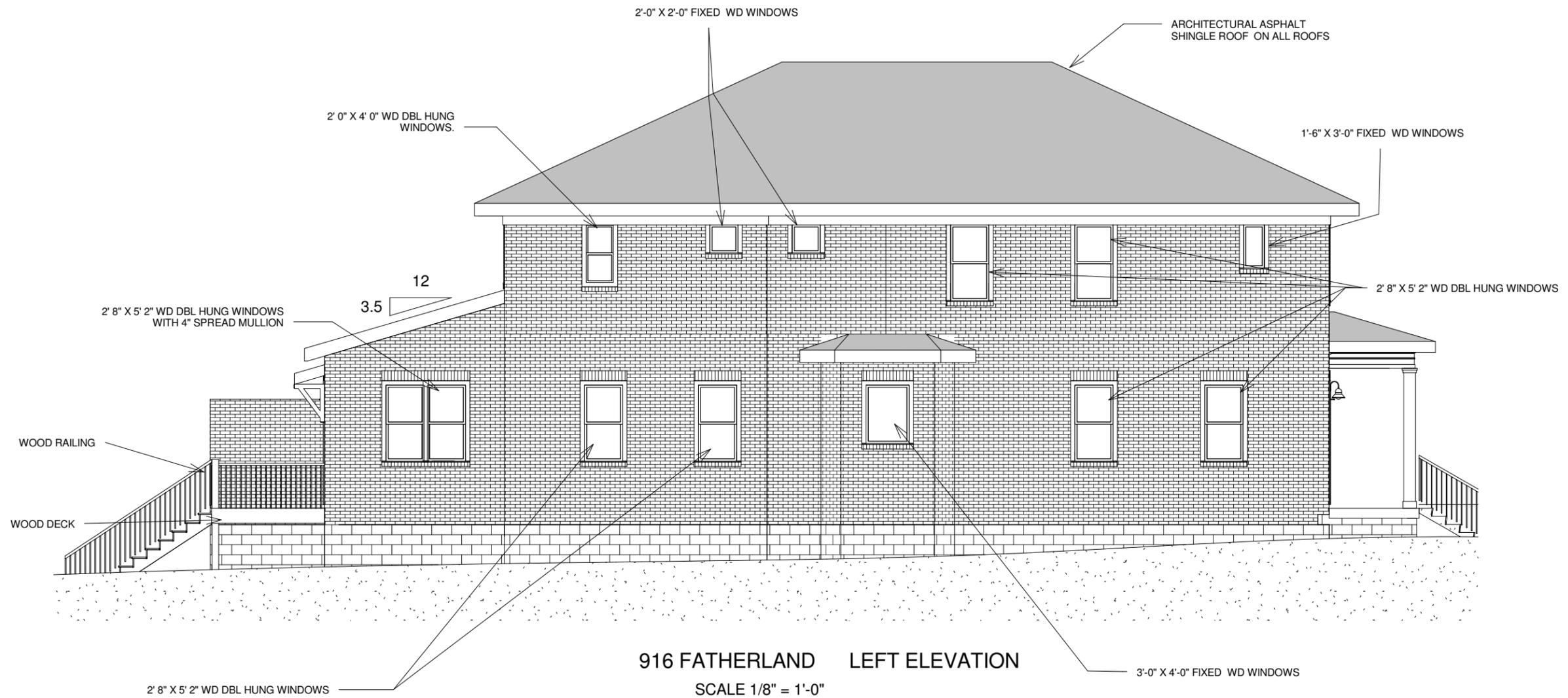
916 Fatherland  
Nashville, TN 37206

FRONT

Date 8/4/14  
Drawn by J. Feller

H2

Scale 1/8" = 1'-0"



916 FATHERLAND LEFT ELEVATION  
SCALE 1/8" = 1'-0"

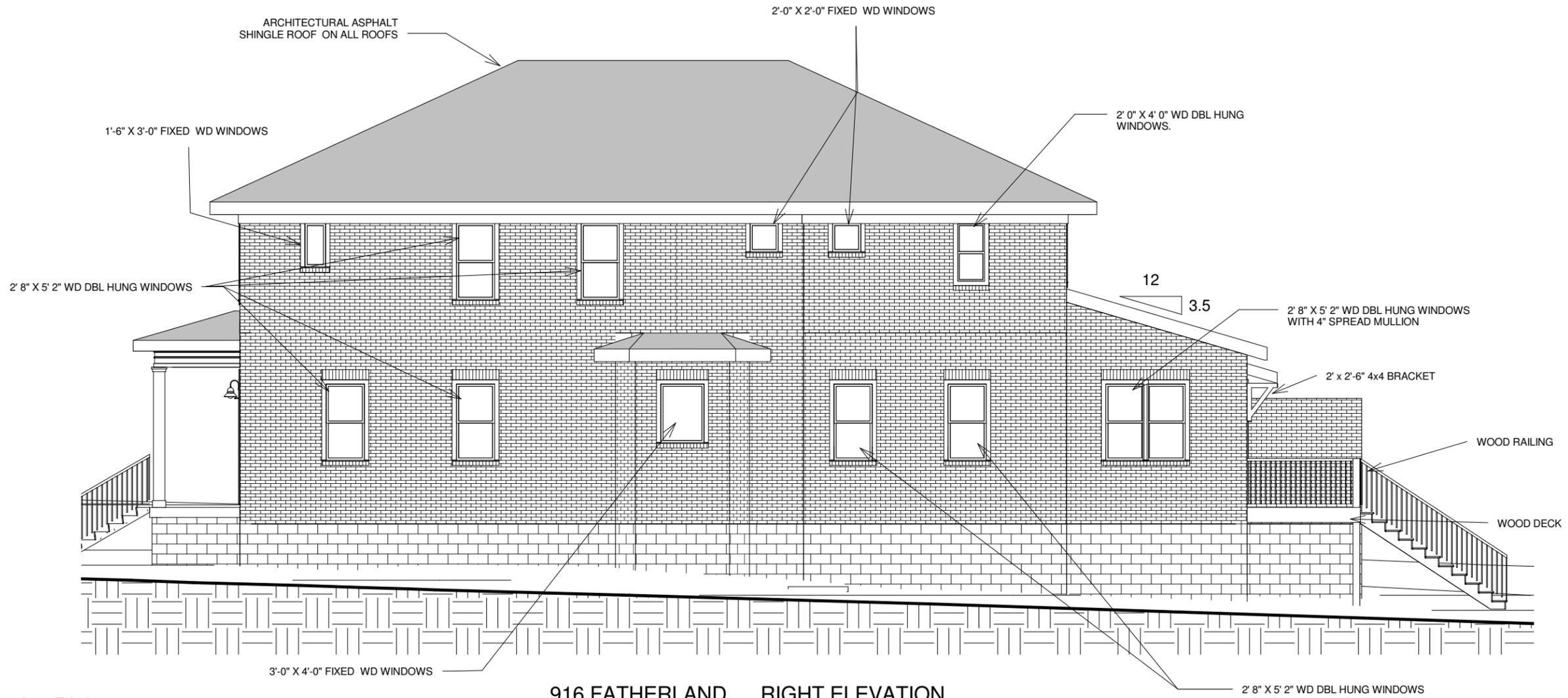
1 Historic - Left  
1/8" = 1'-0"



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916 Fatherland  
Nashville, TN 37206

<b>LEFT ELEVATION</b>		<b>H3</b>
Date	8/4/14	
Drawn by	J. Feller	Scale 1/8" = 1'-0"



① Historic - Right  
1/8" = 1'-0"

916 FATHERLAND RIGHT ELEVATION

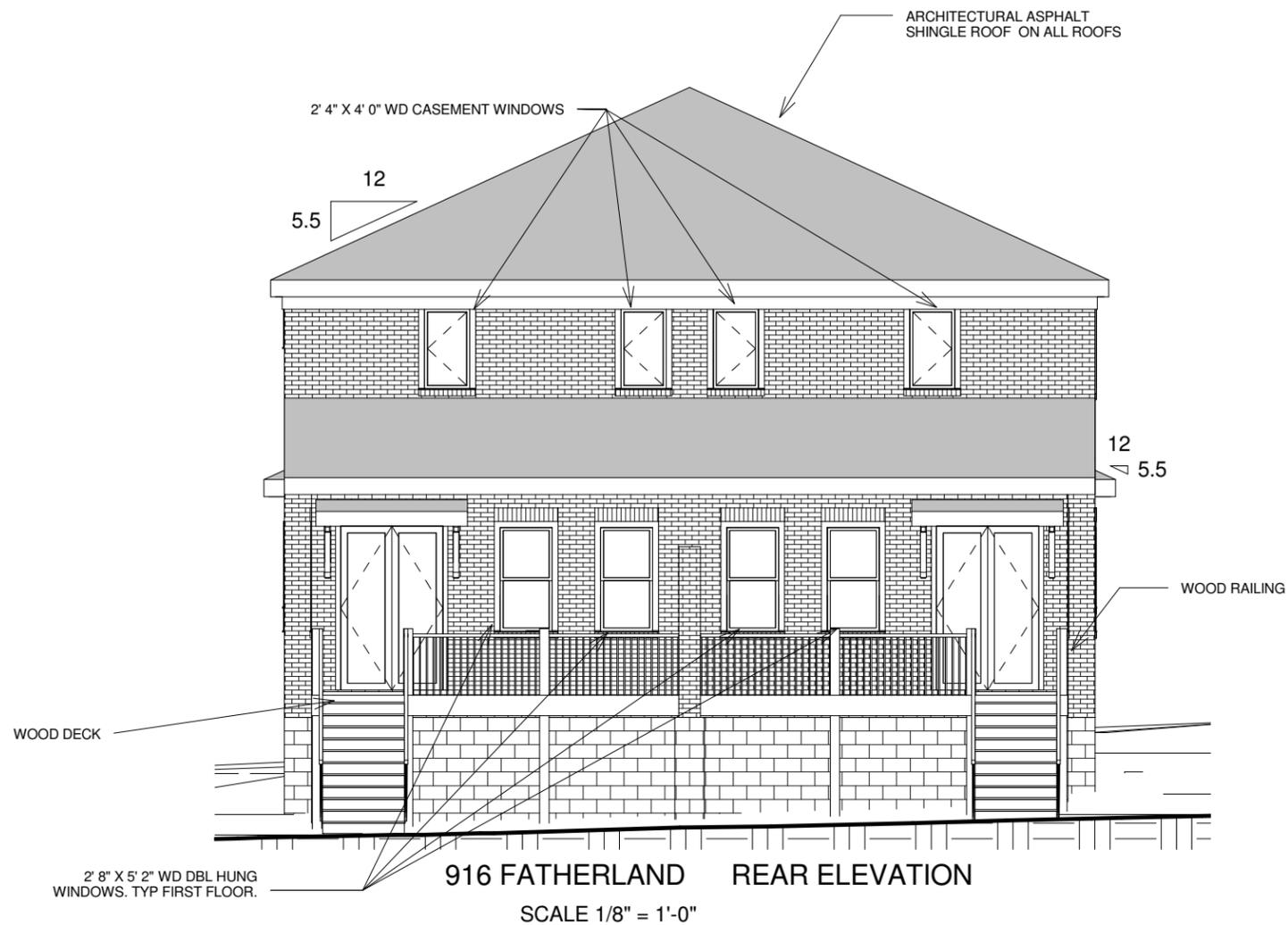
SCALE 1/8" = 1'-0"



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916 Fatherland  
Nashville, TN 37206

<b>RIGHT ELEVATION</b>		<b>H4</b>
Date	8/4/14	
Drawn by	J. Feller	Scale 1/8" = 1'-0"



916 FATHERLAND REAR ELEVATION  
SCALE 1/8" = 1'-0"

① Historic - Rear  
1/8" = 1'-0"



② 3D View 3



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916 Fatherland  
Nashville, TN 37206

<b>REAR ELEVATION</b>		<b>H5</b>
Date	8/4/14	
Drawn by	J. Feller	Scale 1/8" = 1'-0"