



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1516B Ferguson Avenue
January 21, 2015

Application: New construction-addition
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11708012300
Applicant: Jamie Pfeffer, Pfeffer Torode Architecture
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant received a permit in September of 2014 to construct a front, second floor, and rear additions to the structure. They are now proposing to increase the depth of the addition (front-to-back) and increase the pitch of the front porch roof; otherwise however, the proposal is basically unchanged from the design that was approved in September.</p>	<p>Attachments A: Photographs B: Site Plan D: Elevations C: Preservation Permit</p>
<p>Recommendation Summary: Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none">1. Staff approve the asphalt shingle color, a brick sample, and all window and door specifications prior to purchase and installation;2. The HVAC unit be placed at the rear, or on a side façade beyond the midpoint of the house.	
<p>With these conditions, staff finds that the project meets II.B of the <i>Belmont-Hillsboro Neighborhood Conservation Zoning Overlay Handbook and Design Guidelines</i>.</p>	

Applicable Design Guidelines:

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material. Generally, one-story rear additions should inset one foot, for each story, from the side wall. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

- b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.
- c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
- e. Additions should follow the guidelines for new construction.

Background: 1516B Ferguson was constructed c.1925. Although it was constructed within the period of significance, its form and design were greatly altered prior to the designation of the district and it no longer contributes to the historic character of the neighborhood.

The applicant received a permit in September of 2014 to construct a rear addition. He now proposes to increase



the depth of the addition (front-to-back) and increase the pitch of the front porch roof; otherwise the proposal is unchanged from the design that was approved in September. See Preservation Permit 2014-00345.

Analysis and Findings: The work that was approved in September includes partial demolition of the non-contributing building as well as front, second floor, and rear additions to the structure. When completed, the additions would give the building an appearance similar to that of a two-story Foursquare style house, which is a common historic house type for the area.

With the revised plans of the current proposal, the height and width of the building will not change from what was approved: two stories tall with a roof peak at twenty-six feet (26') above grade, and thirty-three feet (35') wide with the projection an additional three feet (3') on one side. The only major changes would be that the depth of the completed structure, from the front to back, would increase from seventy feet (70') to seventy-five feet (75') and that the pitch of the front porch roof would increase from 2:12 to 3:12. The longer facades will result in slight changes to the window locations on the side elevations, but the new elevations are otherwise identical to the previously approved plans.

Staff finds the revisions do not significantly change the scale and character of the proposal from what was approved in September but found the alteration to be extensive enough to not allow for an administrative revision of the permit.

Recommendation Summary: Staff recommends approval of the revised project with the following conditions:

1. Staff approve the asphalt shingle color, a brick sample, and all window and door specifications prior to purchase and installation;
2. The HVAC unit be placed at the rear, or on a side façade beyond the midpoint of the house.

With these conditions, staff finds that the project meets II.B of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

1516B Ferguson Avenue

Nashville, TN 37212

INDEX OF DRAWINGS

SHEET No.	DRAWING TITLE		
TITLE	TITLE SHEET, GENERAL NOTES, SITE PLAN	A1.4	BASEMENT LEVEL FLOOR PLAN
A1.1	DEMO PLANS	A1.5	MAIN LEVEL FLOOR PLAN
A1.2	BASEMENT LEVEL SHADED PLAN	A1.6	UPPER LEVEL FLOOR PLAN
A1.3	MAIN AND UPPER LEVEL SHADED PLANS	A1.7	ROOF PLAN
		A2.1	FRONT AND BACK ELEVATIONS
		A2.2	SIDE ELEVATIONS

GENERAL DRAWING NOTES

APPLICABLE CODES AND TYPES

- BUILDING CODE - 2009 INTERNATIONAL RESIDENTIAL CODE
- BUILDING TYPE - SINGLE FAMILY RESIDENCE

GENERAL

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, 1997 EDITION, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS AND EXCEPT AS MODIFIED BY THE ARCHITECTS "SUPPLEMENTARY CONDITIONS", ARE THE CONDITIONS ON WHICH CONTRACTS FOR THIS WORK WILL BE BASED.
- THIS DOCUMENT IS PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY.
- JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYED ON EVERY SHEET TO A SPECIFIC DETAIL.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE, AND LOCAL BUILDING AND ACCESSIBILITY REQUIREMENTS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VIOLATION OF THE SAME AND SHALL MAKE ALL WORK ACCEPTABLE TO THE PUBLIC DEPARTMENT INVOLVED WITHOUT EXTRA CHARGE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
- ALL ITEMS DEPICTED GRAPHICALLY, WHETHER NOTED OR NOT, ARE PART OF THE CONTRACTOR'S SCOPE OF WORK AND SHALL BE PROVIDED AT NO EXTRA CHARGE.
- ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING, AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, ARE TO BE SECURED BY THE GENERAL CONTRACTOR.
- EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND OBTAIN ANY REQUIRED PERMITS, ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES, OR REQUESTS THROUGH THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL CONFIRM THAT THE LAYOUT OF THE SPACE CAN BE ACCOMPLISHED AS DESIGNED. THE ARCHITECT MUST BE NOTIFIED OF ANY PROBLEMS WITH PROPOSED WALL LOCATIONS AFTER THE CHALK LINES ARE IN PLACE AND BEFORE THE FRAMING IS FASTENED IN ORDER TO MAKE APPROPRIATE DECISIONS OR ANY NECESSARY ADJUSTMENTS.
- IF UNANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED FUNCTION, CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATIONS.
- THE GENERAL CONTRACTORS SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY AND DUST BARRIERS BETWEEN CONSTRUCTION AREA AND AREAS WHICH ARE PUBLIC OR OTHERWISE OCCUPIED SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR.
- FOR THE ENTIRE LENGTH OF CONTRACT WORK, CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS.
- PROVIDE "CUTTING AND PATCHING" INTO EXISTING CONSTRUCTION FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK AND SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION. DO NOT CUT AND PATCH WORK EXPOSED ON THE BUILDING'S EXTERIOR OR ITS OCCUPIED SPACES IN A MANNER WHICH WOULD, IN THE ARCHITECTS OPINION, RESULT IN LESSENING THE BUILDING'S AESTHETIC QUALITIES. DO NOT CUT AND PATCH WORK IN A MANNER THAT WOULD RESULT IN SUBSTANTIAL VISUAL EVIDENCE OF CUT AND PATCH WORK. REMOVE AND REPLACE WORK JUDGED BY THE ARCHITECT TO BE CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER WITHOUT EXTRA CHARGE.
- THE CONTRACTOR SHALL PROMPTLY REMEDY ANY DAMAGE AND/OR LOSS TO PROPERTY (ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK DESCRIBED HEREIN) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.

DEMOLITION

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, SOME OF WHICH MAY NOT BE VERIFIABLE WITHOUT DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING. THE ARCHITECT AND THE ARCHITECTS CONSULTANTS ARE NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION THAT DIFFER FROM THOSE INDICATED. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OBTAIN A CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

- CONTRACTORS SHALL PROVIDE ALL CLOSE-OUT DOCUMENTATION REQUIRED BY THE BUILDING MANAGEMENT
- THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITHIN THE FIELD CONDITIONS AND NOTIFY THE ARCHITECT AND PRIOR TO BEGINNING WORK OF ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IF ANY WORK DESCRIBED IN THE CONTRACT DOCUMENTS THAT CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS, EVEN THOUGH THE EXISTING CONDITIONS ARE DRAWN CORRECTLY ON THE PLANS.
- IF ANY EXISTING FIRE PROOFING OR FIRE ASSEMBLIES TO REMAIN ARE DAMAGED DURING DEMOLITION, IT SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
- REMOVE EXISTING CONSTRUCTION AS SHOWN. TYPICAL WALL REMOVAL INCLUDES FINISHES, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOOR, CASEWORK, GLAZING, FRAMES AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES AND ELECTRICAL FLOOR BOXES, REPAIR HOLES IN FLOORS OR EXISTING WALLS TO REMAIN. PATCH ADJOINING WALLS, FLOOR AND DECK, AND PREPARE TO RECEIVE NEW FINISHES.
- DURING DEMOLITION, THE CONTRACTOR SHALL BRACE AND SUPPORT ALL EXISTING STRUCTURES AS NEEDED.
- CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. NOTIFY ARCHITECT TO OBTAIN APPROVAL OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION.
- DEMOLISHED MATERIAL NOT OTHERWISE DESIGNATED BY THE ARCHITECT OR OWNER SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC. TO NEIGHBORS AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS.
- THESE DEMOLITION DOCUMENTS ANTICIPATE THAT NO ASBESTOS WILL BE ENCOUNTERED. IN THE EVENT ASBESTOS IS ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL PERFORM DEMOLITION WORK IN ACCORDANCE WITH THE OWNER'S REGULATIONS.

ARCHITECTURAL

- THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE OWNER AND OBTAIN ANY CONSTRUCTION REGULATIONS PRIOR TO BEGINNING WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY THE OWNER'S REGULATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY COST IMPLICATIONS TO THE TENANT AS A RESULT OF THE REGULATIONS.
- NO BUILDING MATERIALS CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT.
- CONTRACTOR SHALL COORDINATE STUD SIZE AND GAUGE NECESSARY FOR HEIGHT OF WALL, AS WELL AS FOR STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL CLEARANCES PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES WITH LAYOUT AS DIMENSIONED SHALL BE COORDINATED IMMEDIATELY WITH ARCHITECT.
- CONTRACTOR SHALL REINFORCE METAL STUD CONSTRUCTION WITH FIRE RESISTANT BLOCKING AT ALL LOCATIONS WHERE MIRRORS, ACCESSORIES, ETC. WILL BE INSTALLED.
- FIRE-RATED PARTITIONS SHALL BE IDENTIFIED AS SUCH IN LARGE RED STENCIL ABOVE FINISHED CEILING.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL RATING OF ALL REQUIRED RATED WALLS AT ALL INTERSECTIONS, CONNECTIONS, AND PENETRATIONS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OF NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINT.
- MATERIALS PROVIDED SHALL BE INSTALLED PER MANUFACTURERS WRITTEN RECOMMENDATION AND PER CODE REQUIREMENTS.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHOWN ON THESE DRAWINGS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTORS SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- FOR ELECTRICAL BOXES LOCATED ON OPPOSITE SIDES OF WALLS, PROVIDE A MINIMUM HORIZONTAL SEPARATION OF ONE STUD SPACING. 1" MINIMUM DISTANCE BETWEEN THEM.
- GROUPS OF RECEPTACLES SHALL BE MOUNTED WITH A 1-1/2" MINIMUM DISTANCE BETWEEN THEM.
- WHEN MAKING SAW CUTS OR TRENCHING CONCRETE TO RUN ELECTRICAL POWER OR DATA TO FURNISHINGS, FILL IN AND PATCH SLAB AROUND AREA REMOVED AND AROUND ELECTRICAL BOXES.
- CONTRACTOR TO VERIFY AND PROVIDE ALL ELECTRICAL REQUIREMENTS FOR ALL O.F.O. AND C.F.C.I EQUIPMENT AND APPLIANCES, INCLUDING BUT NOT LIMITED TO COFFEE MAKERS, MICROWAVES, REFRIGERATORS COPIERS, FAX MACHINES, PRINTERS, ETC.
- CONTRACTOR TO COORDINATE WITH THE OWNER FINAL LOCATIONS AND ELECTRICAL REQUIREMENTS OF OWNER FURNISHED EQUIPMENT AND FURNITURE.

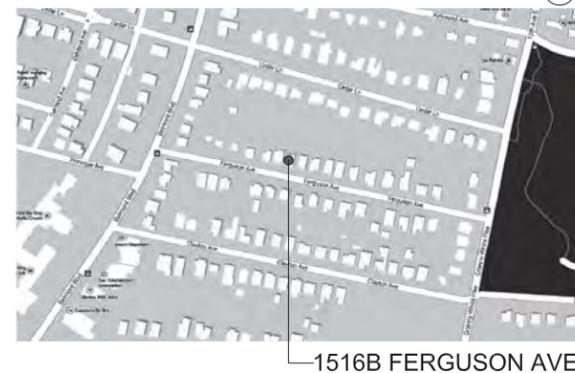
PROJECT TEAM

ARCHITECT

PFEFFER TORODE ARCHITECTURE
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jamie@pfeffertorode.com

BUILDER

VICINITY MAP

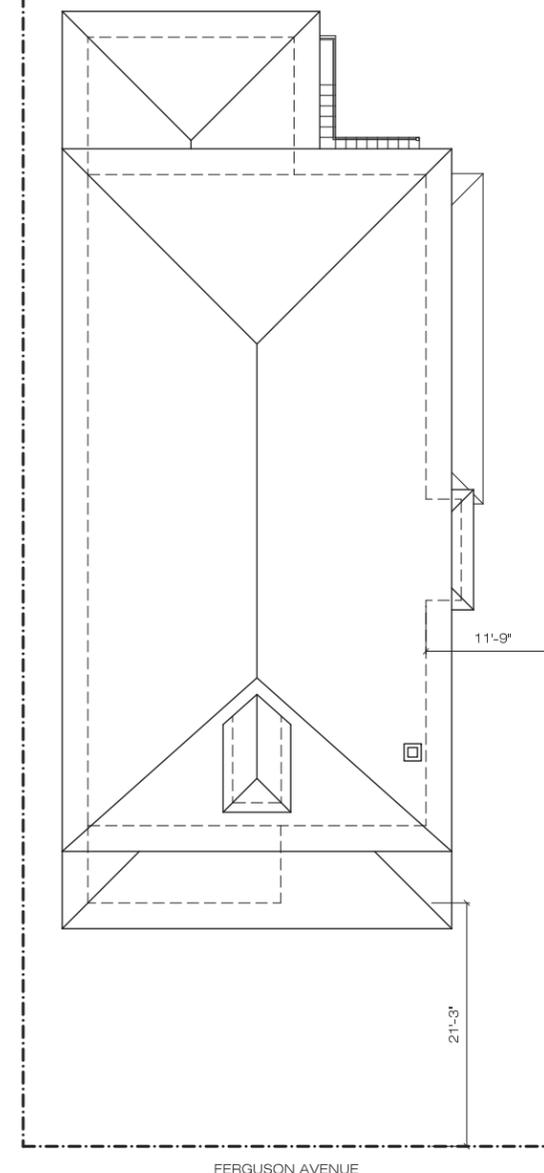


1516B FERGUSON AVE

BUILDING DATA

ADDRESS: 1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212
PARCEL ID: 11708012300
DESCRIPTION: RENOVATION/ADDITION
LOT AREA: .16 ACRES
DIMENSIONS: 47' x 152'
PROPOSED BUILDING AREAS

CONDITIONED AREA:	
BASEMENT LEVEL:	1536 SF
MAIN LEVEL:	1821 SF
UPPER LEVEL:	1707 SF
TOTAL:	5064 SF
UNCONDITIONED AREA:	
FRONT PORCH:	89 SF
BACK DECK:	218 SF
CARPORT:	248 SF
TOTAL:	555 SF



1 SITE PLAN
SCALE 1/16" = 1'-0"

ARCHITECT:



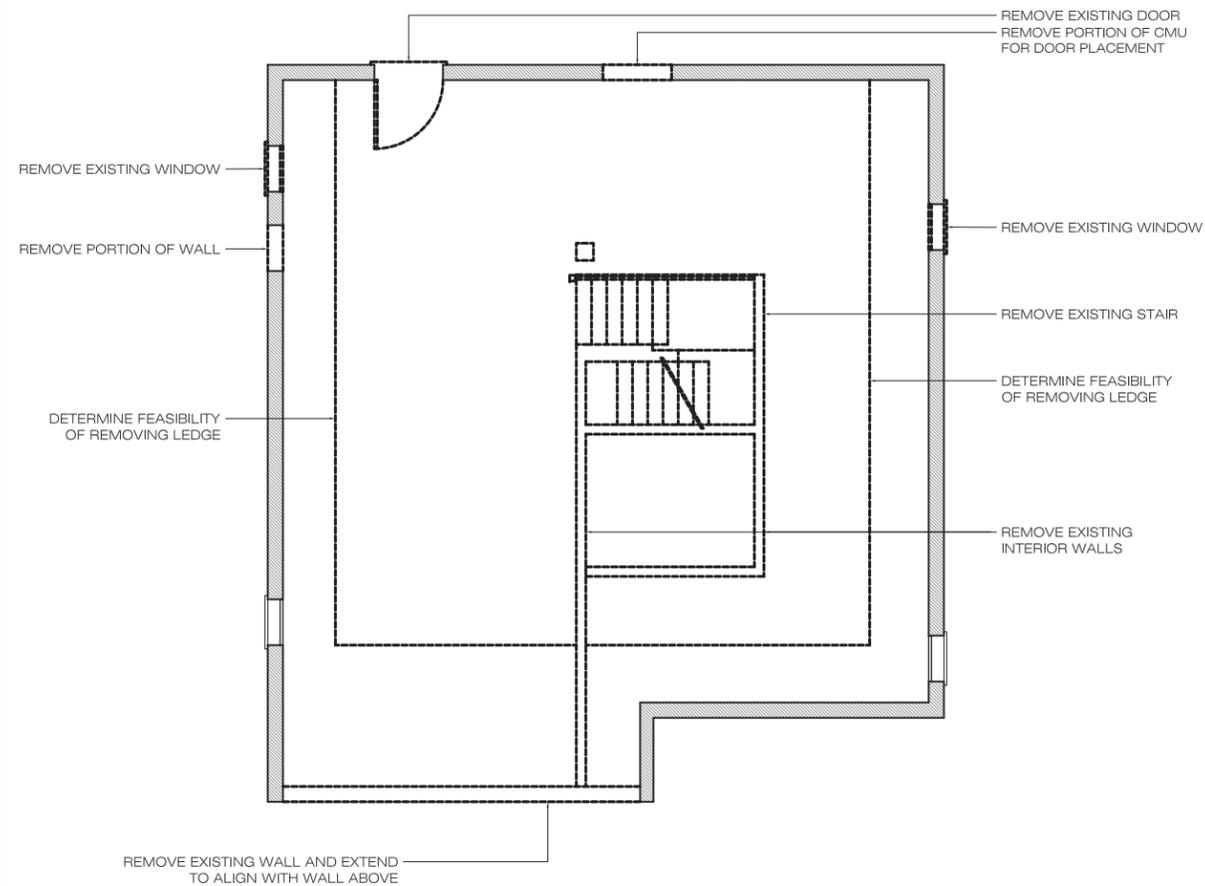
PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

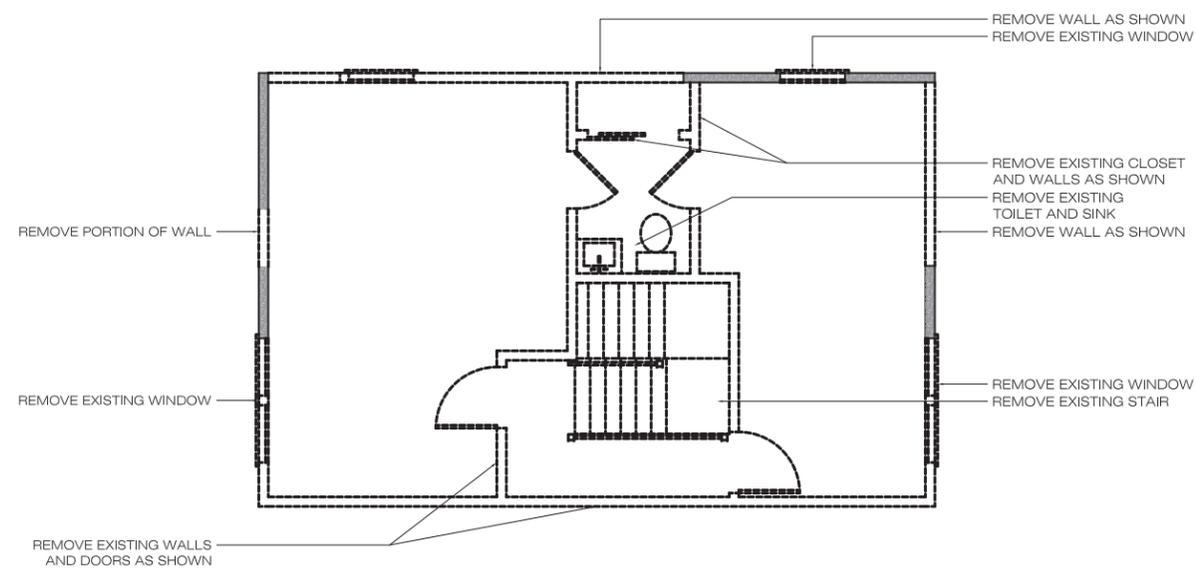
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SITE PLAN

13 JANUARY 2014

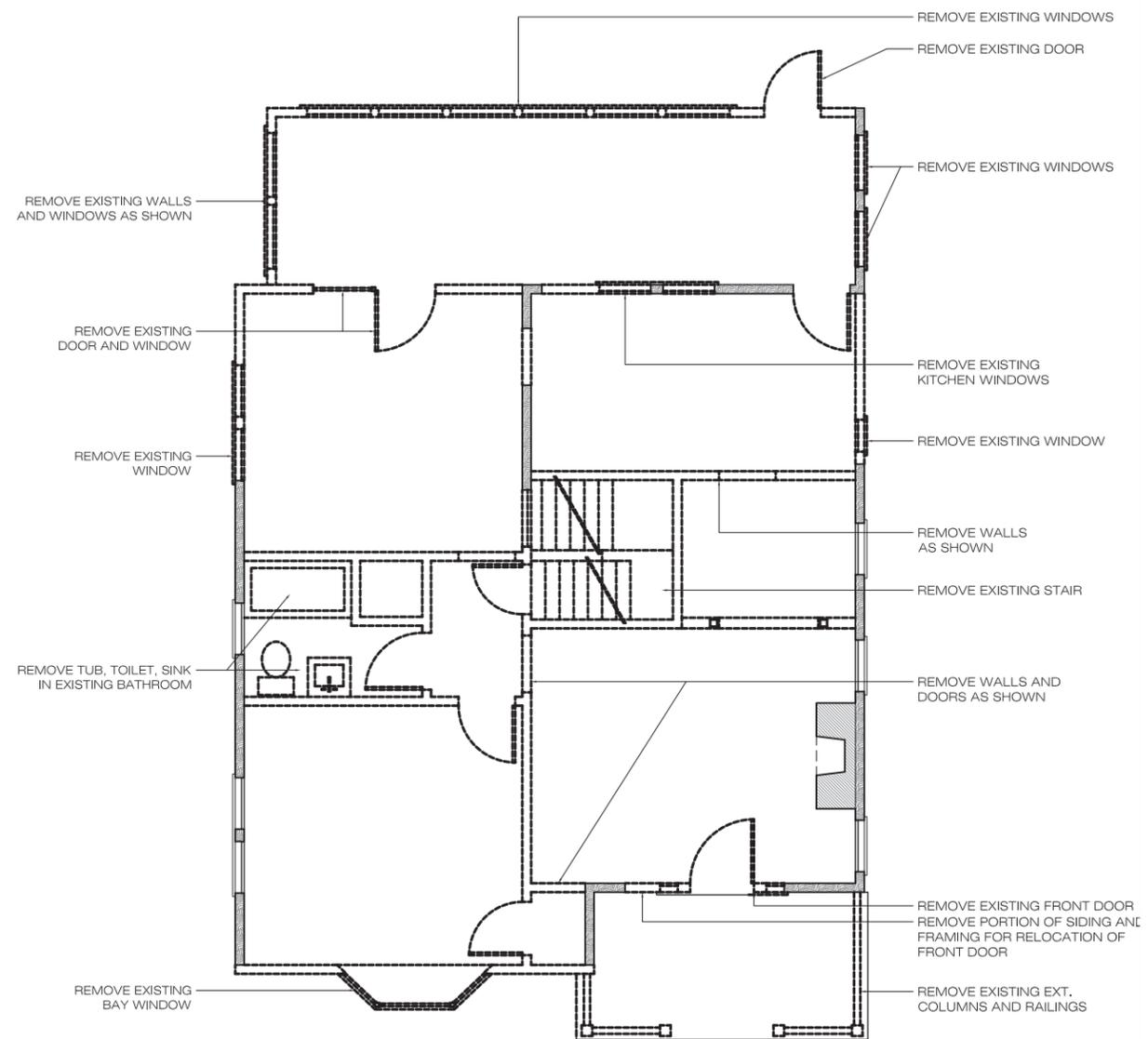
TITLE



1 BASEMENT LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"



3 UPPER LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"



2 MAIN LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:



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PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

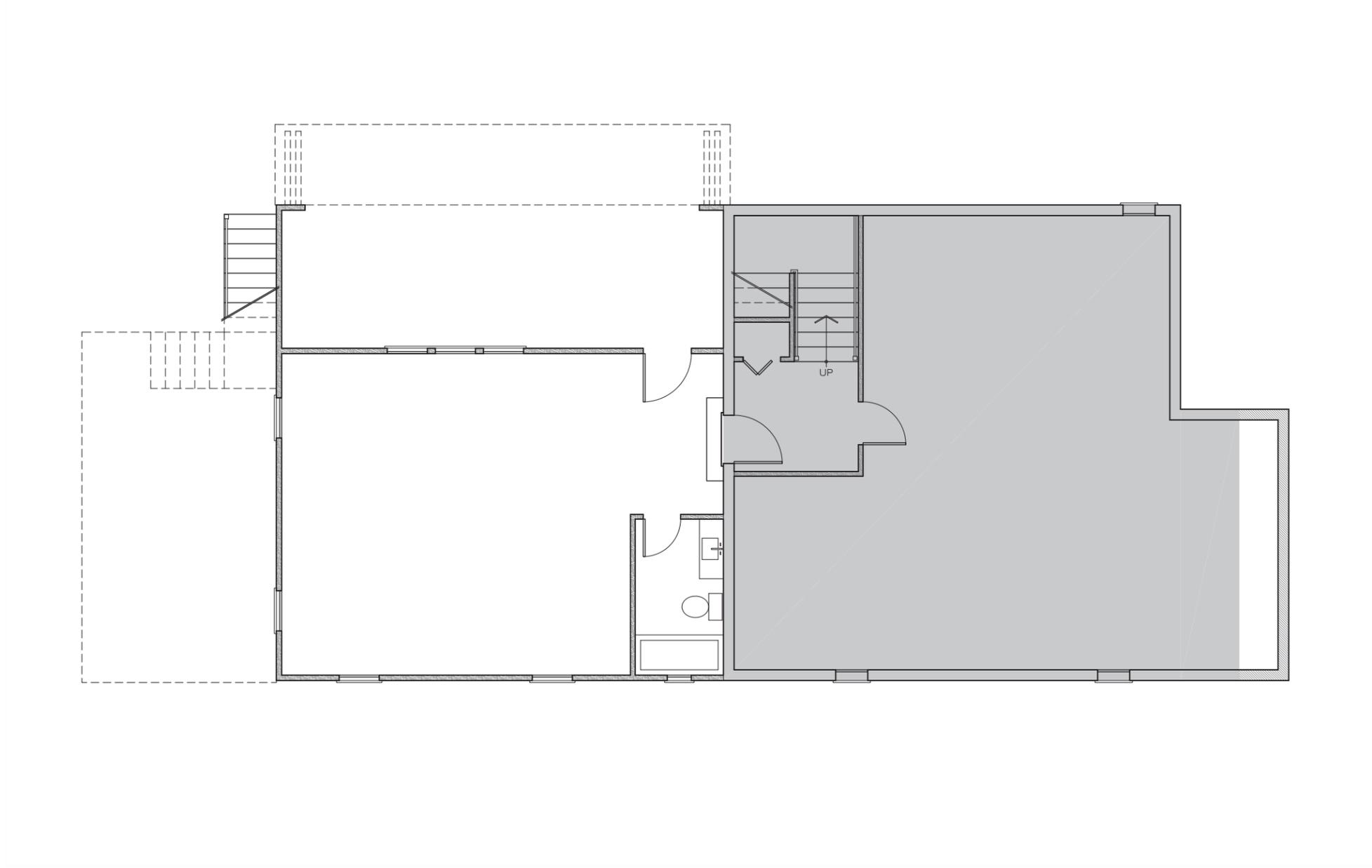
PERMIT SET

SHEET:
DEMO PLANS

13 JANUARY 2014

A1.1

**SHADED REGION DENOTES EXISTING FOOTPRINT **



1 BASEMENT LEVEL SHADED PLAN
SCALE 1/8" = 1'-0"

SHEET:
BASEMENT LEVEL
SHADED PLAN

13 JANUARY 2014

PERMIT SET

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

ARCHITECT:



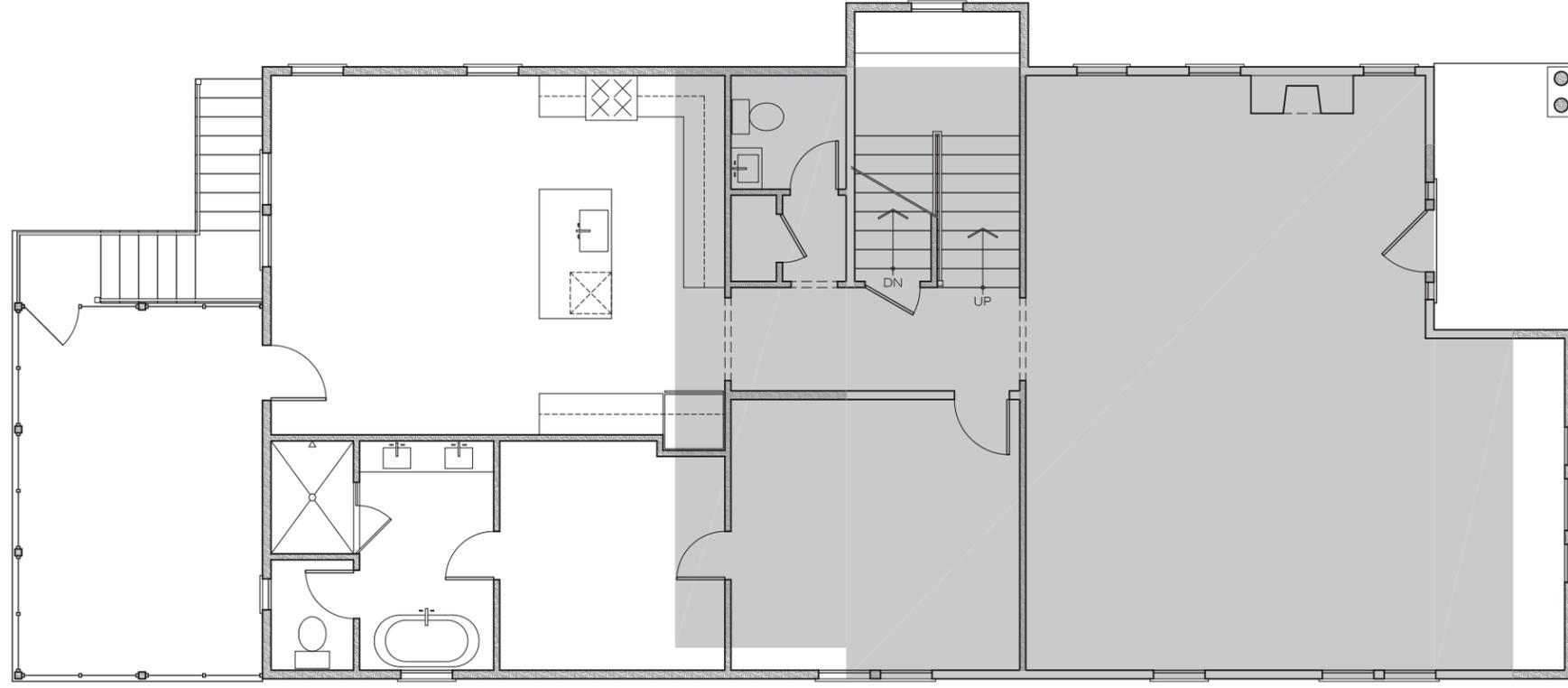
Pfeiffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee
37203

www.pfeffertorode.com

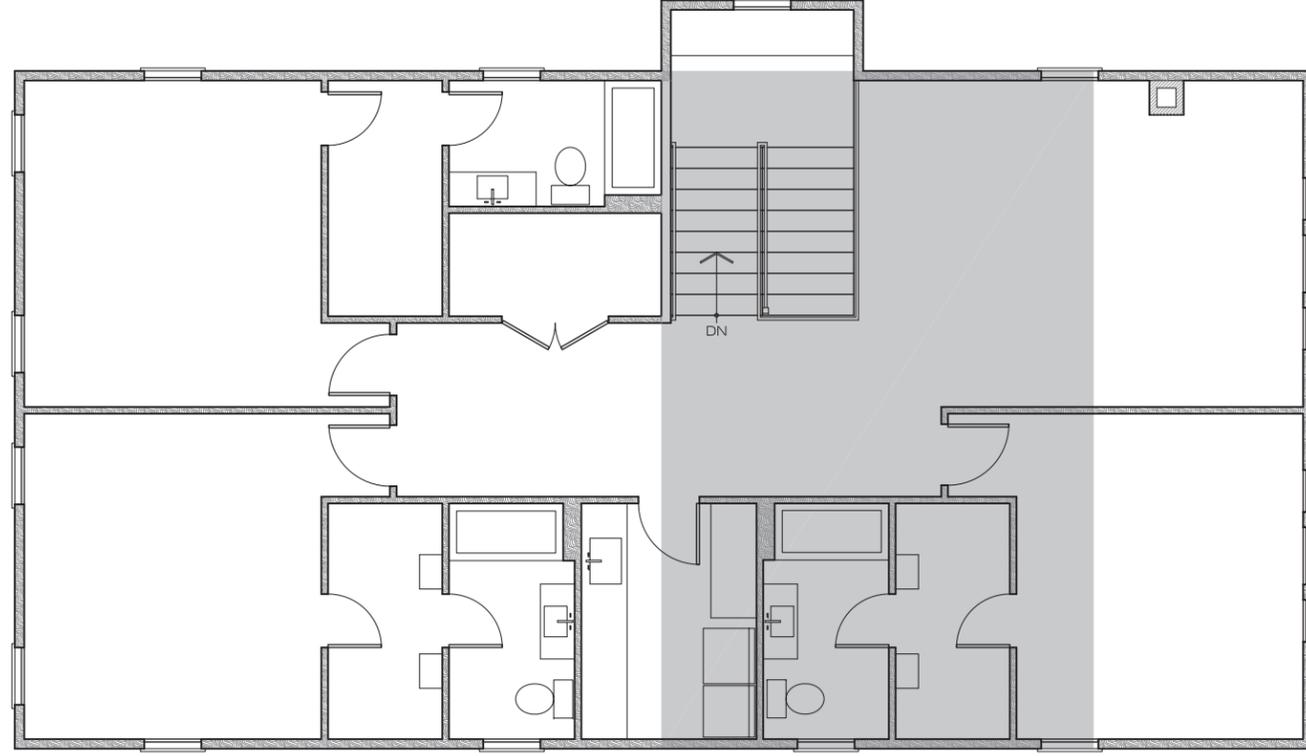
615-618-3665

A1.2

**SHADED REGION DENOTES EXISTING FOOTPRINT **



1 MAIN LEVEL SHADED PLAN
SCALE 1/8" = 1'-0"



2 UPPER LEVEL SHADED PLAN
SCALE 1/8" = 1'-0"

A1.3

SHEET:
MAIN AND UPPER LEVEL
SHADED PLAN

13 JANUARY 2014

PERMIT SET

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

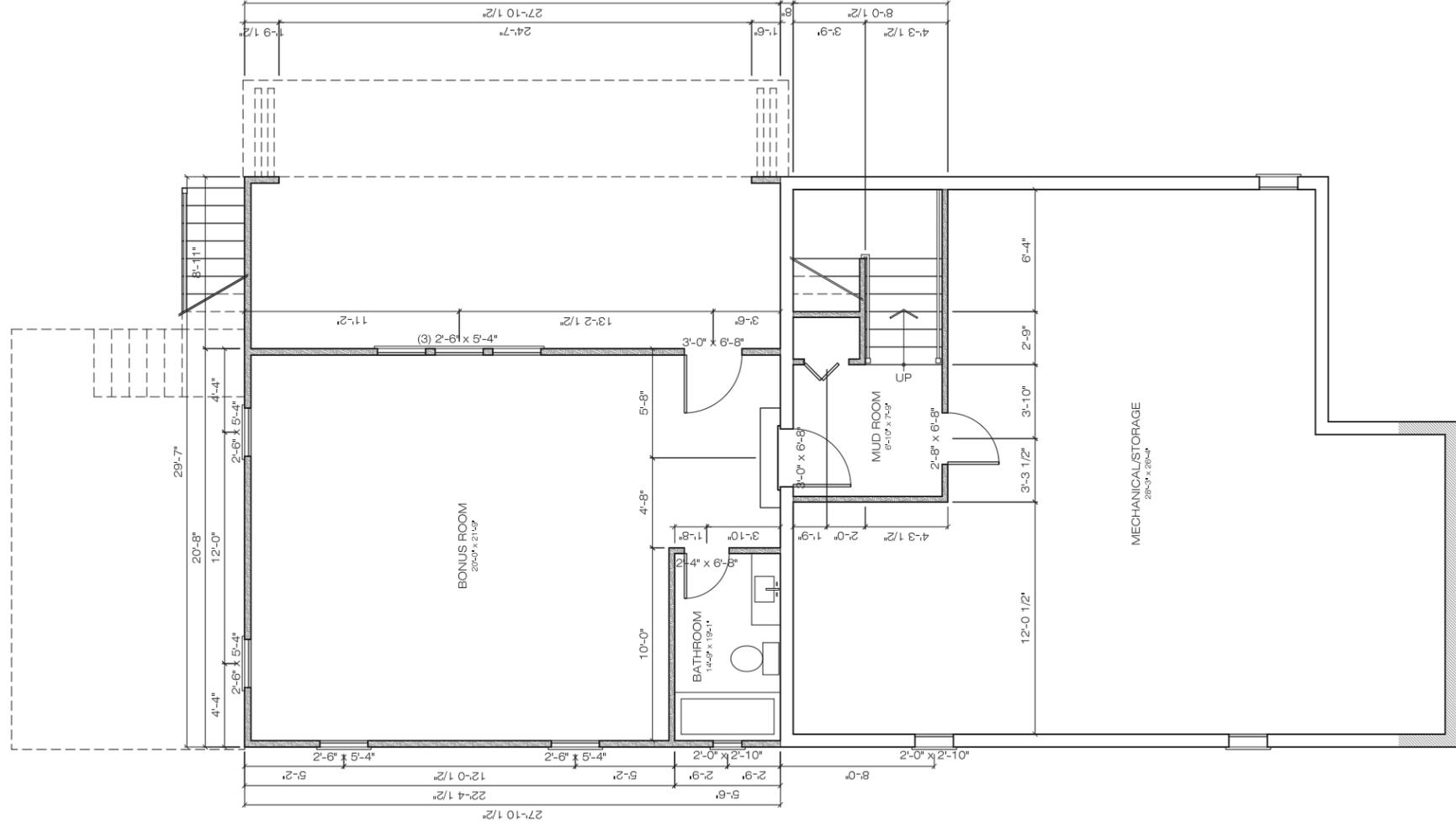
ARCHITECT:



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1 BASEMENT LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

SHEET:
BASEMENT LEVEL PLAN

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

ARCHITECT:

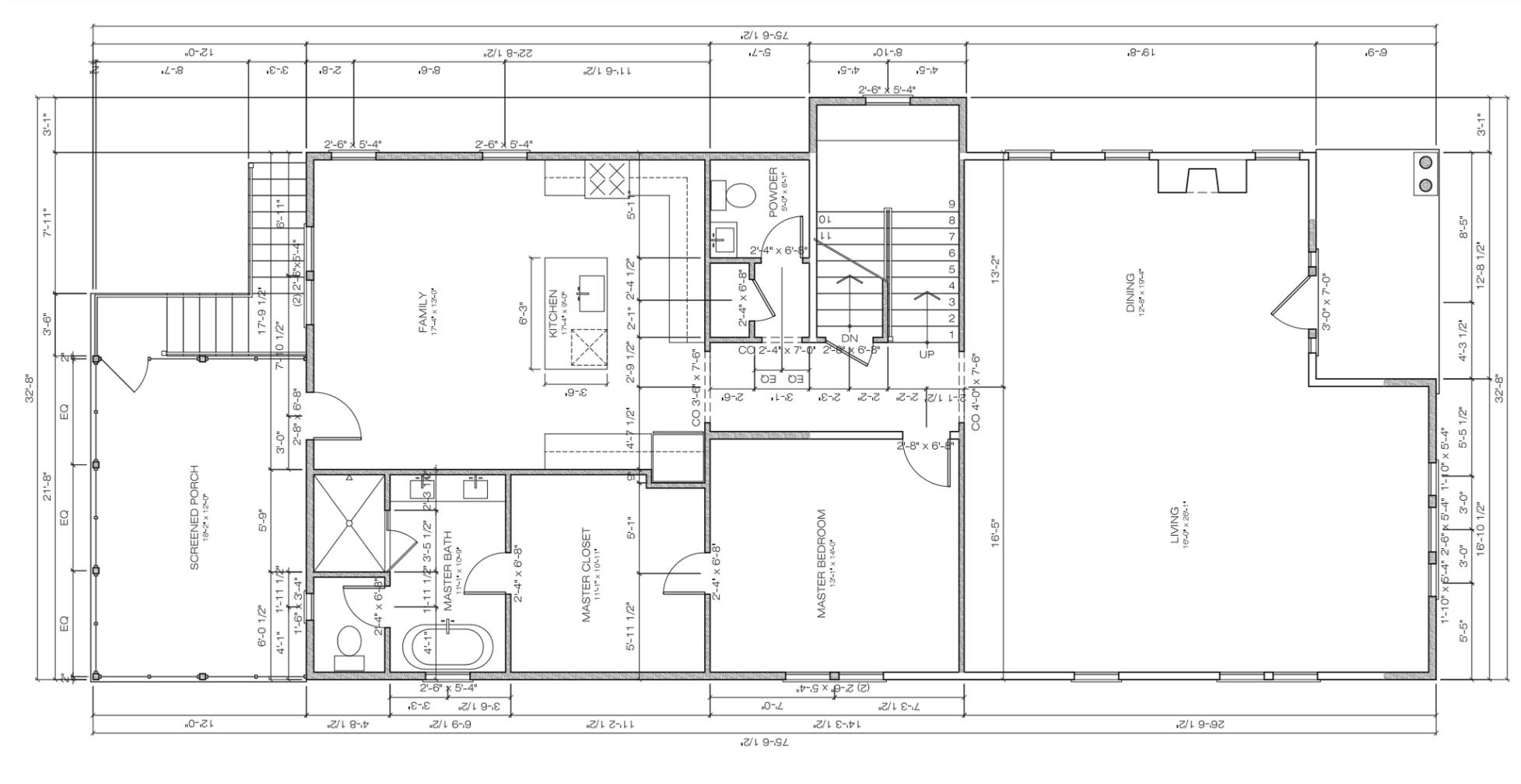


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13 JANUARY 2014

A1.4



1 MAIN LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

SHEET:
MAIN LEVEL PLAN

13 JANUARY 2014

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

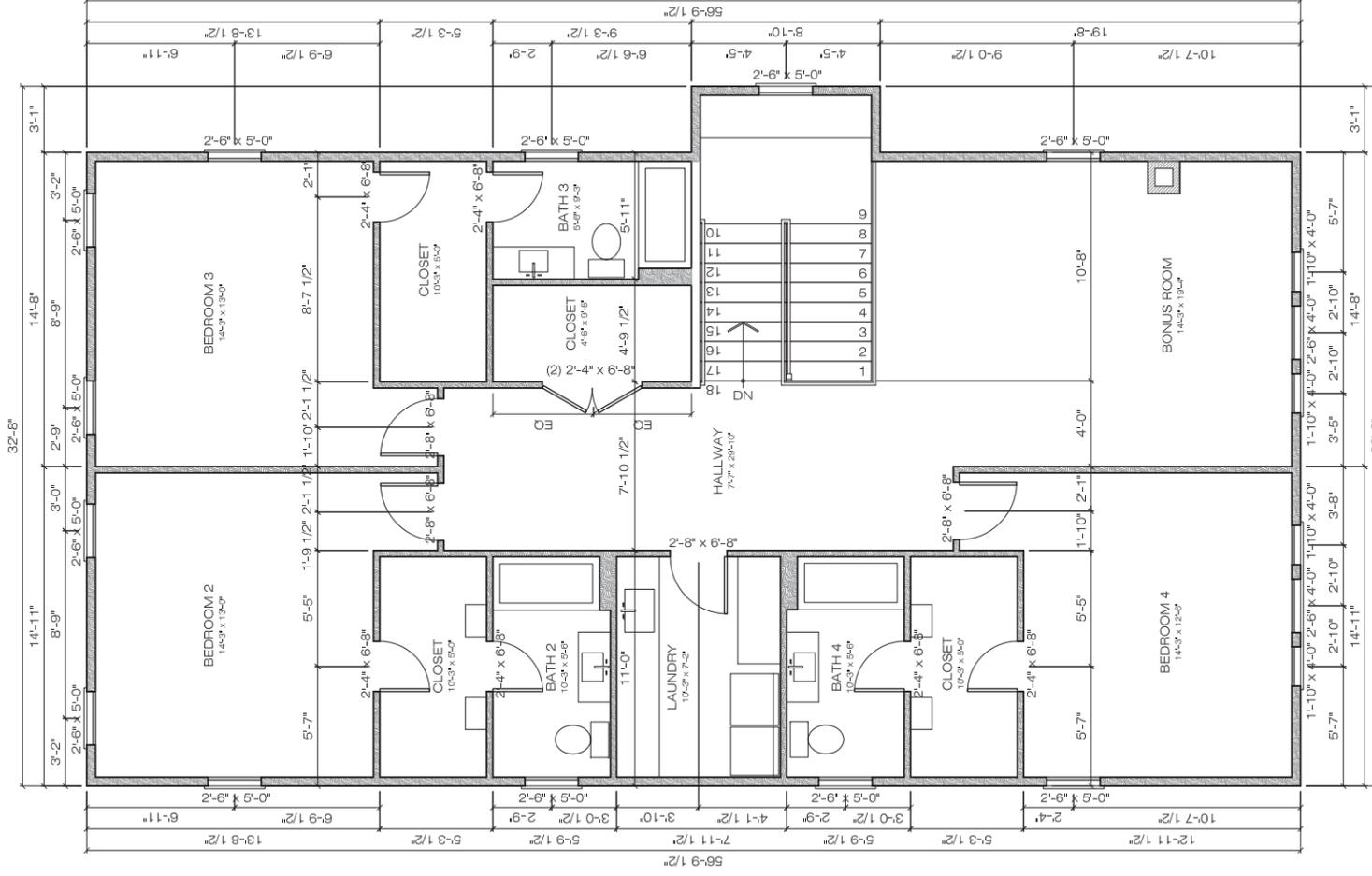
ARCHITECT:



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A1.5



1 UPPER LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

SHEET:
UPPER LEVEL PLAN

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

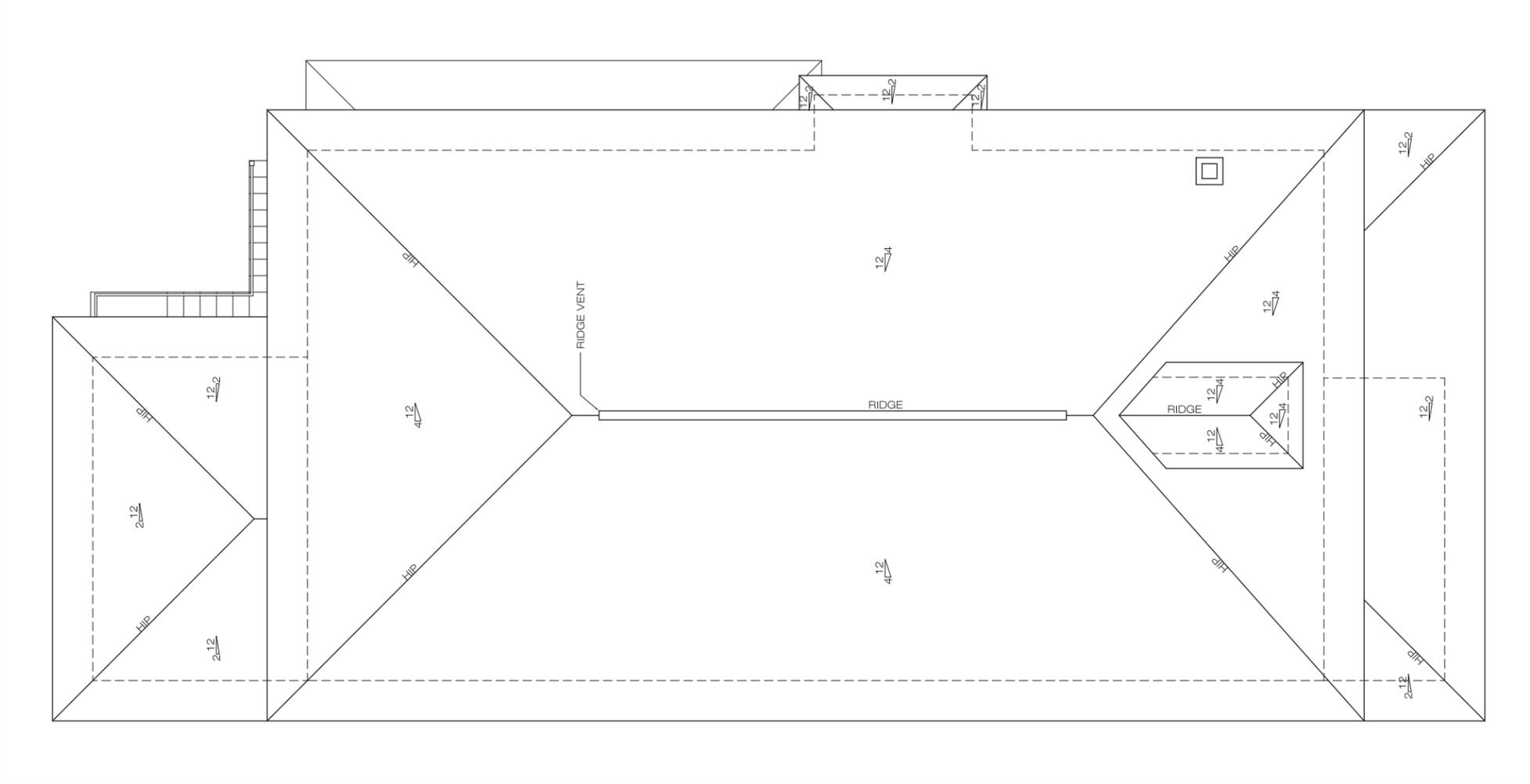
ARCHITECT:



SHEET:
UPPER LEVEL PLAN

13 JANUARY 2014

A1.6



1 ROOF PLAN
SCALE 1/8" = 1'-0"

SHEET:
ROOF PLAN

13 JANUARY 2014

PERMIT SET

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

ARCHITECT:



Pfeiffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee
37203
www.pfeffertorode.com

615-618-3565

A1.7



1 FRONT ELEVATION
SCALE 1/8" = 1'-0"

- CONTINUOUS RIDGE VENT
- BRICK CHIMNEY
- STANDING SEAM COPPER ROOF
- WOOD WINDOW
- ASPHALT SHING ROOF
- WOOD CORBELS
- PRAIRIE STYLE WOOD WINDOW
- CORNER BOARD
- MATCH EXISTING LAP SIDING
- HARDIE PANEL W/ BATTENS
- STANDING SEAM COPPER ROOF
- WOOD CORBELS
- WOOD COLUMNS
- WALL-MOUNTED LIGHT
- BRICK TO MATCH CHIMNEY



1 REAR ELEVATION
SCALE 1/8" = 1'-0"

- CONTINUOUS RIDGE VENT
- ASPHALT SHINGLE ROOF
- MATCH EXISTING LAP SIDING
- MATCH EXISTING PRAIRIE STYLE WOOD WINDOW
- CORNER BOARD
- STANDING SEAM COPPER ROOF
- WOOD CORBELS
- WOOD BAND BOARD
- SCREENED ENCLOSURE
- MATCH HEADER HEIGHT W/ EXISTING WINDOWS

ARCHITECT:
pta Pfeiffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee 37203
www.pfeffertorode.com 615-618-3565

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
FRONT AND REAR
ELEVATIONS

13 JANUARY 2014

A2.1



1 RIGHT ELEVATION
SCALE 1/8" = 1'-0"



2 LEFT ELEVATION
SCALE 1/8" = 1'-0"

ARCHITECT:
Pfeffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee
37203
www.pfefferorode.com
615-618-3565

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
SIDE ELEVATIONS
13 JANUARY 2014

A2.2



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970

histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 201400345

Entered on: 04-SEP-2014

IVR PERMIT TRACKING NUMBER: 1997460

Site Address

1516 Ferguson Ave, NASHVILLE, TN 37212

Parcel: 11708012300

PT LOT 156 VICTORIA PLACE

Parcel Owner

LACKEY, MATTHEW D.

Purpose:

DESCRIPTION

- Demolish substantial part of house; Construct roof and rear additions

ROOFING

- Roofing material shall be asphalt composite shingles. Color shall match existing or if not, it shall be approved by the MHZC prior to purchase.

- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall have single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. Double and triple windows shall have a 4" to 6" mullion between.

- Door manufacturer and type must be approved by MHZC staff prior to installation.

- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.

- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.

- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.

- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.

- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

- Removal of cladding, windows and roofing on the existing building all-together is partial-demolition and must be reviewed by the MHZC prior to work taking place.

of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

Applicant: JAMIE PFEFFER

Activities to be Completed – call (615) 862-7970:

SETBACK REQUIRED (Y/N):	NO	09/04/2014
FIELD STAKING:		
FOUNDATION CHECK:		
ROUGH FRAMING INSPECTION:		
ROOFING COLOR APPROVAL PRIOR TO INSTALL:		
WINDOW APPROVAL PRIOR TO INSTALL:		
DOOR APPROVAL PRIOR TO INSTALLATION:		
CERTIFICATE OF OCCUPANCY:		

Issue Date: September 24, 2014 Issued By: MELISSA BALDOCK

1516B Ferguson Avenue

Nashville, TN 37212

See MHZC Notes on other drawings

INDEX OF DRAWINGS

SHEET No.	DRAWING TITLE	SHEET No.	DRAWING TITLE
TITLE	TITLE SHEET, GENERAL NOTES, SITE PLAN	A1.4	MAIN AND UPPER LEVEL FLOOR PLANS
A1.0	BASEMENT LEVEL DEMO PLAN, SHADED PLAN	A1.5	ROOF PLAN
A1.1	MAIN AND UPPER LEVEL DEMO PLANS	A2.1	FRONT AND BACK ELEVATIONS
A1.2	MAIN AND UPPER LEVEL SHADED PLANS	A2.2	SIDE ELEVATIONS
A1.3	BASEMENT LEVEL FLOOR PLAN		

GENERAL DRAWING NOTES

APPLICABLE CODES AND TYPES

- BUILDING CODE - 2009 INTERNATIONAL RESIDENTIAL CODE
- BUILDING TYPE - SINGLE FAMILY RESIDENCE

GENERAL

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, 1997 EDITION, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS AND EXCEPT AS MODIFIED BY THE ARCHITECT'S "SUPPLEMENTARY CONDITIONS", ARE THE CONDITIONS ON WHICH CONTRACTS FOR THIS WORK WILL BE BASED.
- THIS DOCUMENT IS PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY.
- JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYED ON EVERY SHEET TO A SPECIFIC DETAIL.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE, AND LOCAL BUILDING AND ACCESSIBILITY REQUIREMENTS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VIOLATION OF THE SAME AND SHALL MAKE ALL WORK ACCEPTABLE TO THE PUBLIC DEPARTMENT INVOLVED WITHOUT EXTRA CHARGE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
- ALL ITEMS DEPICTED GRAPHICALLY, WHETHER NOTED OR NOT, ARE PART OF THE CONTRACTOR'S SCOPE OF WORK AND SHALL BE PROVIDED AT NO EXTRA CHARGE.
- ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING, AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, ARE TO BE SECURED BY THE GENERAL CONTRACTOR.
- EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND OBTAIN ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES, OR REQUESTS THROUGH THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL CONFIRM THAT THE LAYOUT OF THE SPACE CAN BE ACCOMPLISHED AS DESIGNED. THE ARCHITECT MUST BE NOTIFIED OF ANY PROBLEMS WITH PROPOSED WALL LOCATIONS AFTER THE CHALK LINES ARE IN PLACE AND BEFORE THE FRAMING IS FASTENED IN ORDER TO MAKE APPROPRIATE DECISIONS OR ANY NECESSARY ADJUSTMENTS.
- IF UNANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED FUNCTION, CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATIONS.
- THE GENERAL CONTRACTORS SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY AND DUST BARRIERS BETWEEN CONSTRUCTION AREA AND AREAS WHICH ARE PUBLIC OR OTHERWISE OCCUPIED SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR.
- FOR THE ENTIRE LENGTH OF CONTRACT WORK, CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS.
- PROVIDE "CUTTING AND PATCHING" INTO EXISTING CONSTRUCTION FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK AND SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION. DO NOT CUT AND PATCH WORK EXPOSED ON THE BUILDING'S EXTERIOR OR ITS OCCUPIED SPACES IN A MANNER WHICH WOULD, IN THE ARCHITECT'S OPINION, RESULT IN LESSENING THE BUILDING'S AESTHETIC QUALITIES. DO NOT CUT AND PATCH WORK IN A MANNER THAT WOULD RESULT IN SUBSTANTIAL VISUAL EVIDENCE OF CUT AND PATCH WORK. REMOVE AND REPLACE WORK JUDGED BY THE ARCHITECT TO BE CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER WITHOUT EXTRA CHARGE.
- THE CONTRACTOR SHALL PROMPTLY REMEDY ANY DAMAGE AND/OR LOSS TO PROPERTY (ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK DESCRIBED HEREIN) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.

DEMOLITION

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, SOME OF WHICH MAY NOT BE VERIFIABLE WITHOUT DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION THAT DIFFER FROM THOSE INDICATED. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OBTAIN A CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

- CONTRACTORS SHALL PROVIDE ALL CLOSE-OUT DOCUMENTATION REQUIRED BY THE BUILDING MANAGEMENT
- THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITHIN THE FIELD CONDITIONS AND NOTIFY THE ARCHITECT AND PRIOR TO BEGINNING WORK OF ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
- THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IF ANY WORK DESCRIBED IN THE CONTRACT DOCUMENTS THAT CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS, EVEN THOUGH THE EXISTING CONDITIONS ARE DRAWN CORRECTLY ON THE PLANS.
- IF ANY EXISTING FIRE PROOFING OR FIRE ASSEMBLIES TO REMAIN ARE DAMAGED DURING DEMOLITION, IT SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
- REMOVE EXISTING CONSTRUCTION AS SHOWN. TYPICAL WALL REMOVAL INCLUDES FINISHES, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOOR, CASEWORK, GLAZING, FRAMES AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES AND ELECTRICAL FLOOR BOXES, REPAIR HOLES IN FLOORS OR EXISTING WALLS TO REMAIN. PATCH ADJOINING WALLS, FLOOR AND DECK, AND PREPARE TO RECEIVE NEW FINISHES.
- DURING DEMOLITION, THE CONTRACTOR SHALL BRACE AND SUPPORT ALL EXISTING STRUCTURES AS NEEDED.
- CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. NOTIFY ARCHITECT TO OBTAIN APPROVAL OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION.
- DEMOLISHED MATERIAL NOT OTHERWISE DESIGNATED BY THE ARCHITECT OR OWNER SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC. TO NEIGHBORS AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS.
- THESE DEMOLITION DOCUMENTS ANTICIPATE THAT NO ASBESTOS WILL BE ENCOUNTERED. IN THE EVENT ASBESTOS IS ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL PERFORM DEMOLITION WORK IN ACCORDANCE WITH THE OWNERS REGULATIONS.

ARCHITECTURAL

- THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE OWNER AND OBTAIN ANY CONSTRUCTION REGULATIONS PRIOR TO BEGINNING WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY THE OWNERS REGULATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY COST IMPLICATIONS TO THE TENANT AS A RESULT OF THE REGULATIONS.
- NO BUILDING MATERIALS CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT.
- CONTRACTOR SHALL COORDINATE STUD SIZE AND GAUGE NECESSARY FOR HEIGHT OF WALL, AS WELL AS FOR STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL CLEARANCES PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES WITH LAYOUT AS DIMENSIONED SHALL BE COORDINATED IMMEDIATELY WITH ARCHITECT.
- CONTRACTOR SHALL REINFORCE METAL STUD CONSTRUCTION WITH FIRE RESISTANT BLOCKING AT ALL LOCATIONS WHERE MIRRORS, ACCESSORIES, ETC. WILL BE INSTALLED.
- FIRE-RATED PARTITIONS SHALL BE IDENTIFIED AS SUCH IN LARGE RED STENCIL ABOVE FINISHED CEILING.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL RATING OF ALL REQUIRED RATED WALLS AT ALL INTERSECTIONS, CONNECTIONS, AND PENETRATIONS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OF NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINT.
- MATERIALS PROVIDED SHALL BE INSTALLED PER MANUFACTURERS WRITTEN RECOMMENDATION AND PER CODE REQUIREMENTS.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHOWN ON THESE DRAWINGS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTORS SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- FOR ELECTRICAL BOXES LOCATED ON OPPOSITE SIDES OF WALLS, PROVIDE A MINIMUM HORIZONTAL SEPARATION OF ONE STUD SPACING. 1" MINIMUM DISTANCE BETWEEN THEM.
- GROUPS OF RECEPTACLES SHALL BE MOUNTED WITH A 1-1/2" MINIMUM DISTANCE BETWEEN THEM.
- WHEN MAKING SAW CUTS OR TRENCHING CONCRETE TO RUN ELECTRICAL POWER OR DATA TO FURNISHINGS, FILL IN AND PATCH SLAB AROUND AREA REMOVED AND AROUND ELECTRICAL BOXES.
- CONTRACTOR TO VERIFY AND PROVIDE ALL ELECTRICAL REQUIREMENTS FOR ALL O.F.O. AND C.F.C.I. EQUIPMENT AND APPLIANCES, INCLUDING BUT NOT LIMITED TO COFFEE MAKERS, MICROWAVES, REFRIGERATORS COPIERS, FAX MACHINES, PRINTERS, ETC.
- CONTRACTOR TO COORDINATE WITH THE OWNER FINAL LOCATIONS AND ELECTRICAL REQUIREMENTS OF OWNER FURNISHED EQUIPMENT AND FURNITURE.

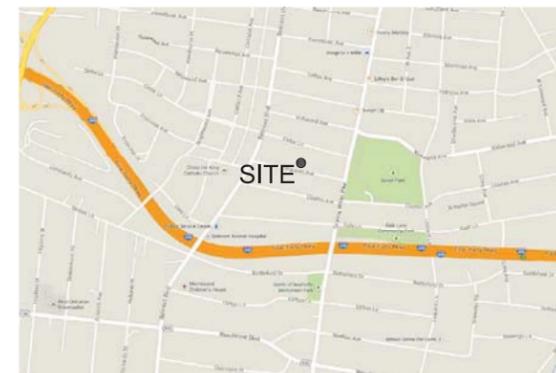
PROJECT TEAM

ARCHITECT

PFEFFER TORODE ARCHITECTURE
521 8th Avenue South, Suite 103
Nashville, TN 37203
615-618-3565
jamie@pfeffertorode.com

BUILDER

VICINITY MAP



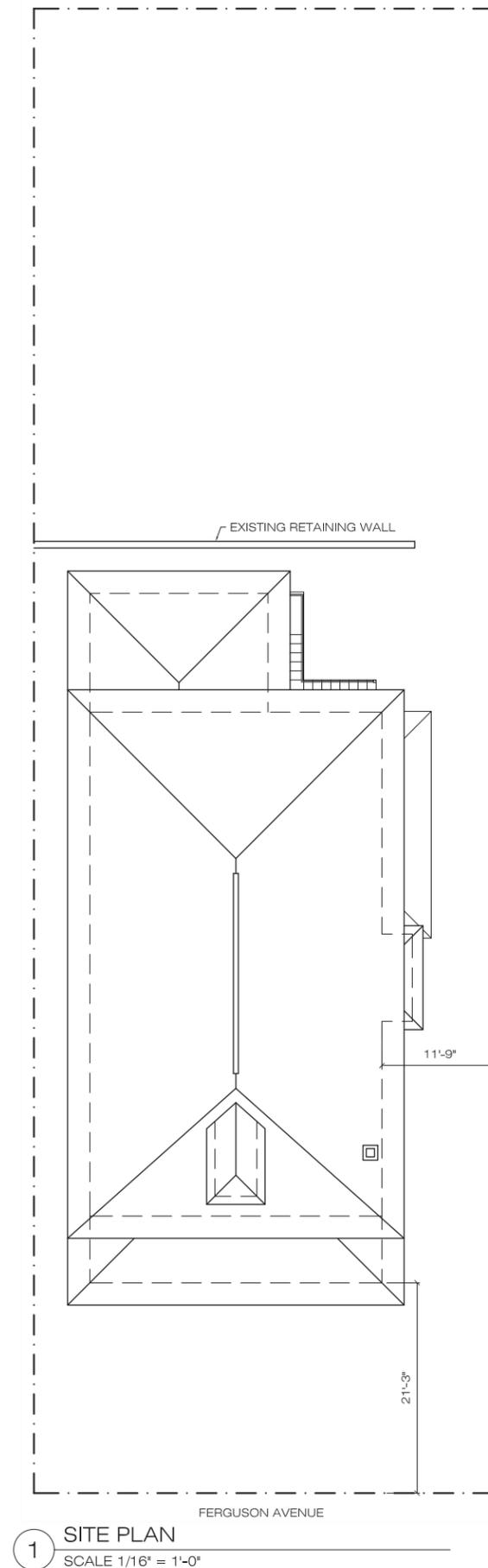
BUILDING DATA

ADDRESS: 1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212
PARCEL ID: 11708012300
DESCRIPTION: RENOVATION/ADDITION
LOT AREA: .16 ACRES
DIMENSIONS: 47' x 152'
PROPOSED BUILDING AREAS

CONDITIONED AREA:	
BASEMENT LEVEL:	1306 SF
MAIN LEVEL:	1647 SF
UPPER LEVEL:	1533 SF
TOTAL:	4486 SF

UNCONDITIONED AREA:

FRONT PORCH:	89 SF
BACK DECK:	218 SF
TOTAL:	307 SF



1 SITE PLAN
SCALE 1/16" = 1'-0"

ARCHITECT:



Pfeiffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee
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615-618-3565

PROJECT:

1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
SITE PLAN

24 SEPTEMBER 2014

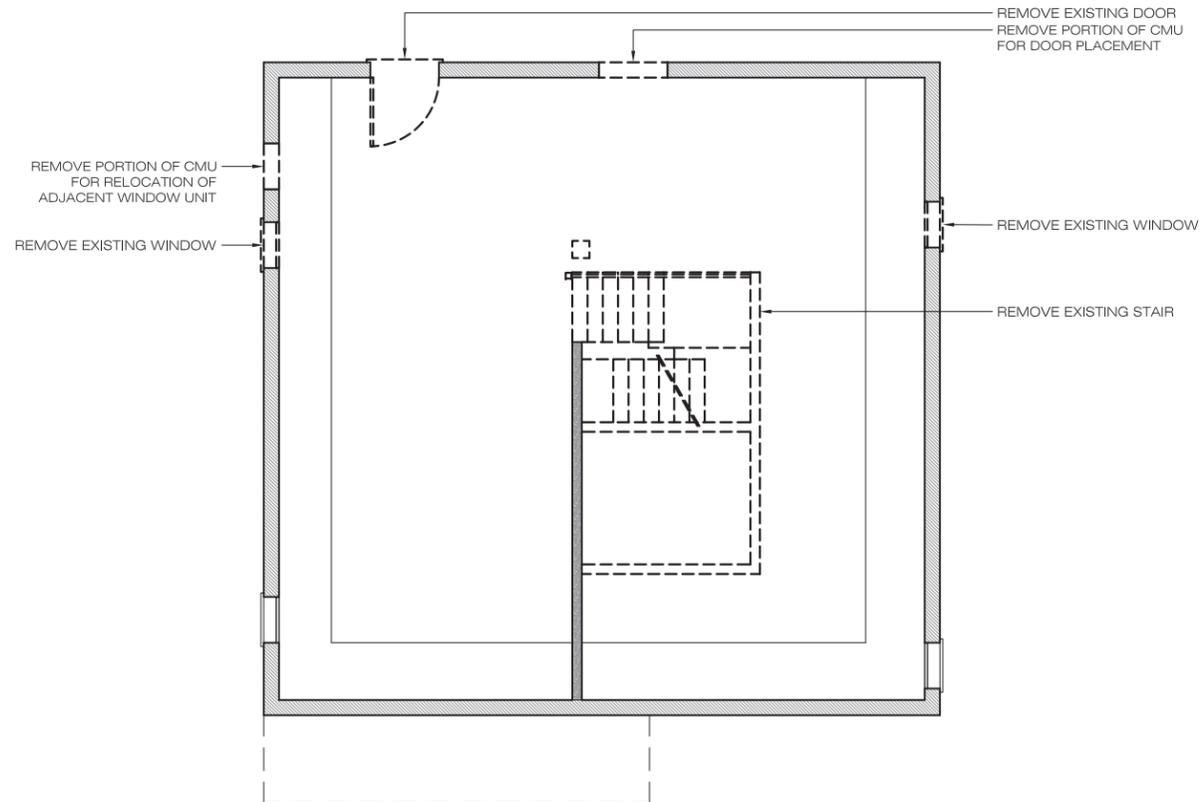
TITLE

MHZC NOTES; CALL 862-7970 IF QUESTIONS

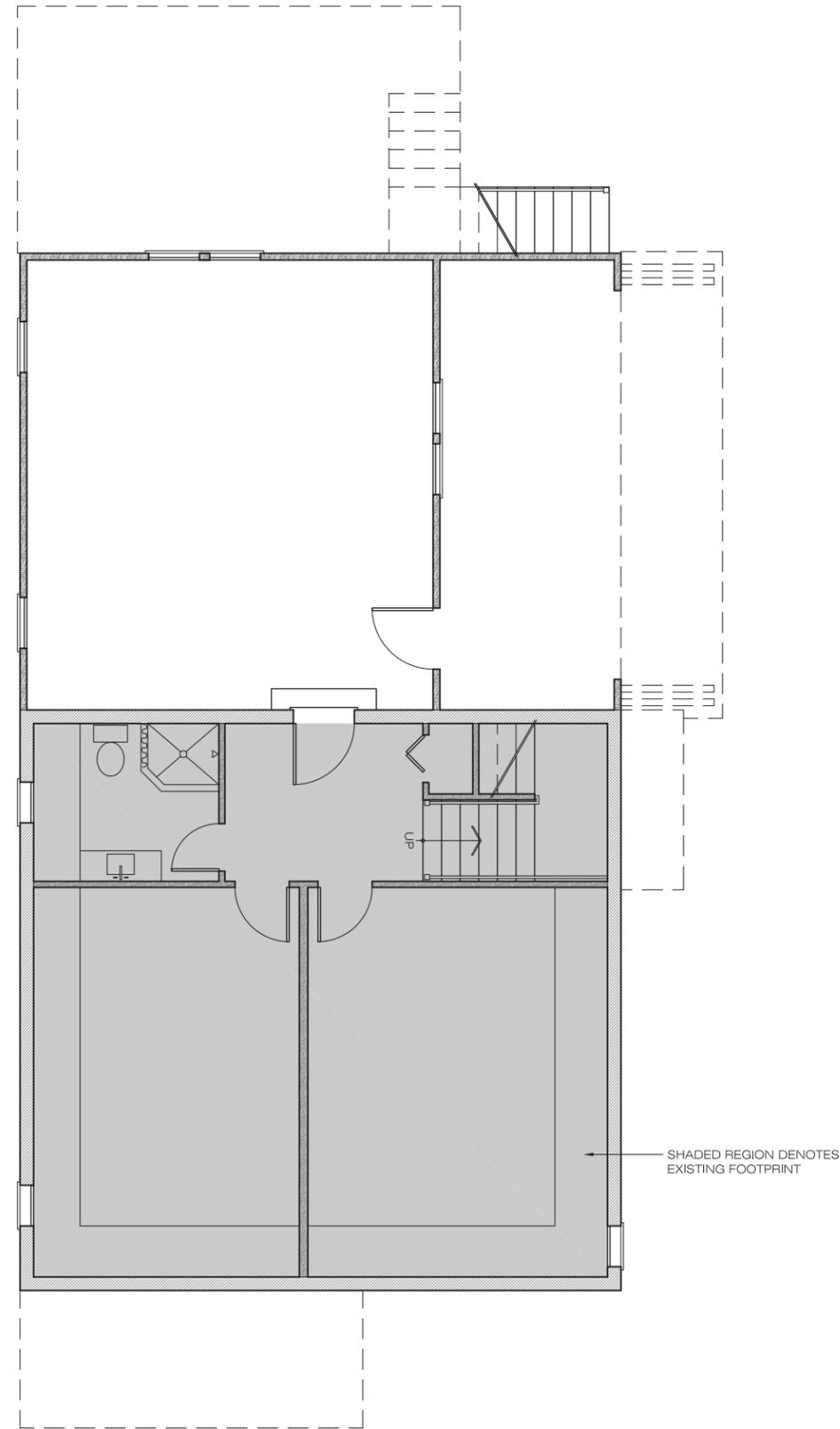
1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
7. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
8. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.
9. The finished floor height shall be consistent with the finished floor heights of the adjacent houses, to be verified by MHZC staff in the field.

**MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE
INSPECTIONS**

1. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the first floor system has been constructed
 - d. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Masonry
 - d. Utility location



2 MAIN LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"



3 UPPER LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:



PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
BASEMENT LEVEL
DEMO PLAN AND
SHADED PLAN

24 SEPTEMBER 2014

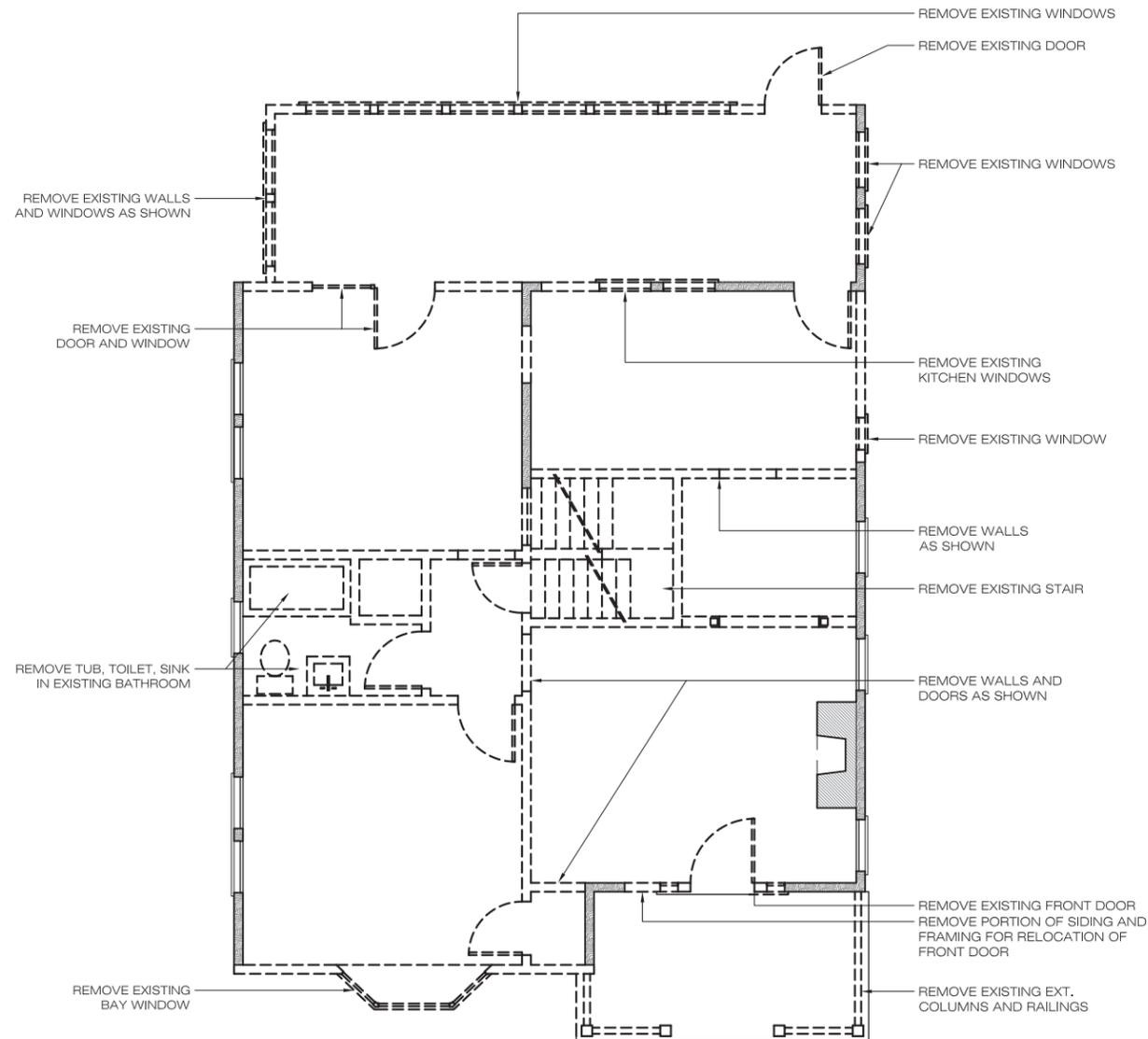
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MHZC NOTES; CALL 862-7970 IF QUESTIONS

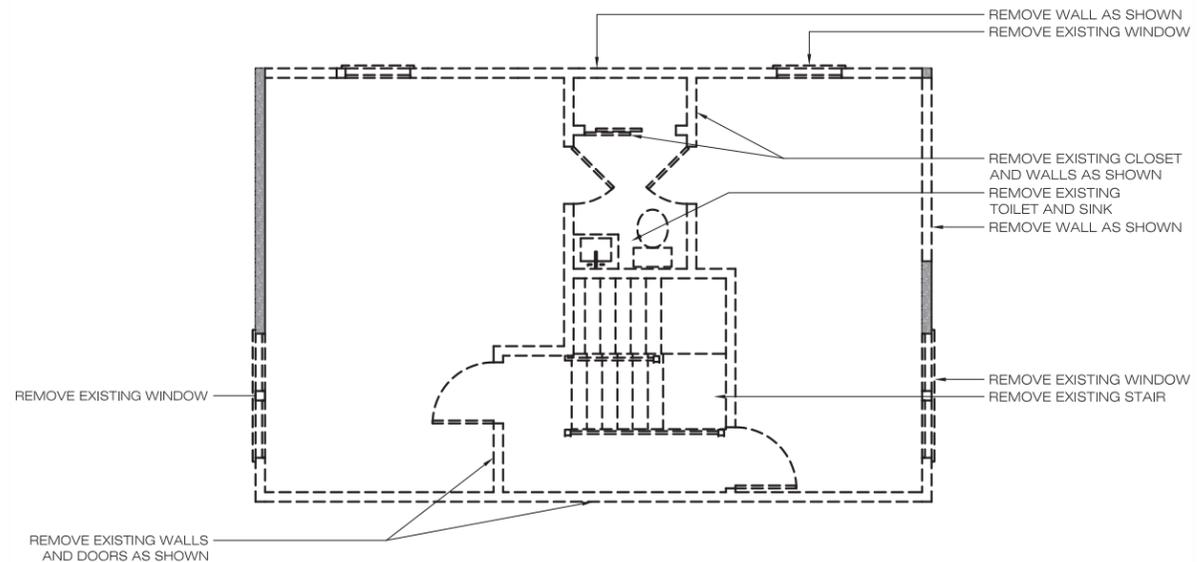
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3 UPPER LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:

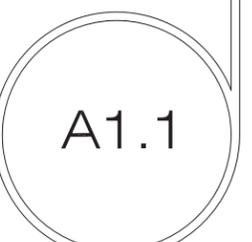


PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
MAIN AND UPPER
LEVEL DEMO PLANS

24 SEPTEMBER 2014

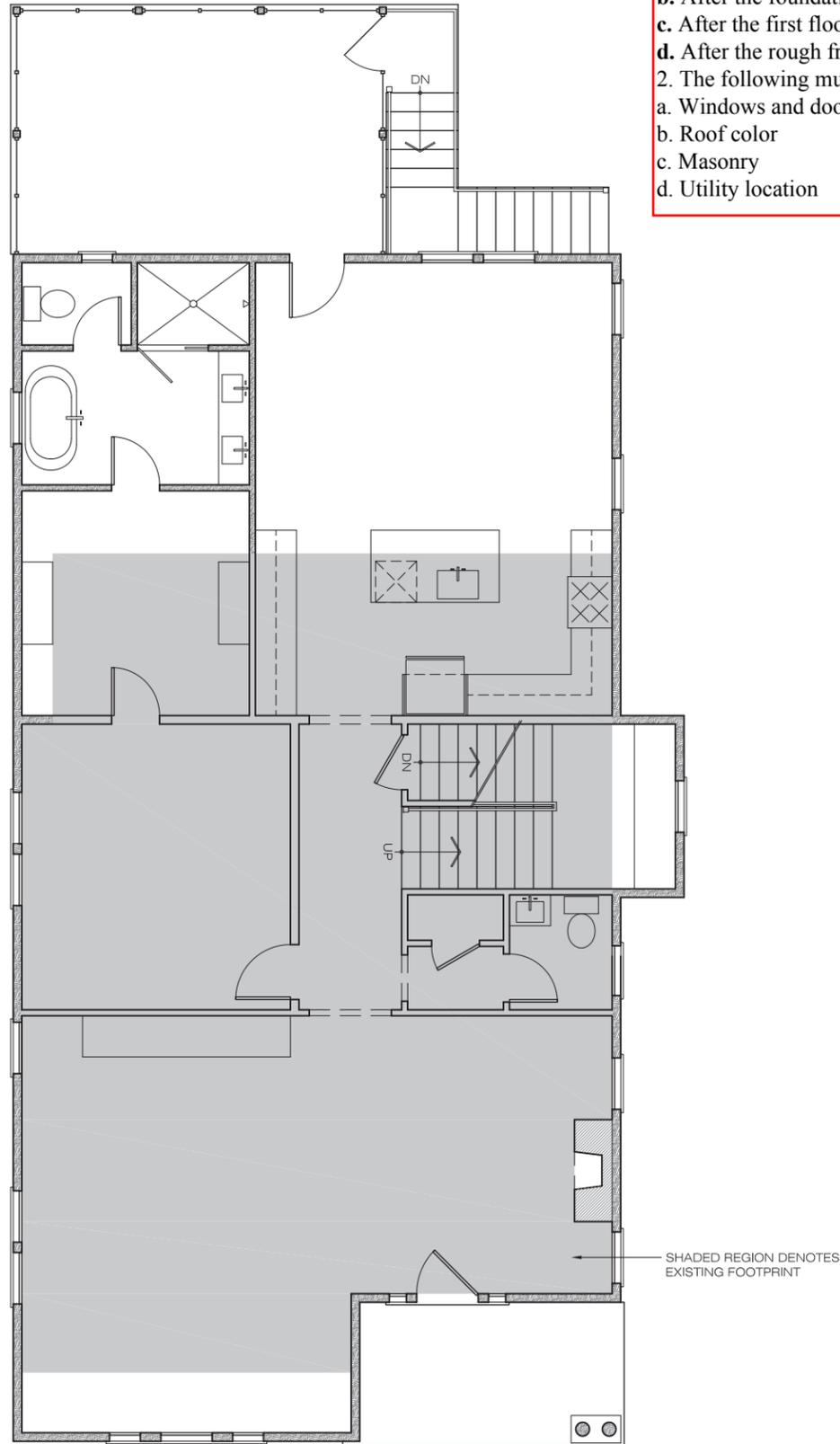


MHZC NOTES; CALL 862-7970 IF QUESTIONS

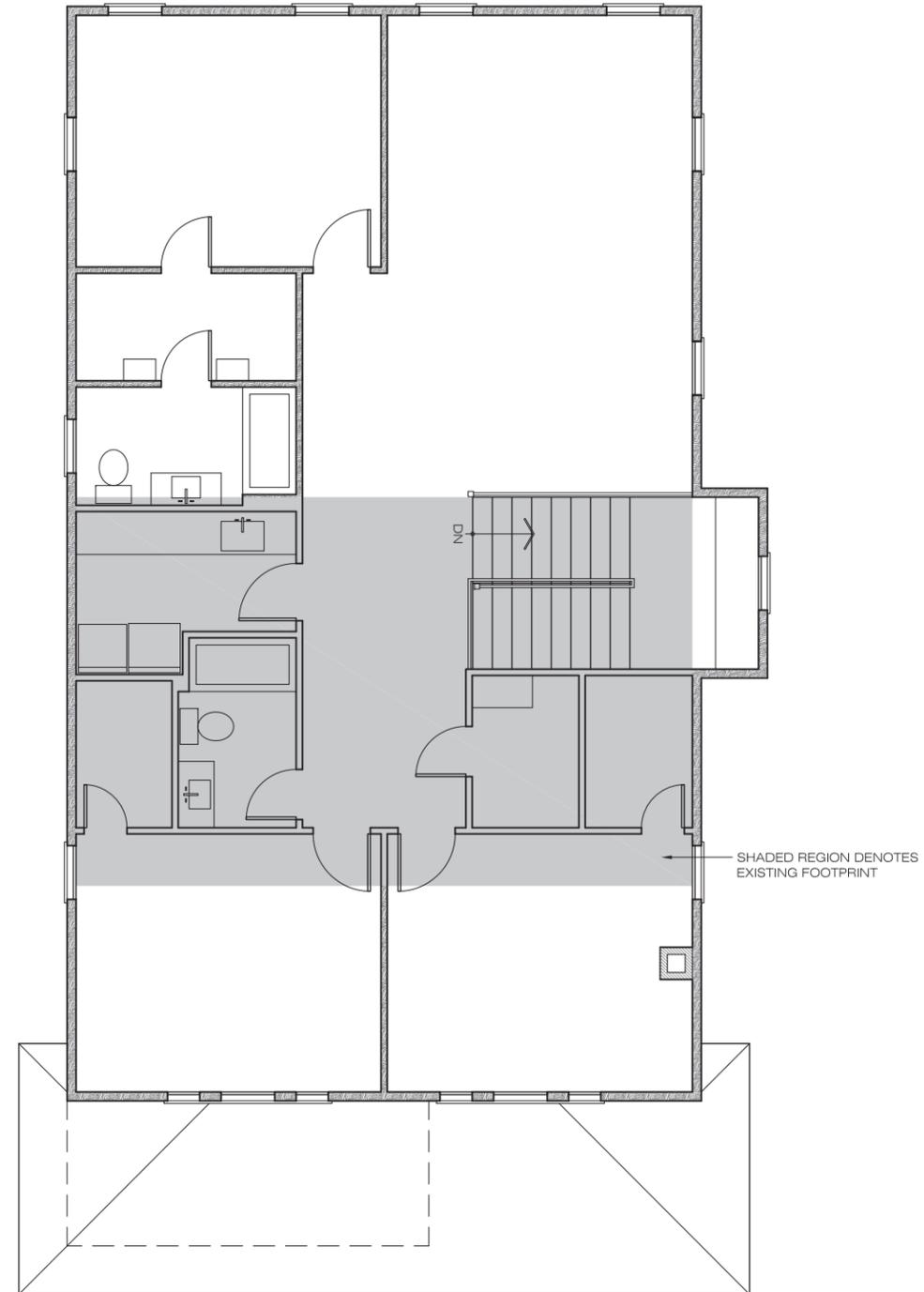
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 - c. Masonry
 - d. Utility location



2 MAIN LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"



3 UPPER LEVEL DEMO PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:

pta
Pfeffer Torode Architecture
521 8th Avenue South, Suite 103, Nashville, Tennessee
37203
www.pfeffertorode.com
615-618-3565

PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
MAIN AND UPPER
LEVEL SHADED
PLANS

24 SEPTEMBER 2014

A1.2

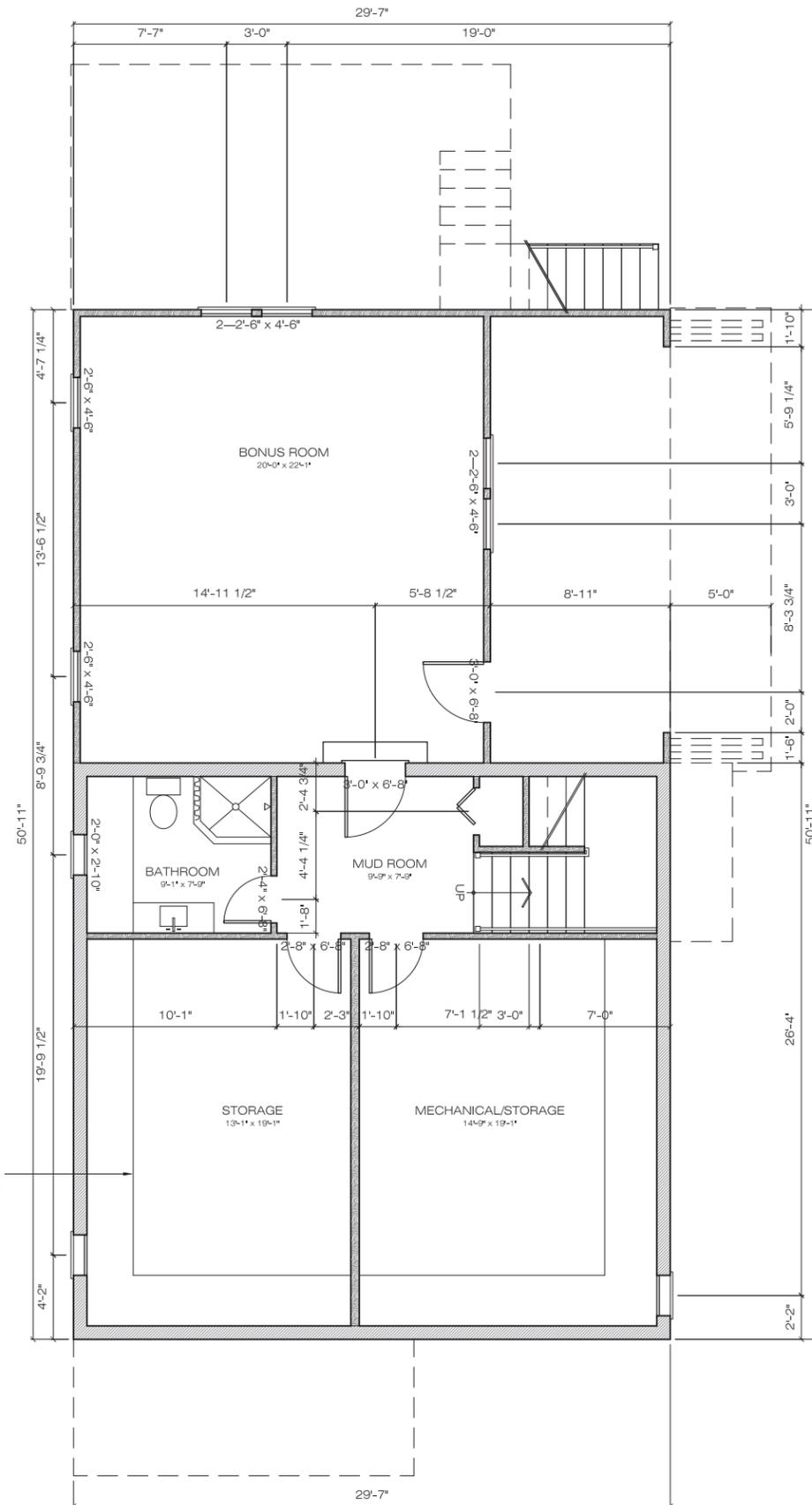
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 - a. Windows and doors
 - b. Roof color
 - c. Masonry
 - d. Utility location

EXISTING FOUNDATION
STRUCTURE TO REMAIN



1 BASEMENT LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:

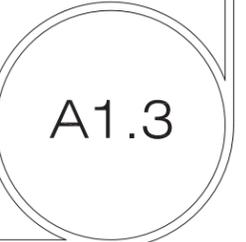


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PERMIT SET

SHEET:
BASEMENT LEVEL
FLOOR PLAN

24 SEPTEMBER 2014



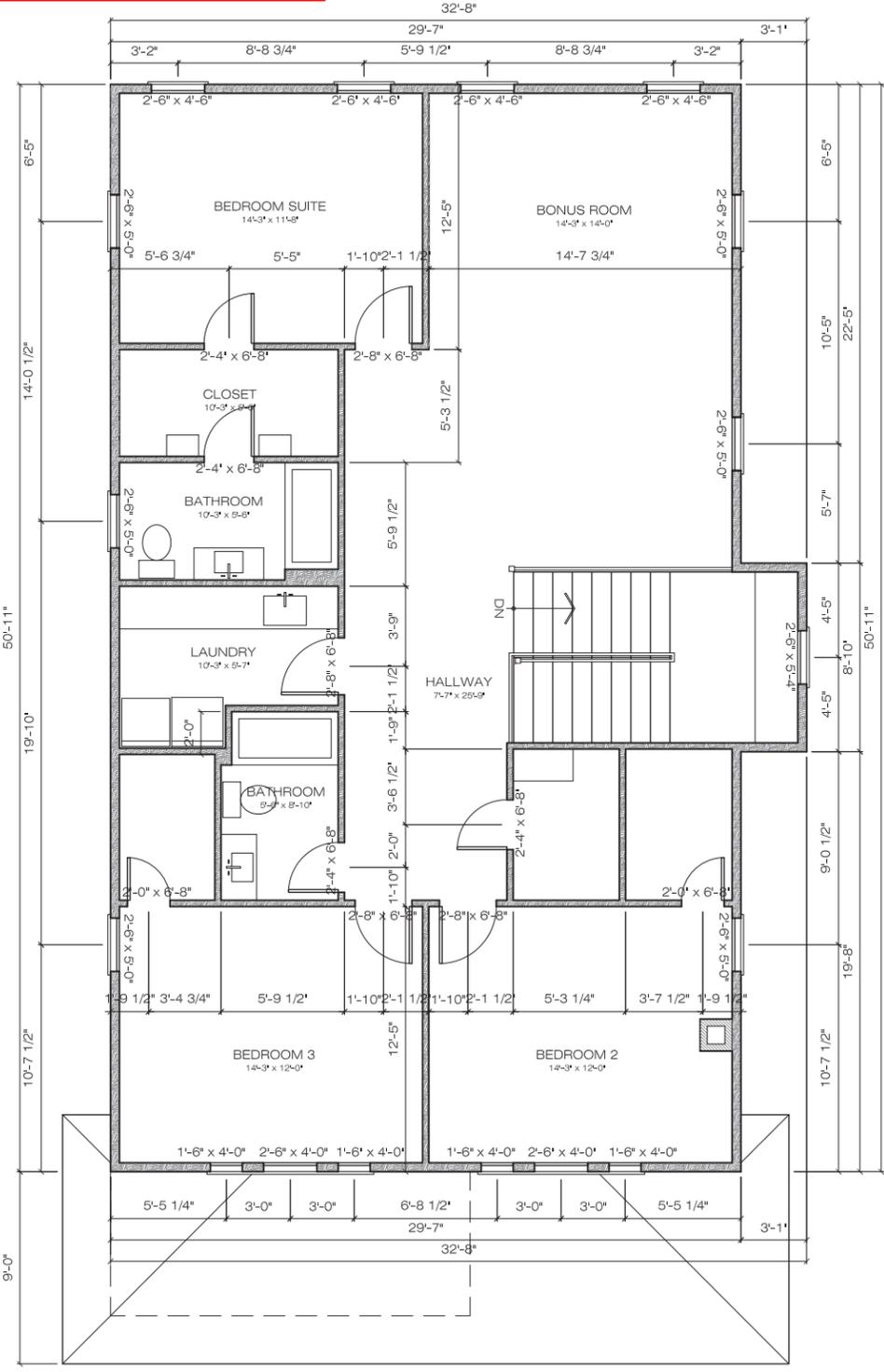
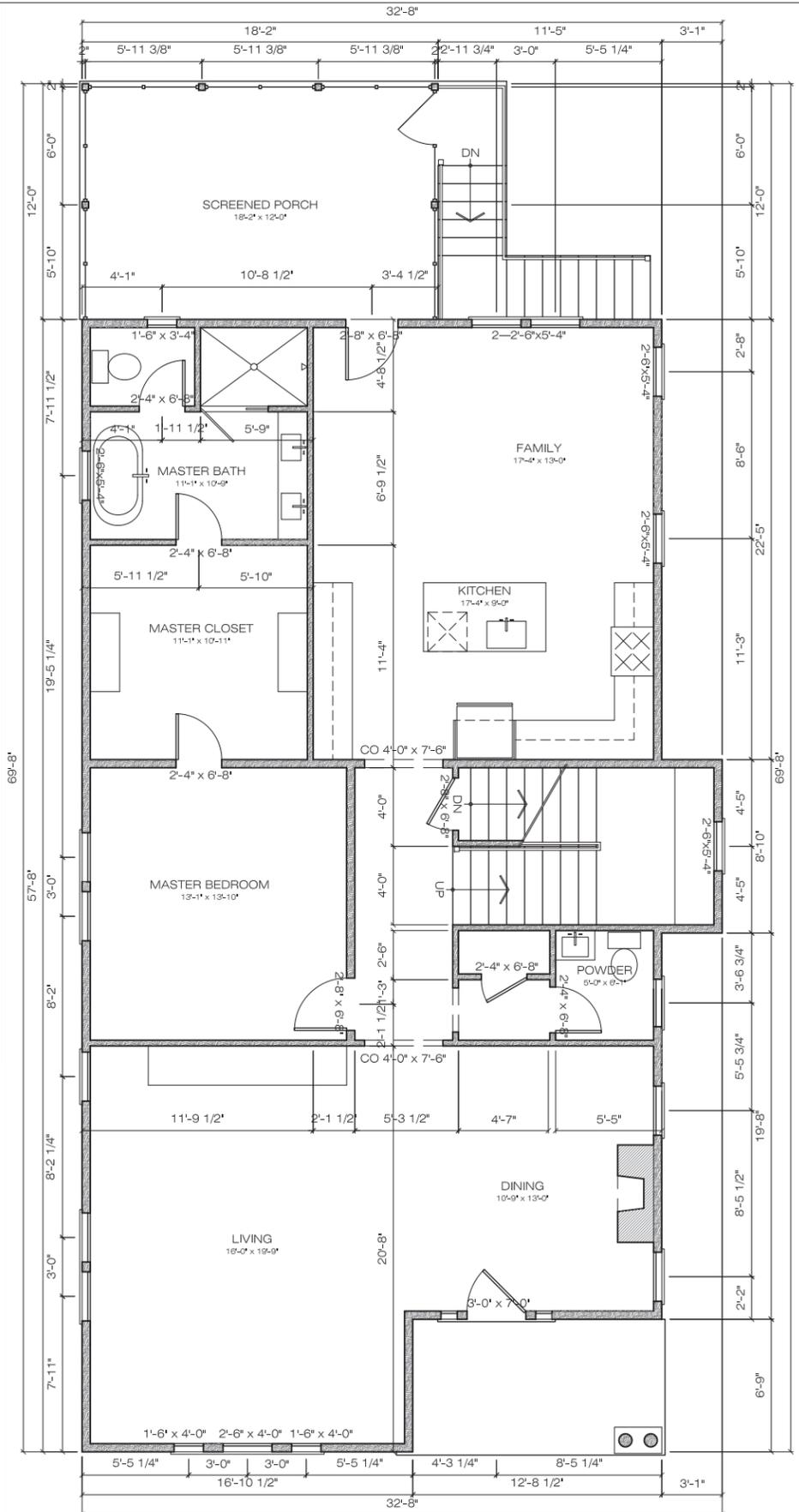
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CONDITIONED AREA:	
1,306 SF	BASEMENT LEVEL
1,647 SF	MAIN LEVEL
1,533 SF	UPPER LEVEL
4,486 SF	TOTAL
UNCONDITIONED AREA:	
89 SF	FRONT PORCH
218 SF	BACK DECK
307 SF	TOTAL



ARCHITECT:

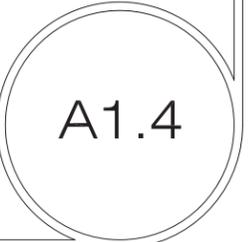


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MAIN AND UPPER
LEVEL FLOOR PLANS

24 SEPTEMBER 2014



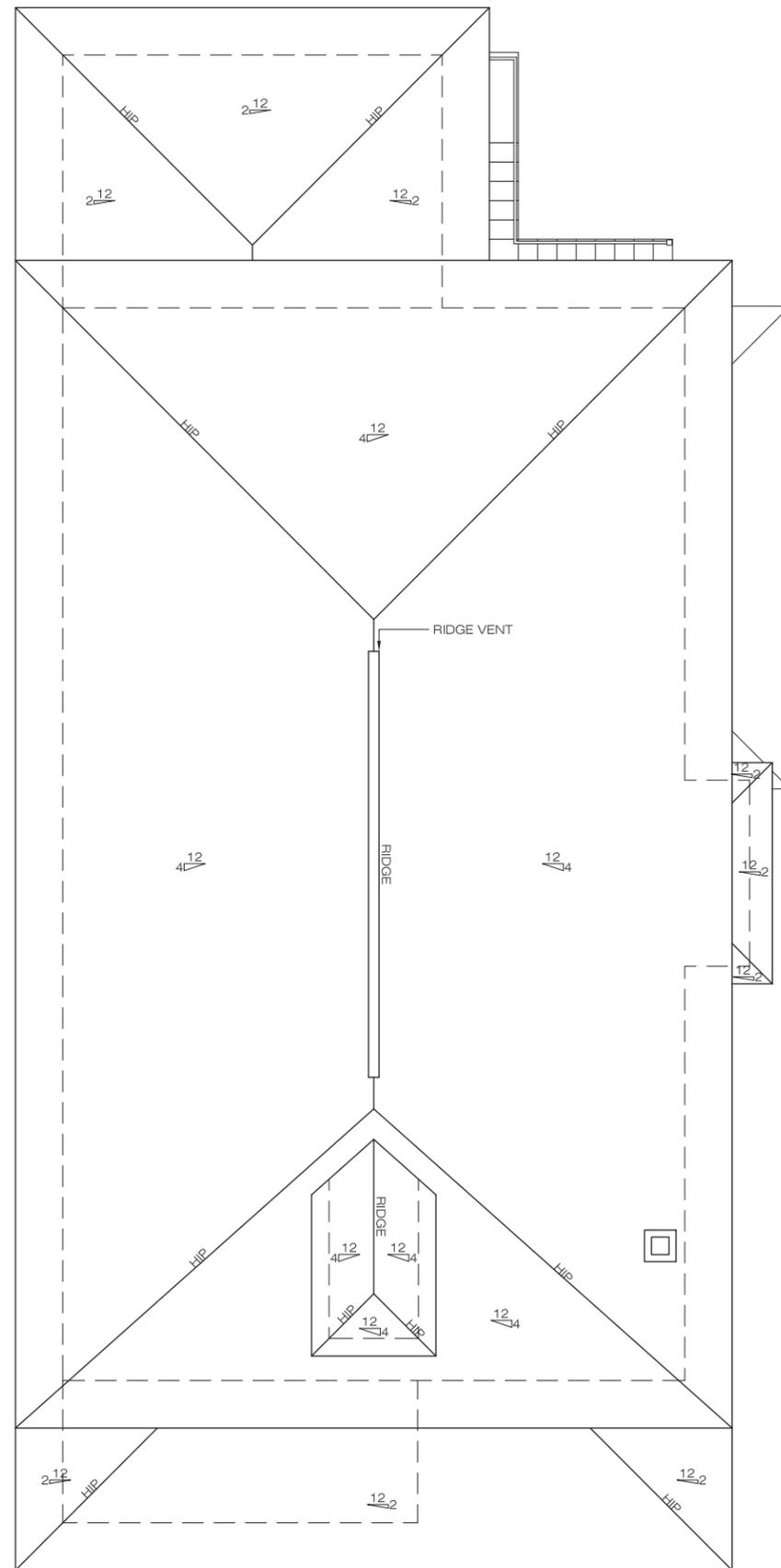
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 - d. Utility location



1 ROOF PLAN
SCALE 1/8" = 1'-0"

ARCHITECT:



PROJECT:
1516B FERGUSON AVENUE
NASHVILLE, TENNESSEE 37212

PERMIT SET

SHEET:
ROOF PLAN

24 SEPTEMBER 2014



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1 FRONT ELEVATION
SCALE 1/8" = 1'-0"



2 REAR ELEVATION
SCALE 1/8" = 1'-0"

ARCHITECT:



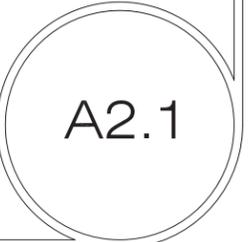
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PERMIT SET

SHEET:
FRONT AND REAR
ELEVATIONS

24 SEPTEMBER 2014





1 LEFT ELEVATION
SCALE 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE 1/8" = 1'-0"

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SHS
24 SEPTEMBER 2014

A2.2