



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

## STAFF RECOMMENDATION 1305 Gallatin Avenue September 17, 2014

**Application:** Partial demolition; New construction—addition; Setback determination  
**District:** Eastwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 07213040900  
**Applicant:** Jeffrey Stahl  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to alter and construct an addition to a non-contributing commercial structure. The project requires a setback determination.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
<p><b>Recommendation Summary:</b> Staff recommends approval of the project with condition that staff approve a brick sample, and the location of the HVAC units and other utilities. With this condition, staff finds that the project meets Sections II.B.1., II.B.2., and III.B.2. of the <i>Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B.1 New Construction

#### a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

*Foundation lines should be visually distinct from the predominant exterior wall material.*

*Examples are a change in material, coursing or color.*

#### c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

#### d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner. Stud wall lumber and embossed wood grain are prohibited. Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing. When different materials are used, it is most appropriate to have the change happen at floor lines. Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

e.      R o o f   S h a p e

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

f.      O r i e n t a t i o n

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, curb cuts should not be added.*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

g.      P r o p o r t i o n   a n d   R h y t h m   o f   O p e n i n g s

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

## **II.B. 2. Additions**

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

*Additions normally not recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.*

### *Placement*

- *Additions should be located at the rear of the existing structure.*
  - *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
  - *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
  - *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*
- b. The creation of an addition through enclosure of a front porch is not appropriate.
  - c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
  - d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

- e. Additions should follow the guidelines for new construction.

### **III.B.1 Demolition is Not Appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### **III.B.2 Demolition is Appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

**Background:** 1305 Gallatin Avenue is a commercial structure located at the northeast corner of Gallatin Avenue and Douglas Avenue (Figure 1). It was constructed c. 1968, and is one of the few commercial structures along Gallatin Avenue included in the Eastwood conservation overlay. It does not contribute to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay.



Figure 1. 1305 Gallatin Avenue.

### **Analysis and Findings:**

Demolition: The proposed alteration to the non-contributing structure at 1305 Gallatin Avenue involves demolishing portions of the roof and exterior walls. Because the structure is non-contributing, staff finds that the partial demolition meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Setback & Rhythm of Spacing. The site is zoned CS, which does not have side setback requirements, but does require a twenty-foot (20') rear setback. Staff notes that the rear property line for 1305 Gallatin Avenue is the side property line for 1107 Douglas Avenue, a contributing residential structure (Figures 2 & 3)



Figure 2. 1305 Gallatin (left) and 1107 Douglas Avenue (right).



Figure 3. 1305 Gallatin (left) and the historic residential neighborhood to the right along Douglas Avenue.

The existing commercial structure currently does not meet the existing twenty foot (20') rear setback, and additions to the rear will further encroach upon the setback (Figure 4). At their closest point, the new additions will be five feet, six inches (5'6") from the rear property line. This is about two feet (2') closer than the closest point of the existing structure to the rear property line. Towards Douglas Avenue, where the rear property is closest to the left façade of the house at 1107 Douglas Avenue, the addition will be approximately twelve feet (12') from the rear property line at its closest point. Because of the angle of the building, only a portion of it will encroach into the setback area, rather than the entire width of the building.

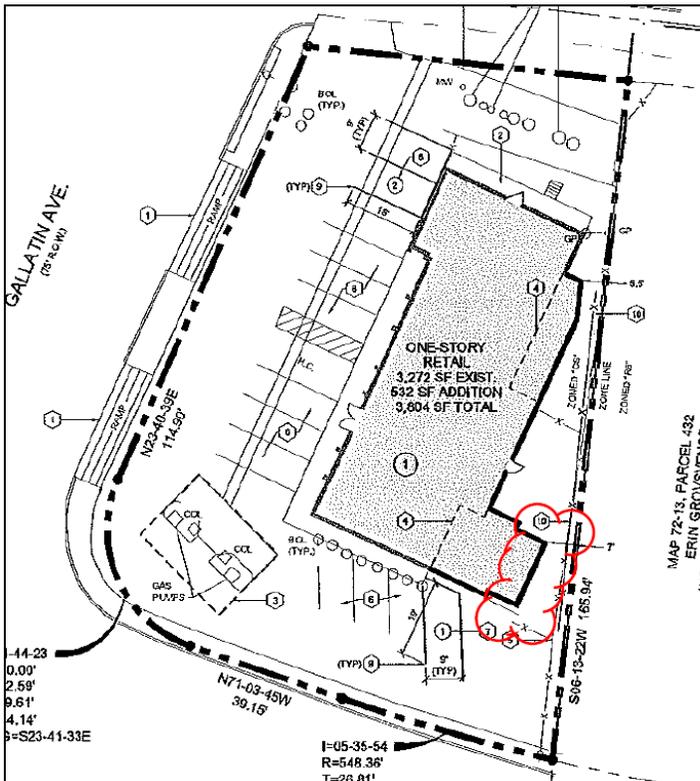


Figure 4. The site plan shows the outline of the existing structure and the new additions. Note that the area circled is an un-covered and un-enclosed pad that is not considered when determining the setback.

Staff finds the proposed setback determination to be appropriate in this instance because the existing structure does not meet the required rear setback, and the expanded structure will only sit a few feet closer to the rear property line than what is existing. MHZC staff spoke to the staff at the Codes Department, and the Codes department agrees with the proposed rear setback because there is “no increase in the degree of non-conformity.” Staff therefore finds that the project meets Section II.B.1.c. and II.B.2. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The redesigned structure will increase the height of the existing structure, but the new height and scale will be appropriate for a commercial structure facing Gallatin Avenue. The main portion of the structure will be approximately eighteen feet (18’) tall at the front facing Gallatin Avenue, with a projecting shed awning that will be approximately twenty feet (20’) tall. A tower element will be added towards the north end of the structure, located away from the historic residential neighborhood. It will be approximately thirty-one feet (31’) tall and seven feet (7’) wide. At the rear, the building’s depth will be extended by approximately sixteen feet (16’) with a one-story extension. The width of the structure along Gallatin Avenue will not change. Staff finds that the redesigned structure’s height and scale are appropriate for a commercial structure facing a non-residential street like Gallatin Avenue, and meet Section II.B.1.a. and b. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials: The existing structure is largely smooth face concrete block. Much of the existing structure will be re-clad with cement fiberboard siding, cement fiberboard panels, and cement fiberboard trim. The siding will have a reveal of six inches (6”), which is larger than what the Commission typically approves for residential new construction. However, staff finds the six inch (6”) reveal to be appropriate because this is a non-contributing commercial structure that is oriented to face a major commercial thoroughfare rather than a residential street. The larger reveal will help set the structure apart from the residential neighborhood. The windows will be aluminum storefront windows, which are appropriate for a commercial structure like this one. The foundation will be brick, and staff asks to approve the brick color. The Gallatin Avenue façade includes an aluminum sun shade. The roof will be a rubber membrane/TPO roof, which is appropriate for flat and low-sloped roofs on a commercial structure like this building. The rear of the structure will be concrete block, as is existing. With the staff’s final approval of a brick sample, staff finds that the project’s materials meet Section II.B.1.d. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof form: The main portion of the structure will have a shed roof with a slope of 2/12. Portions of the rear and the northern-most portion of the structure will have a flat roof. Staff finds that these roof forms are appropriate for a commercial structure, particularly one facing a commercial thoroughfare like Gallatin Avenue. Staff finds that the structure’s roof form meets Section II.B.1.e. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Orientation: The structure is oriented to face Gallatin Avenue like its existing configuration. Staff finds that this is appropriate and meets Section II.B.1.f. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The Gallatin Avenue façade will be primarily glazing, which is appropriate for a commercial structure. The design does include windows along the Douglas Avenue façade, which faces the residential portion of the conservation overlay. The rear and northern facades have no window openings. Staff finds the project's proportion and rhythm of openings to be appropriate for a commercial structure and to meet Section II.B.1.g. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Appurtenances & Utilities: No changes to the site's existing parking or other major appurtenances are included on the site plan. The location of the HVAC unit and other utilities was not specified, and staff asks to approve the locations.

**Recommendation Summary:**

Staff recommends approval of the project with condition that staff approve a brick sample, and the location of the HVAC units and other utilities. With this condition, staff finds that the project meets Sections II.B.1., II.B.2., and III.B.2. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

\\ProjectMaster\blueprint\ProjectMaster\13228-Ikon Construction, Inc.-Nashville, TN-1305 Gallatin Rd\Drawings\13228 - Oasis Market - Historic.rvt

# OASIS MARKET



1305 GALLATIN AVENUE NASHVILLE, TN 37206



ARCHITECTS

Cert # LL-60

ARCHITECTURE  
PLANNING  
ENGINEERING  
GRAPHICS

105 BROADWAY  
4TH FLOOR  
NASHVILLE, TN 37201  
(p) 615.244.8170  
(f) 615.244.8141  
www.mjmarsh.com

SEAL

CONSULTANT

OWNER

LOCATION

DATE

SHEET

NASHVILLE, TN

OASIS MARKET

1305 GALLATIN AVENUE  
NASHVILLE, TN 37206

HISTORICAL REVIEW  
08.20.14  
MJM 13228

#	DESCRIPTION	DATE

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

COVER SHEET

T1

Stanley K. Draper, R.L.S.  
 4304 Central Valley Drive  
 Hemlock, TN 37079  
 (615) 851-3859 cell/fax  
 (615) 250-2066 cell  
 stanleykdraper@comcast.net



20 0 10 20 40  
 GRAPHIC SCALE - 1 inch = 20 ft.



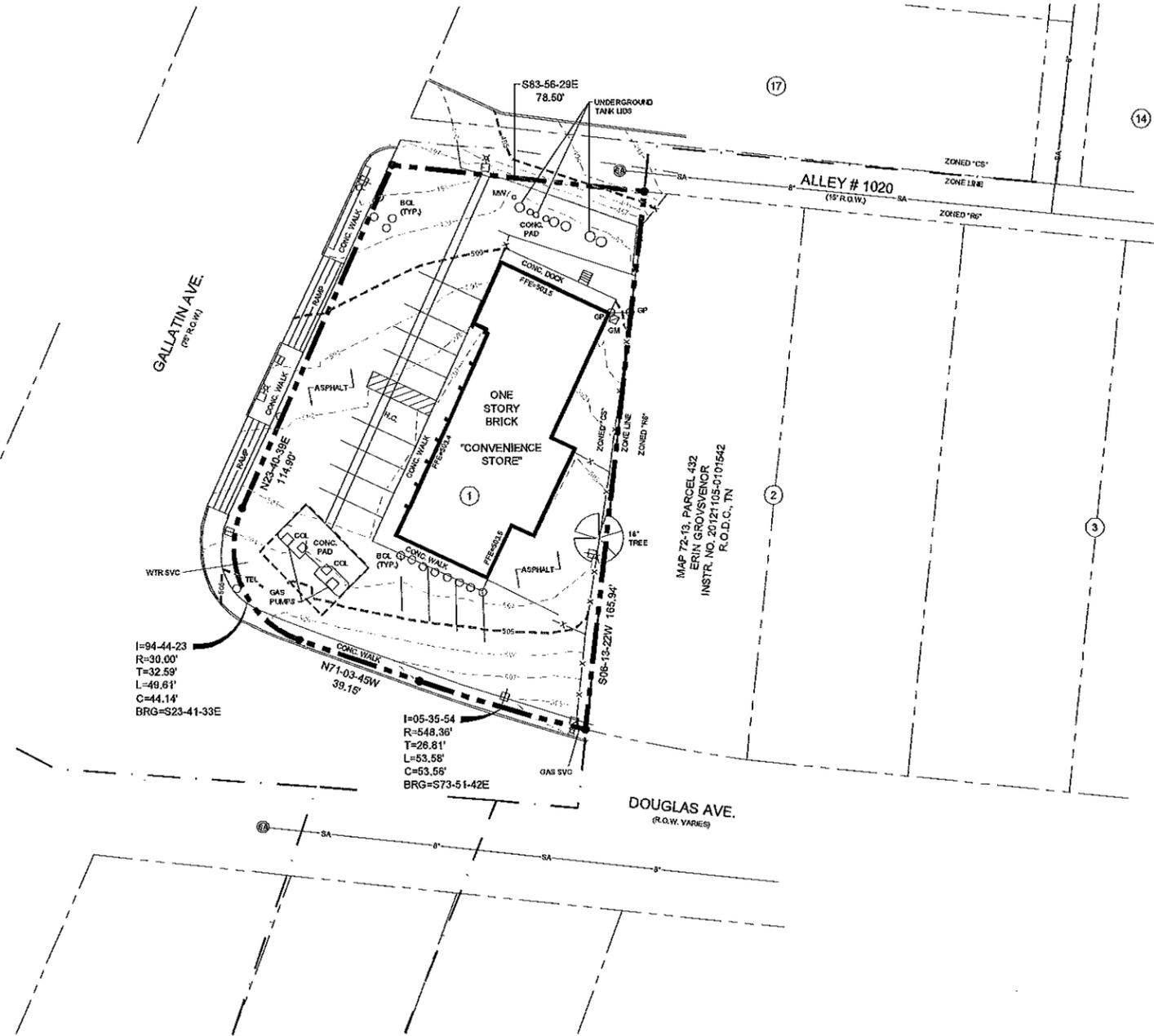
Know what's below.  
 Call before you dig.  
 NATIONAL ONE CALL  
 811  
 CALL BEFORE DIGGING  
 IN THIS AREA



ARCHITECTURE 105 BROADWAY  
 PLANNING 4TH FLOOR  
 ENGINEERING NASHVILLE, TN 37201  
 GRAPHICS (p) 615.244.8170  
 (f) 615.244.8141  
 www.mmarch.com

**NOTES:**

1. ALL DISTANCES WERE MEASURED WITH THE D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
2. UTILITIES HAVE BEEN PLOTTED FROM SURFACE FEATURES FOUND AT THE TIME OF SURVEY AND AVAILABLE MAPS AND RECORDS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE SURVEYOR. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
3. LOT NUMBERS SHOWN THIS DRAWING REFER TO SHARPE & HORIS FORTH ADDITION TO NASHVILLE, OF RECORD IN PLAT BOOK 151, PAGE 172, AT THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
4. THIS SURVEY PREPARED FROM PLAT OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR GUARANTEE OF TITLE AND IS SUBJECT ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WOULD REVEAL.
5. THIS PROPERTY IS CURRENTLY ZONED "CS". BUILDING SETBACKS SHOULD BE INTERPRETED BY METRO CODES.
6. REPRODUCTION OR USE OF THIS DRAWING OR ANY PART THEREOF IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE SURVEYOR WHOSE SEAL APPEARS ON THIS SURVEY. COPYRIGHT 2013.



TOTAL AREA: 15584 SQ. FT. OR (0.358± ACRES)

BOUNDARY & TOPOGRAPHIC SURVEY  
 OF  
 1305 GALLATIN ROAD  
 MAP 72-13, PARCEL 409  
 Instr. No. 20110603-00042553  
 6th COUNCILMANIC DISTRICT  
 NASHVILLE-DAVIDSON COUNTY-TENNESSEE  
 DATE: 11-12-13



NASHVILLE, TN 37204

OASIS MARKET

1305 GALLATIN AVENUE  
 NASHVILLE, TN 37206

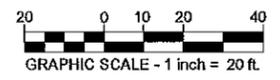
100% REVIEW  
 07.09.14  
 MJM 13228

NO.	DESCRIPTION	DATE

Existing Conditions

C-1.1

SEAL  
 CONSULTANTS  
 OWNER  
 LOCATION  
 DATE  
 REVISIONS  
 SHEET



105 BROADWAY  
4TH FLOOR  
NASHVILLE, TN 37201  
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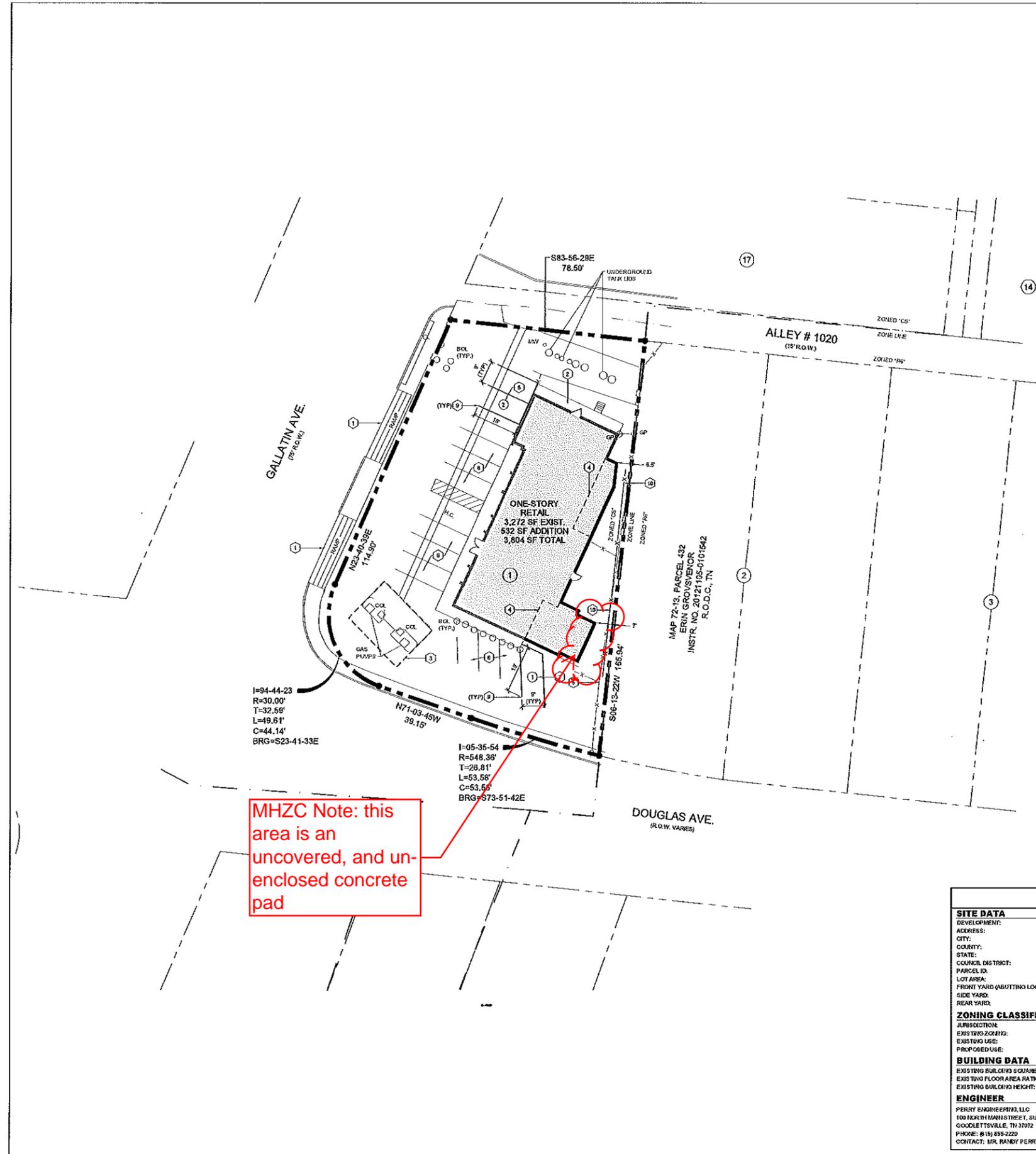
NASHVILLE, TN 37204

**OASIS MARKET**  
1305 GALLATIN AVENUE  
NASHVILLE, TN 37208

100% REVIEW  
**07.09.14**  
MJM 13228

NO.	DESCRIPTION	DATE

Site Plan  
**C-2.1**



**TRAFFIC CONTROL NOTES:**

- WHENEVER CONSTRUCTION OPERATIONS ENCRoACH ON THE RIGHT OF WAY OF ADJACENT ROADWAYS, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN THE RIGHT-OF-WAY OF ADJACENT ROADWAYS.
- ALL TRAFFIC CONTROL, INCLUDING MARKINGS, SIGNS, ETC. SHALL FOLLOW THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

**CONTRACTOR KEY NOTES:**

- EXISTING RAMP
- EXISTING DOOR
- EXISTING CANOPY
- EXISTING BUILDING WALL
- EXISTING FENCE TO BE REMOVED
- EXISTING PARKING
- 1 PROPOSED PARKING SPACE
- 2 PROPOSED PARKING SPACES
- 4" WIDE PAINTED SINGLE SOLID WHITE STRIPE (TYP)
- TALL OPAQUE FENCE ALONG REAR OF BUILDING

**GENERAL NOTES:**

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- ALL CONCRETE SHALL BE CLASS "A" (4000 P.S.I.), UNLESS OTHERWISE NOTED. PREFORMED FIBER EXPANSION JOINTS (I/J) SHALL BE PROVIDED WHERE SIDEWALKS OR PAVED COURTS, EXTERIOR BUILDINGS OR CONCRETE CURBS, TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 25' TO MATCH TRANSVERSE JOINT MARKINGS. TRANSVERSE JOINT MARKINGS SHALL BE MADE TO FORM BLOCKS AS NEARLY SQUARE AS POSSIBLE.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, AND ALL RADII ARE 4' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE PAVEMENT. STALLS ADJACENT TO 8' WIDE STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
- ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR NASHVILLE BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND T.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, AND GEOTECHNICAL ENGINEERING REPORT.
- ALL ON-SITE PAVEMENT MARKINGS SHALL BE 4" PAINTED, USING WHITE LINES ON ASPHALT PAVING AND YELLOW LINES ON PORTLAND CEMENT CONCRETE PAVING, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
- THE ENGINEER AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUB-CONTRACTOR. SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE, OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS.
- ALL SIDEWALKS, EXISTING AND PROPOSED, ARE TO BE CONSTRUCTED AND OR LEFT IN A CONDITION THAT MEETS OR EXCEEDS METROPOLITAN NASHVILLE PUBLIC WORKS STANDARDS.
- ALL WORK IN THE RIGHT-OF-WAY MUST COMPLY WITH METROPOLITAN PUBLIC WORKS STANDARDS. THE INSPECTOR FOR THE PROJECT IS MR. RORY ROWAN (815-861-8141). CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE METROPOLITAN PUBLIC WORKS UTILITY OFFICE PRIOR TO BEGINNING WORK. CHECK ALL SIDEWALKS IN THE RIGHT-OF-WAY FOR COMPLIANCE.
- CONCRETE WHEEL STOPS TO BE INSTALLED 4" FROM END OF PARKING STALL.

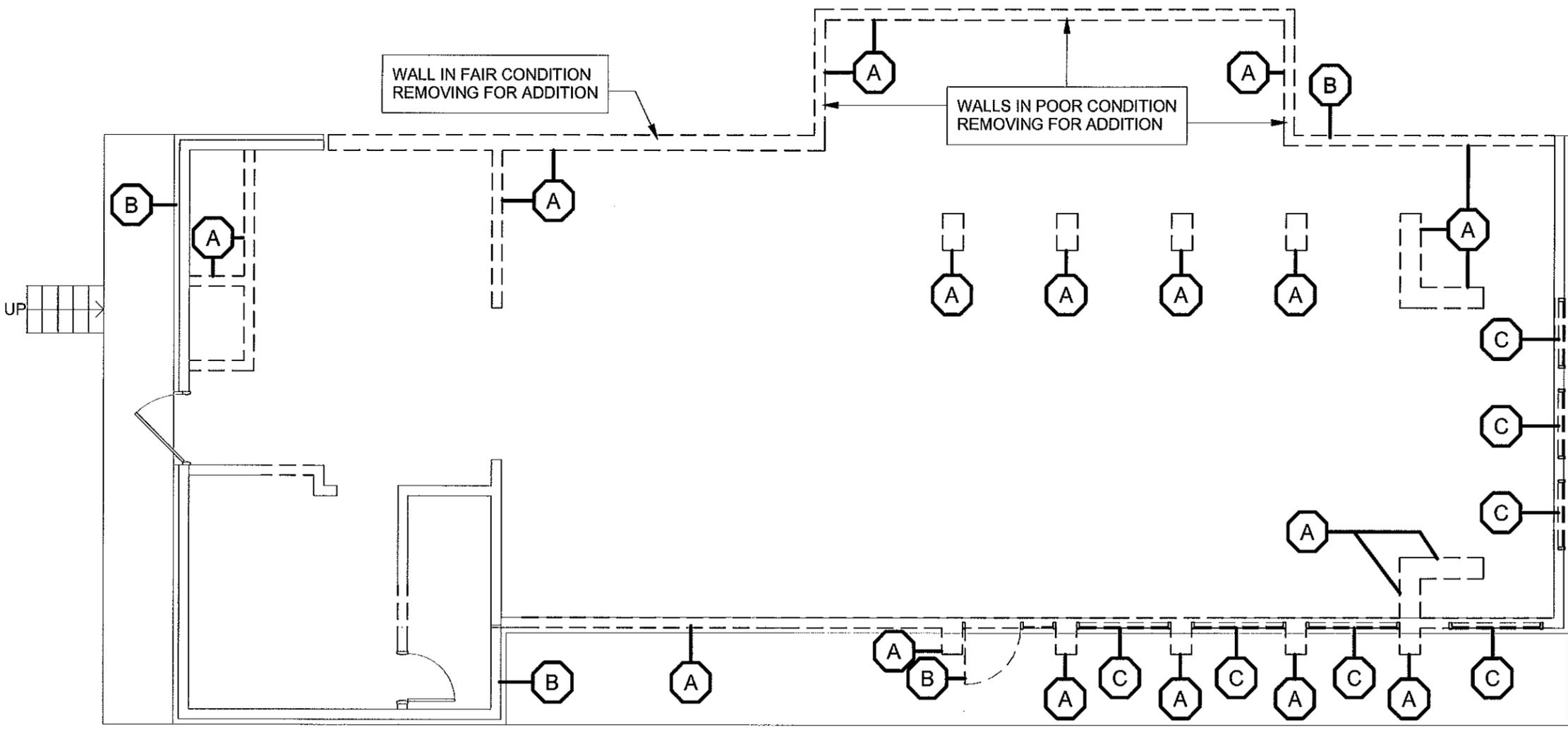
MHZA Note: this area is an uncovered, and un-enclosed concrete pad

SITE DATA:	
<b>SITE DATA</b>	OASIS MARKET
DEVELOPMENT:	1305 GALLATIN AVENUE
ADDRESS:	NASHVILLE
CITY:	DAVIDSON
COUNTY:	DAVIDSON
STATE:	TENNESSEE
COUNCIL DISTRICT:	06
PARCEL ID:	0713640000
LOT AREA:	15,682 S.F. OR 0.36 ACRES
FRONT YARD (ABUTTING LOCAL STREET):	5'-15'
SIDE YARD:	0'
REAR YARD:	0'
<b>ZONING CLASSIFICATION</b>	DAVIDSON COUNTY
JURISDICTION:	CS, CV-015, CV-040, CV-042
EXISTING ZONING:	CONVENIENCE MARKET WITH GAS
EXISTING USE:	CONVENIENCE MARKET WITH GAS
PROPOSED USE:	CONVENIENCE MARKET WITH GAS
<b>BUILDING DATA</b>	
EXISTING BUILDING SQUARE FOOTAGE:	3,272 S.F.
EXISTING FLOOR AREA RATIO:	3.212 / 15,682 = 0.209
EXISTING BUILDING HEIGHT:	1-STORY
<b>ENGINEER</b>	<b>DEVELOPER</b>
PERRY ENGINEERING, LLC 100 NORTH MAIN STREET, SUITE F GOODLETTSVILLE, TN 37072 PHONE: (615) 855-2229 CONTACT: MR. RANDY PERRY, P.E.	IKON CONSTRUCTION 4330 KENILWOOD DRIVE, SUITE 410 NASHVILLE, TN 37204 PHONE: (615) 533-1779 CONTACT: MR. DAVID LESTER

ZONING REVIEW CHECKLIST:	
APPLICATION#: MAP 72-13 PARCEL 432	PROJECT NAME: OASIS MARKET
MAP 72-13 PARCEL 432	EXAMINER:
USE - CHAPTER 17.08 AND 17.16	DETERMINE THE USE: C-STORE
PROPERTY ZONING: CS	OVERLAY(S): UZO
USE CATEGORIES: P, PC, SE, A	SURROUNDING ZONING: R8 AND CS
<b>SITE CRITERIA</b>	**Supplemental Checklist Also Required for UZO**
SUBDIVISION/PLAT NOTE ANY SPECIAL REQUIREMENTS SUCH AS EASEMENTS, SETBACK RESTRICTIONS AND ETC.)	
MINIMUM LOT SIZE: N/A	FOOTPRINT: 3,604 S.F.
MINIMUM LOT AREA: N/A	MINIMUM: 0.30
MINIMUM FRONT SETBACK: N/A	MAXIMUM: 0.90
MINIMUM SIDE YARD: N/A	MINIMUM: 0.90
MINIMUM REAR YARD: N/A	MINIMUM: 0.90
MINIMUM HEIGHT: 3'	MINIMUM: 0
MINIMUM HEIGHT OF FLOORS: 1'	MINIMUM: 0
<b>PARKING AND ACCESS - CHAPTER 17.20</b>	**Supplemental Checklist Also Required for UZO**
RAMP LOCATION AND NUMBER: GALLATIN AVE. (2 RAMP) / ALLEY 1020 (1 RAMP) / DOUGLAS (1 RAMP)	
DISTANCE TO NEAREST EXISTING RAMP: N/A	MINIMUM STREET PROVIDING: 3
DISTANCE TO INTERSECTION: 0 FEET	ARTERIAL STREET PROVIDING: 0
REQUIRED PARKING BASED ON USES:	REQUIRED: 0
REQUIRED LOADING BASED ON USES:	REQUIRED: 0
REQUIRED OVERSIZES: 1,250 SQ. FT.	REQUIRED: 0
SPACE DIMS, AISLE WIDTHS, ANGLE DATA: 9'11" / 60 DEG.	PROVIDING: 0
OVER 10 SPACES: 0	
NUMBER OF COMPACT SPACES: 1	
NUMBER OF HANDICAPPED SPACES: 1	
SIDEWALKS REQUIRED:	INTERNAL: N/A
	PUBLIC: N/A
<b>LANDSCAPING STANDARDS - CHAPTER 17.24</b>	**Supp. Checklist Also Required for UZO**
REQUIRED BUFFER YARDS: REAR YARD (ALONG ADDITION)	
BUFFER YARD ADJUSTMENT: UZO	
STANDARD FOR 4 OR MORE LANES: N/A	
STANDARD FOR LESS THAN 4 LANES: N/A	
SIDE LINES ADJACENT TO PARKING AREAS: 5' MIN. WIDTH WITH TREES - 2.5' W. TREE ISLANDS: N/A	
INTERIOR LANDSCAPING MINIMUM 65 AREA: N/A	
OPaque FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA: N/A	
SCREENING AROUND DUMPSTERS AND CHAIN LINK FENCE PERMITTED: N/A	
TREE DENSITY: N/A	



- A** DEMOLISH EXISTING WALL
- B** DEMOLISH EXISTING DOOR
- C** DEMOLISH EXISTING WINDOW
- D** DEMOLISH EXISTING STOREFRONT



1 DEMOLITION PLAN  
1/8" = 1'-0"



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LOCATION  
 OASIS MARKET  
 1305 GALLATIN AVENUE  
 NASHVILLE, TN 37206

DATE  
 HISTORICAL REVIEW  
 08.20.14  
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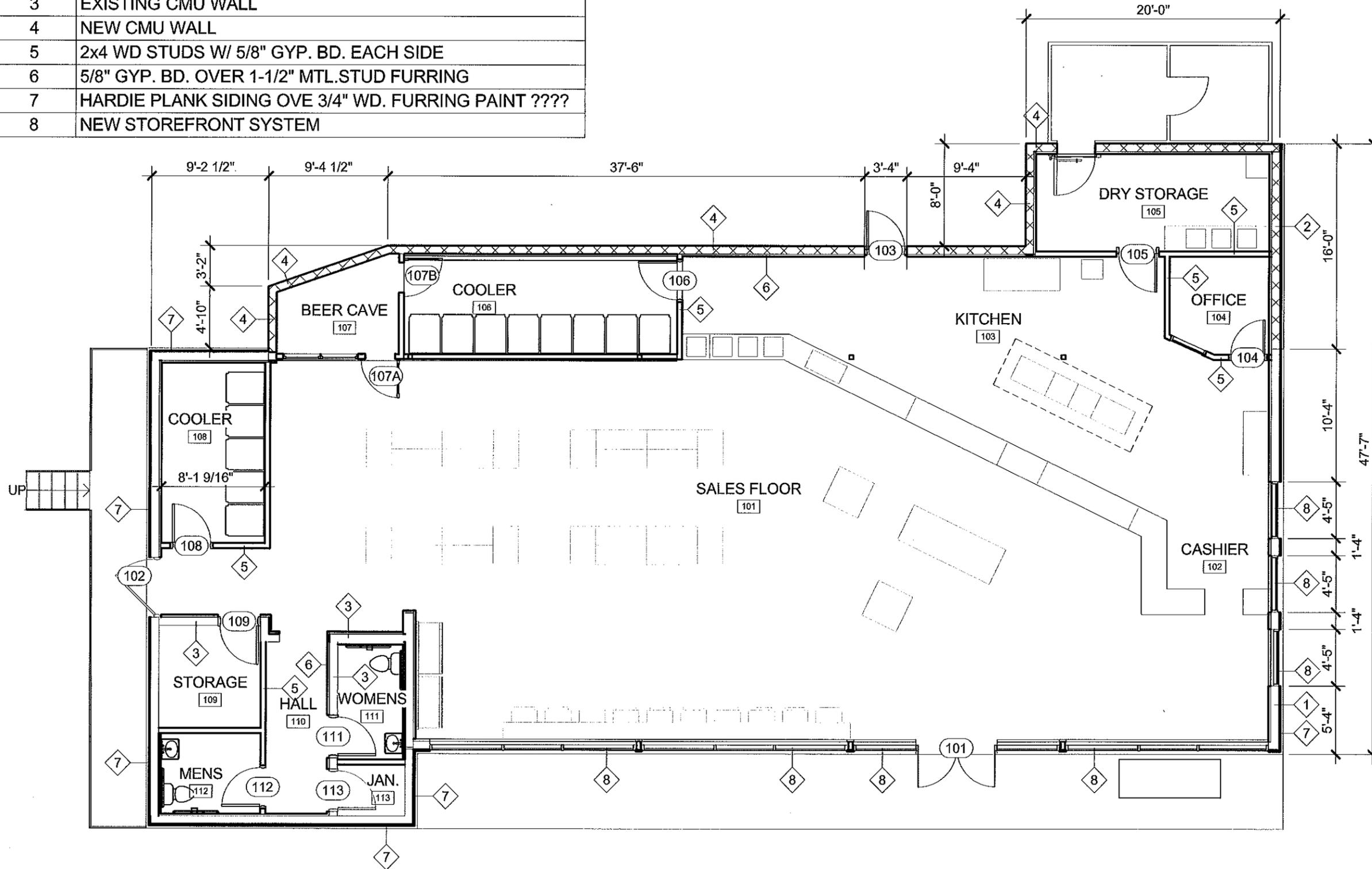
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SHEET  
 DEMOLITION PLAN  
**A-0.1**

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WALL SCHEDULE	
#	DESCRIPTION
1	EXISTING CMU WALL WITH BRICK BASE UP TO 2'-8" A.F.F.
2	NEW CMU WALL WITH BRICK BASE UP TO 2'-8" A.F.F. HARDIE PLANK SIDING OVER 3/4" WD. FURRING ABOVE.
3	EXISTING CMU WALL
4	NEW CMU WALL
5	2x4 WD STUDS W/ 5/8" GYP. BD. EACH SIDE
6	5/8" GYP. BD. OVER 1-1/2" MTL.STUD FURRING
7	HARDIE PLANK SIDING OVE 3/4" WD. FURRING PAINT ????
8	NEW STOREFRONT SYSTEM



① FINISH FLOOR  
1/8" = 1'-0"



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FLOOR PLAN

A-1.0

SEAL

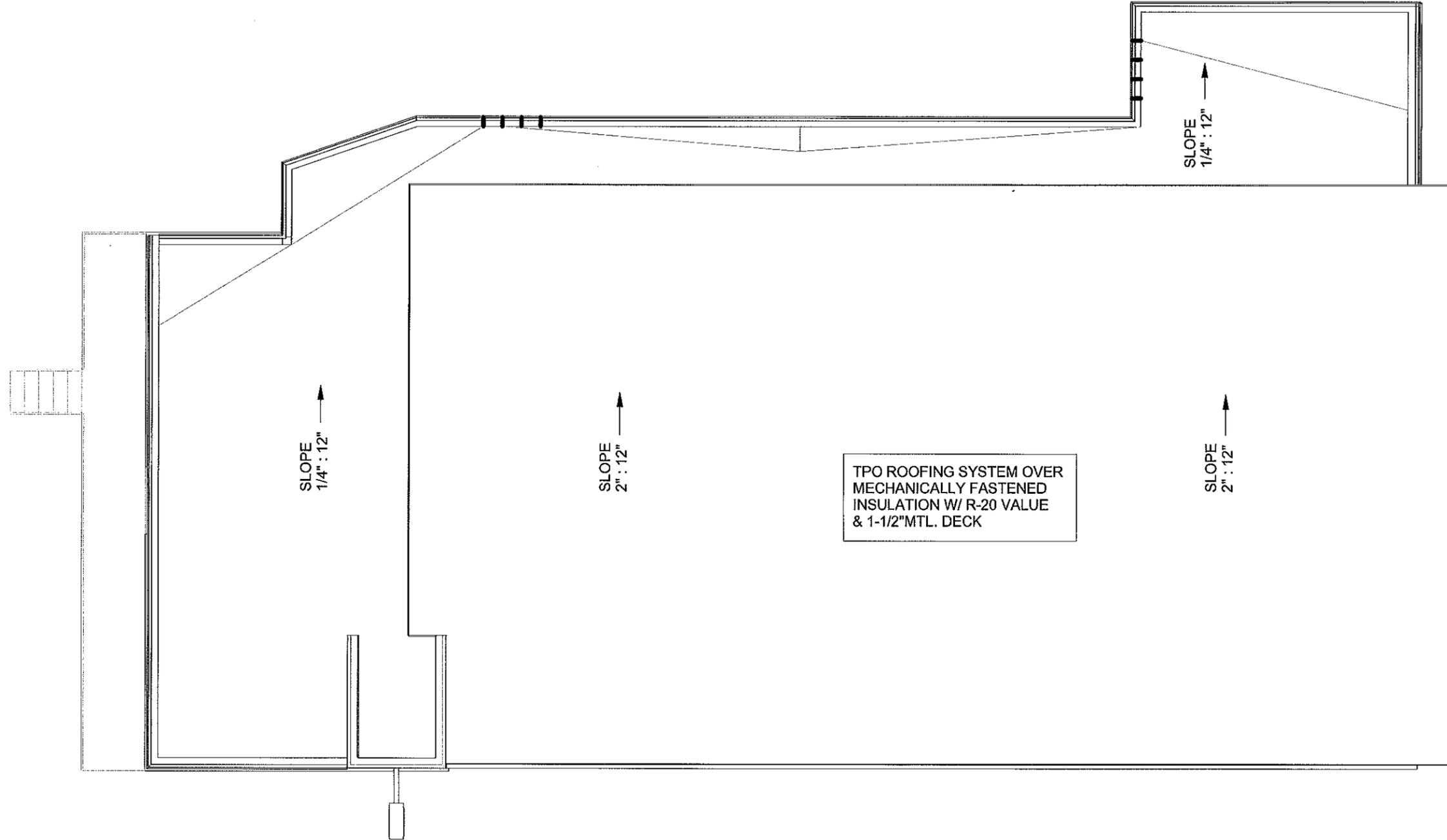
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② ROOF  
1/8" = 1'-0"



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ROOF PLAN  
**A-2.0**

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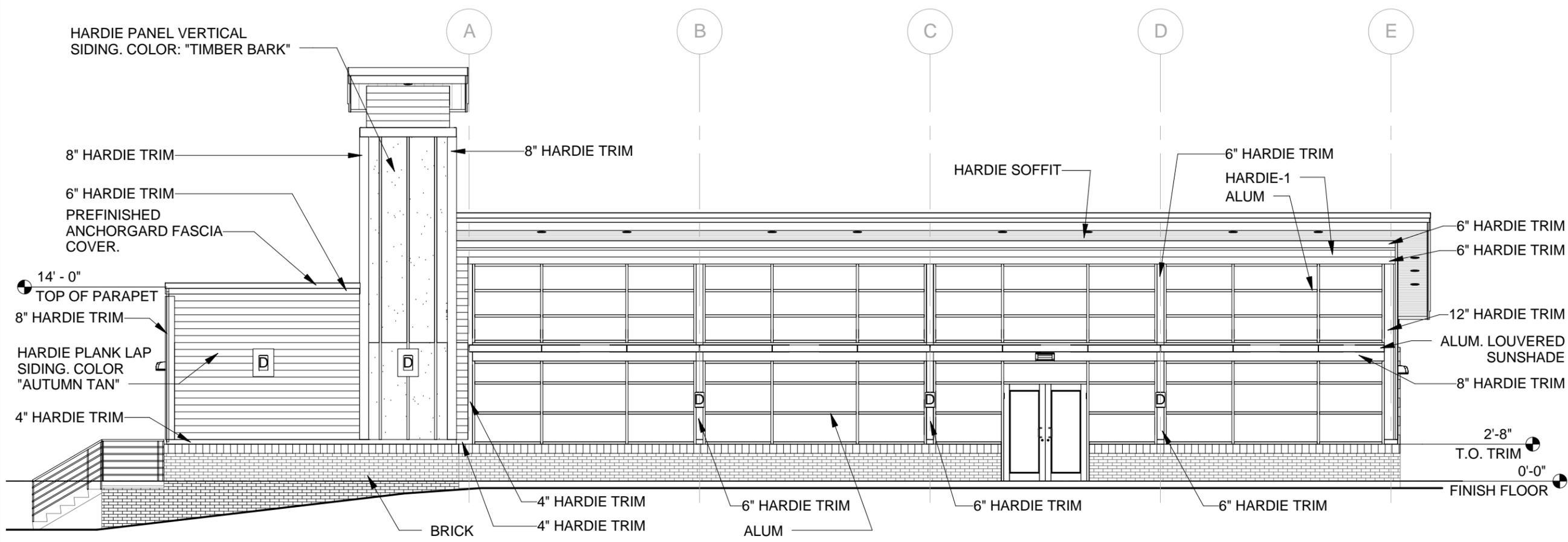
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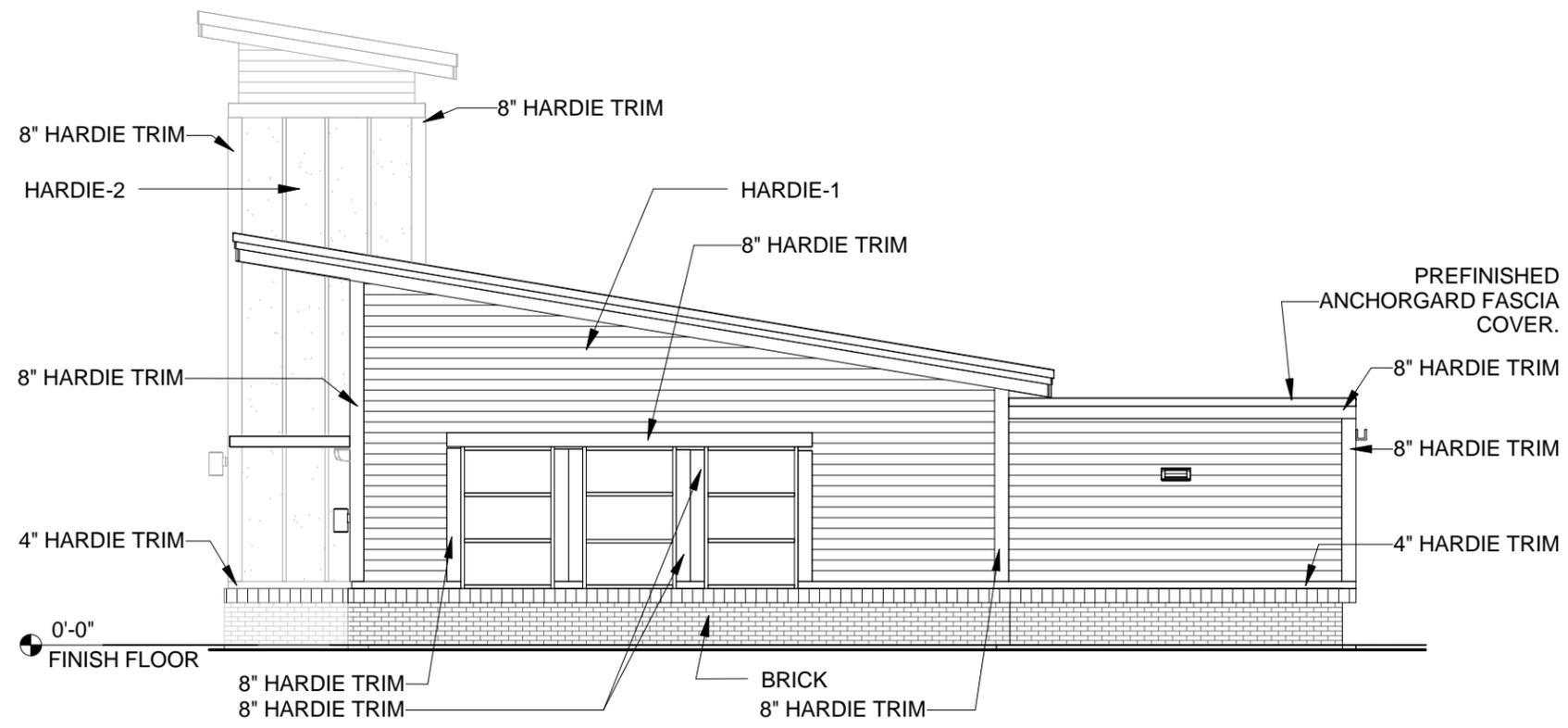
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① FRONT ELEVATION  
1/8" = 1'-0"



② SIDE ELEVATION - A  
1/8" = 1'-0"

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ADDITION &  
RENOVATION  
TO 1305  
GALLATIN

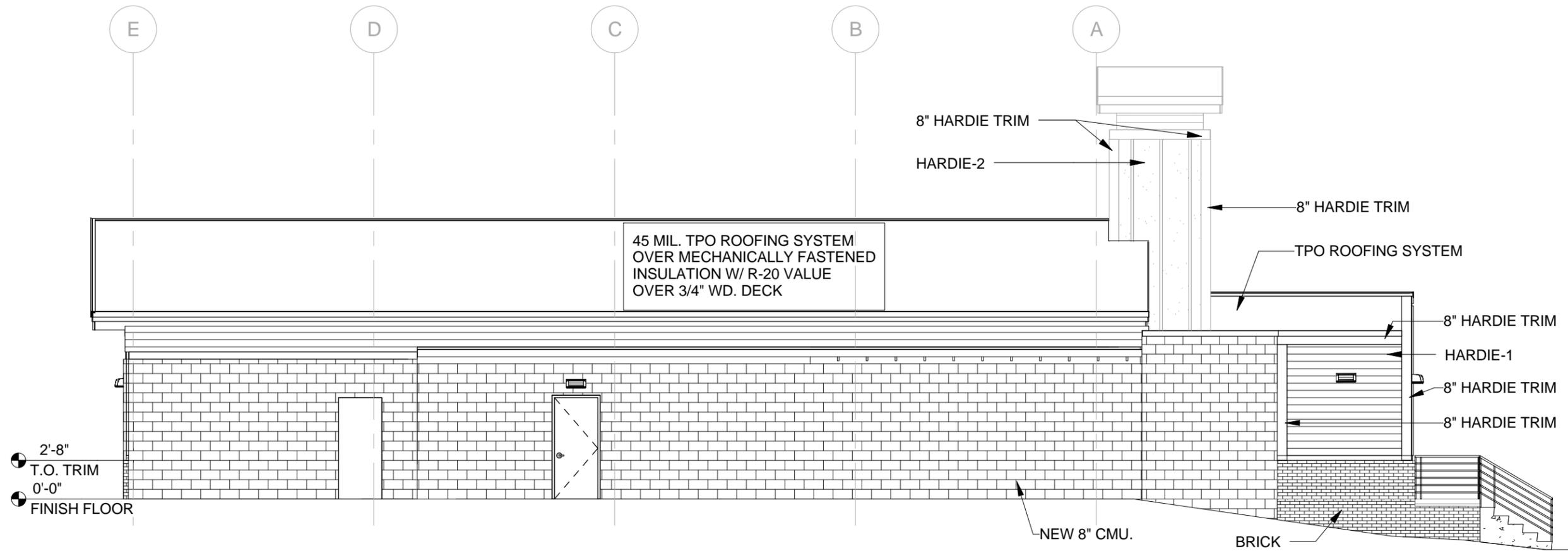
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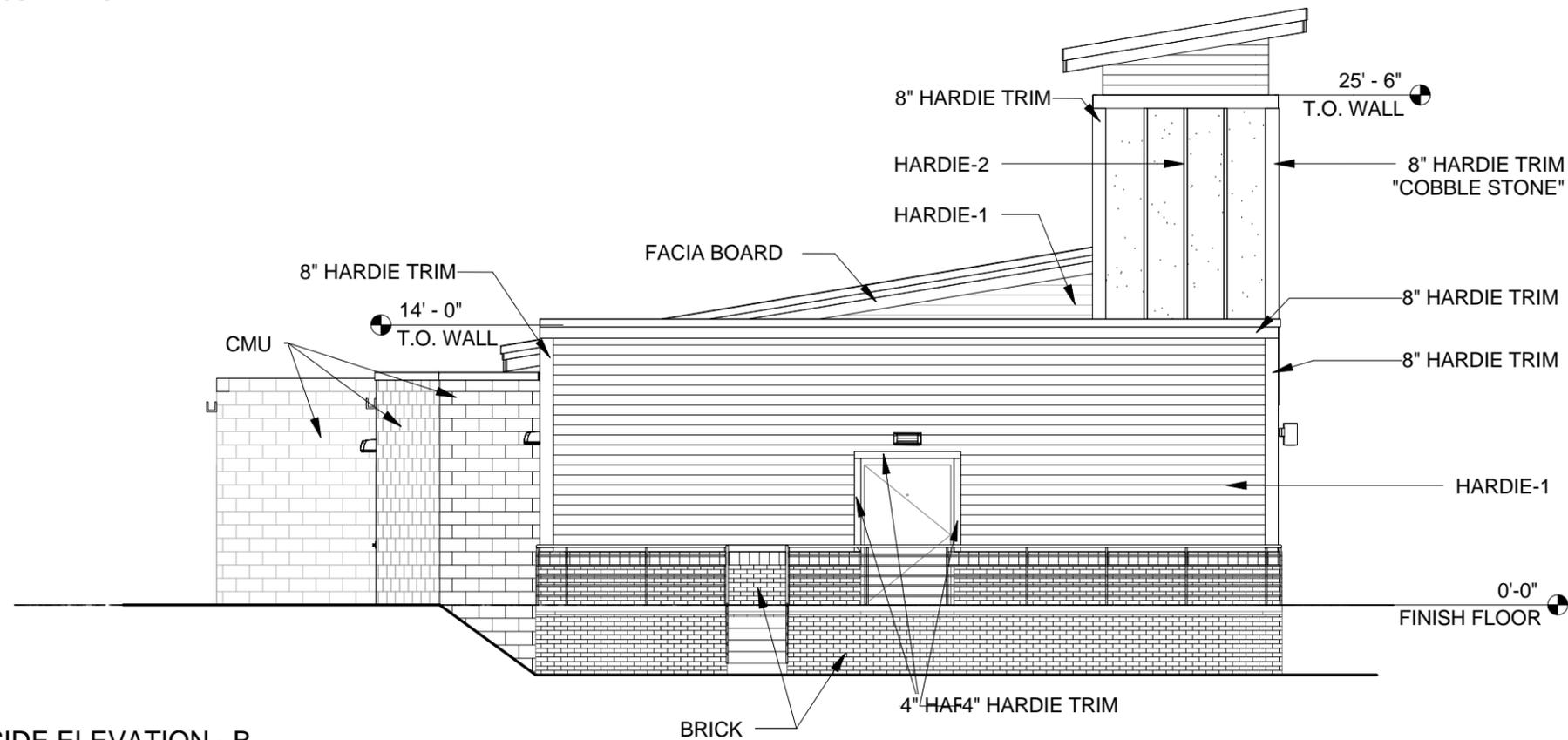
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ELEVATIONS  
**A-4a**



① REAR ELEVATION  
1/8" = 1'-0"



② SIDE ELEVATION - B  
1/8" = 1'-0"

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ADDITION &  
RENOVATION  
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GALLATIN

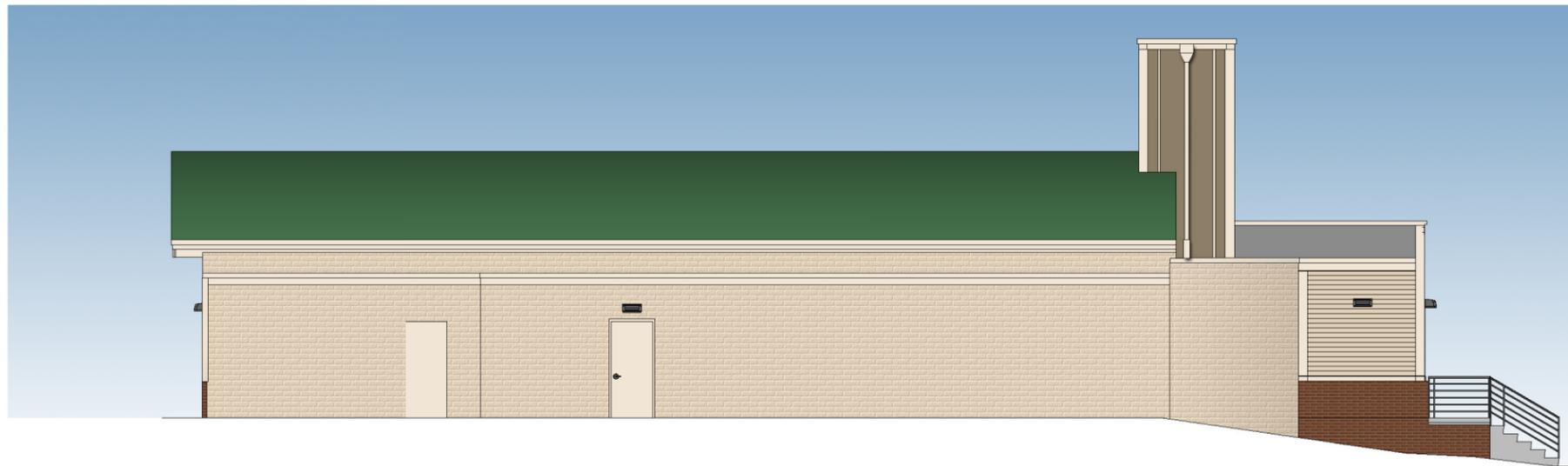
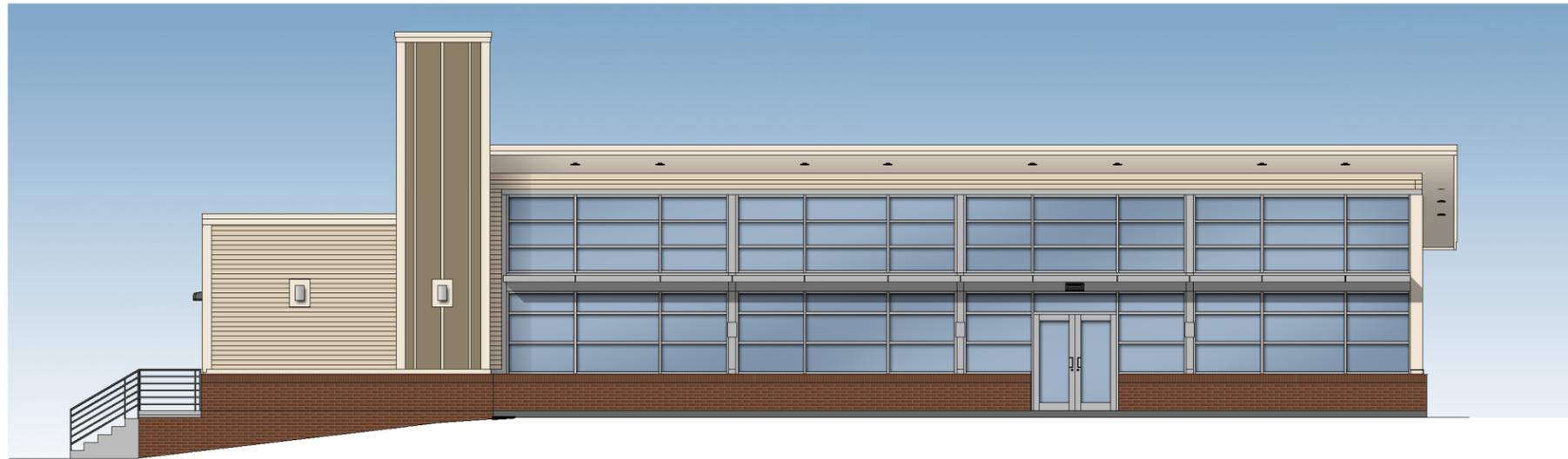
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ELEVATIONS  
**A-4b**



Gallatin, TN



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