



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1329 Seventh Avenue North
November 18, 2015

Application: New construction-infill (Final SP design)
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08112044100
Applicant: Manuel Zeitlin
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is for final approval of the design details of a multi-family development at the southwest corner of Seventh Avenue North and Taylor Street. In May 2015, MHZC approved the demolition of the non-contributing structure on the site and the overall massing of the project.

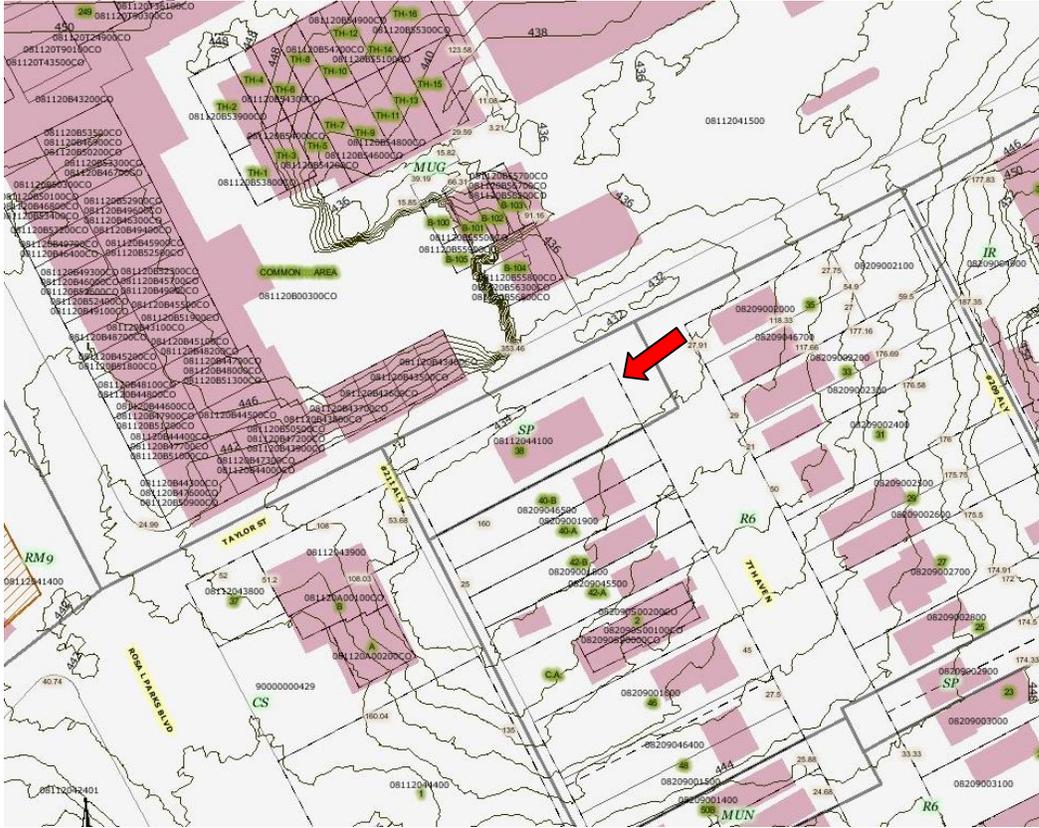
Attachments
A: Photographs
B: BL2015-1299
C: Site Plan
D: Elevations

Recommendation Summary: Staff recommends approval of the final design details with the following conditions:

1. Staff approve masonry samples;
2. Staff approve the metal panel color and texture, and the metal for the entry canopy;
3. Staff approve the design and materials of the stoop stairs and stoop railing;
4. Staff approve the final window and door selections prior to purchase and installation;
5. Staff approve a composite board sample for the fencing; and
6. Staff approve all permanent landscape features, including, but not limited to, exterior lighting, signage, bike racks, and railings.

With these conditions, Staff finds that the project meets Sections 2.4. and 5.0. of the *Germantown Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context.
Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.
- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)

Walls of solid masonry construction within the front setback are permitted up to 24" in height.

Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.

The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".

Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).

Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

Background: 1329 Seventh Avenue North is located at the corner of Seventh Avenue North and Taylor Street (Figures 1 & 2). Currently on the site is a non-contributing structure constructed c. 1950. In May 2015, MHZC approved the demolition of the non-contributing structure and the massing of the proposed new multi-unit mixed use structure. MHZC found that the proposed infill met the design guidelines' Sections 2.2.1. (Setbacks), 2.2.2. (Orientation), 2.2.3. and 2.2.4 (Height and Scale), 2.3 (Foundation), 2.5. and 2.6 (Windows and Doors), 2.6 (Porches, Entrances, Recessed Entries), 2.7 (Roof), 5.0 (Site Improvements), and 7.0 (Demolition). This proposal is for approval of the design details of the project.

The project required amending a Specific Plan (SP) from 2006. Metro Council approved the amended SP plan in August 2015. The amended SP allows for four townhome units plus two live-work units, for a total of six units (see attached).



Figures 1 & 2 show the site at 1329 Seventh Avenue North, at the corner of Taylor Street.

Analysis and Findings: Application is for final approval of the design details of a multi-family development at southwest corner of Seventh Avenue North and Taylor Street. In May 2015, MHZC approved the demolition of the non-contributing structure on the site and the overall massing of the project.

Walls/Exterior Materials The Seventh Avenue façade of the structure will be primarily clad in brick. Staff recommends approval of a brick sample. The recessed upper level will be clad in fiber cement or metal panels, both of which meet the design guidelines, and the projecting bays along Taylor Street will be clad in metal panels. The canopy over the chamfered entry will be metal. Staff recommends approval of all metal colors and texture prior to purchase and installation.

The trim will be cement fiberboard. The development's windows will be aluminum clad or aluminum storefront window, and staff recommends approval of all window and door selections prior to purchase and installation. The materials for the stoop stairs and hand rails were not specified, and staff asks to review these materials and design prior to purchase and installation. The rear and interior lot facades will also be clad in metal panel, fiber cement panel, and brick.

With the aforementioned staff approvals, staff finds that the known materials meet Section 2.4 of the design guidelines.

Site Improvements: Since Germantown is an historic preservation overlay, all site improvements, including, but not limited to, fencing/walls, sidewalk changes, exterior lighting, signage, bike racks, and railings, are regulated by MHZC. The submitted plans indicate that a six foot (6') composite board dumpster enclosure will be installed along Taylor Street, between the end of the building and the alley. Along the interior lot line, a six foot (6') tall composite board privacy fence will be installed. Staff finds the heights and locations of these fences to be appropriate, but recommends reviewing a material

sample to determine its appropriateness. Staff also recommends approval of all other permanent site features, including exterior lighting, signage, bike racks, railings, etc. With these conditions, staff finds that the known site improvements meet Section 5.0. of the design guidelines.

Recommendation Summary: Staff recommends approval of the final design details with the following conditions:

1. Staff approve masonry samples;
2. Staff approve the metal panel color and texture, and the metal for the entry canopy;
3. Staff approve the design and materials of the stoop stairs and stoop railing;
4. Staff approve the final window and door selections prior to purchase and installation;
5. Staff approve a composite board sample for the fencing; and
6. Staff approve all permanent landscape features, including, but not limited to, exterior lighting, signage, bike racks, railings, etc.

With these conditions, Staff finds that the project meets Sections 2.4. and 5.0. of the *Germantown Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Context Photos:



Buildings to the left along Seventh Avenue North



Buildings across the street on Seventh Avenue North



Werthan lofts, across Taylor Street from the site



Taylor Street, catty-corner from the site.

SUBSTITUTE ORDINANCE NO. BL2015-1299

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by amending an existing SP to permit four townhome units plus two live/work units for a total of six units, where four detached units had previously been approved, approximately 174 feet north of Rosa Parks Blvd (0.18 acres), all of which is described herein (Proposal No. 2006SP-075-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By amending an existing SP to permit four townhome units plus two live/work unit for a total of six units, where four detached units had previously been approved, approximately 174 feet north of Rosa Parks Blvd (0.18 acres), being Property Parcel No. 441 as designated on Map 081-12 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 081 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to six residential units, with two of the six units located along the corner of Taylor Street and 7th Avenue North, allowed to be live/work.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Live/work unit is defined as a single unit consisting of a commercial space on the first floor and a residential component that is occupied by the proprietor of the commercial space above. The live/work unit may also serve as solely residential use. Commercial uses include retail, office and personal care services only.
2. The Preliminary SP plan is the site plan and associated documents. If applicable, remove all notes and references that indicate that the site plan is illustrative, conceptual, etc.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RM20-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Sponsored by: Erica Gilmore

[View Sketch](#)

[View Site Plan](#)

**Amendment No. 1
To
Substitute Ordinance No. BL2015-1299**

Madam President:

I move to amend BL2015-1299 as follows:

I. By deleting the current Section 3 and replacing it with the following:

Section 3. Be it further enacted, that he uses of this SP shall permit four townhome units and one live/work unit, for a total of five units.

II. By amending Section 4 to add the following provisions:

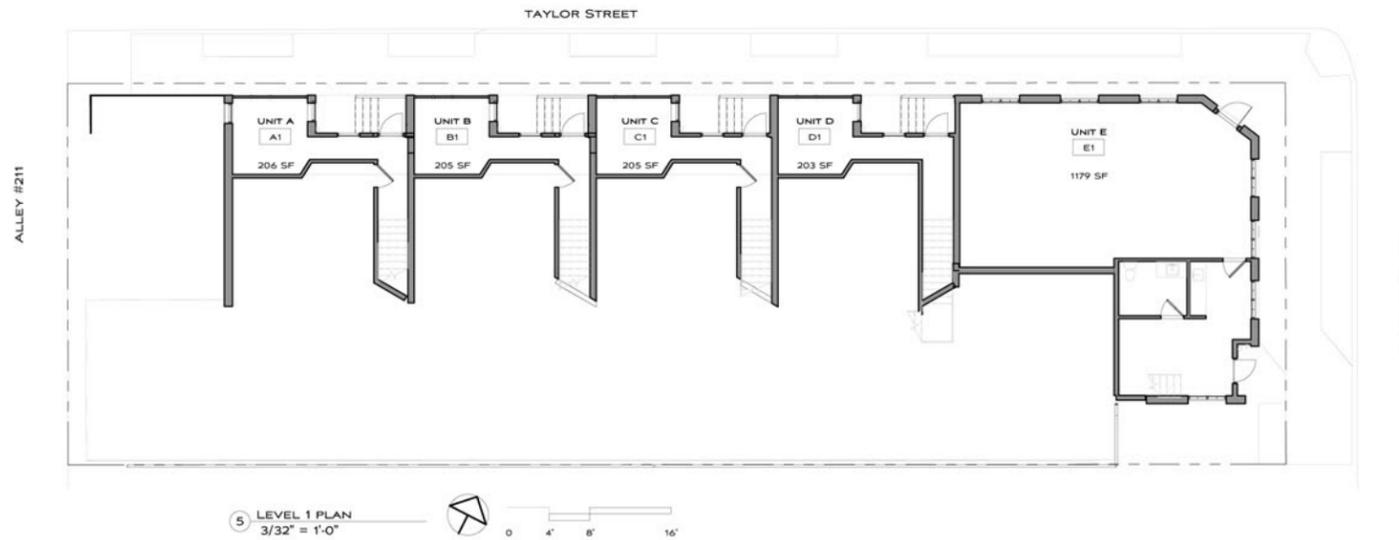
3. The final site plan shall include two parking spaces per unit.

4. The final site plan shall incorporate 3-foot planting strips and pervious pavers into a portion of the public sidewalk. The sidewalk shall be a minimum of 5 feet in depth along Taylor Street to accommodate street trees to be placed between the sidewalk and roadway. The installation of such planters and pavers shall be contingent upon approval of the Department of Public Works and, if determined to be necessary by the Department of Public Works, approval of an ordinance allowing the encroachment in the right-of-way.

5. The final site plan shall incorporate a 4-foot planting strip and pervious pavers into a portion of the public sidewalk. The sidewalk shall be a minimum of 7 feet in depth along 7th Avenue to accommodate street trees to be placed between the sidewalk and roadway. The installation of such planters and pavers shall be contingent upon approval of the Department of Public Works and, if determined to be necessary by the Department of Public Works, approval of an ordinance allowing the encroachment in the right-of-way.

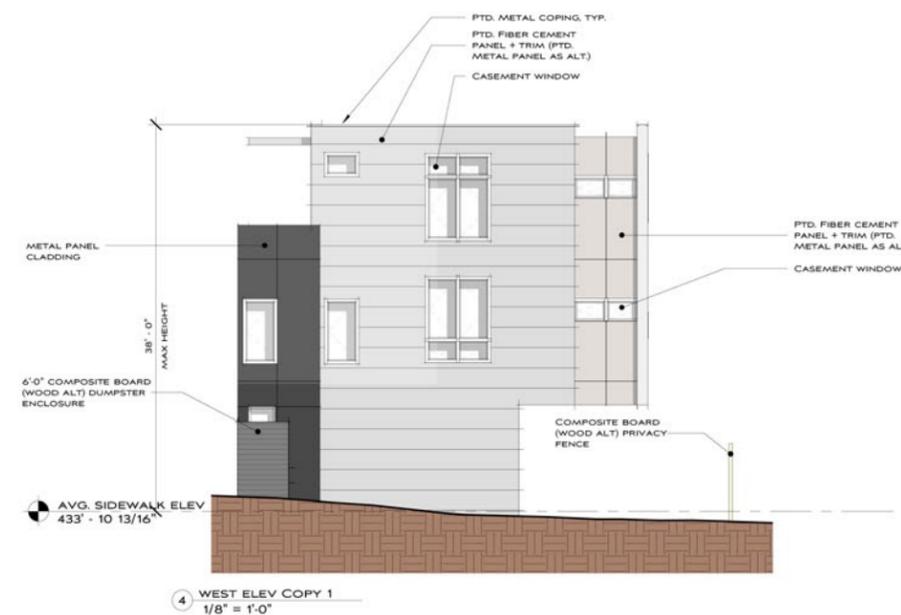
Sponsored by: Erica Gilmore

LEGISLATIVE HISTORY	
Introduced:	July 7, 2015
Passed First Reading:	July 7, 2015
Referred to:	Planning Commission Planning & Zoning Committee
Passed Second Reading:	August 4, 2015
Substitute Introduced:	August 18, 2015
Amended:	August 18, 2015
Passed Third Reading:	August 18, 2015
Approved:	August 19, 2015
By:	
Effective:	August 21, 2015



MHZC Note. This page is not to scale. See following pages for scaled drawings.

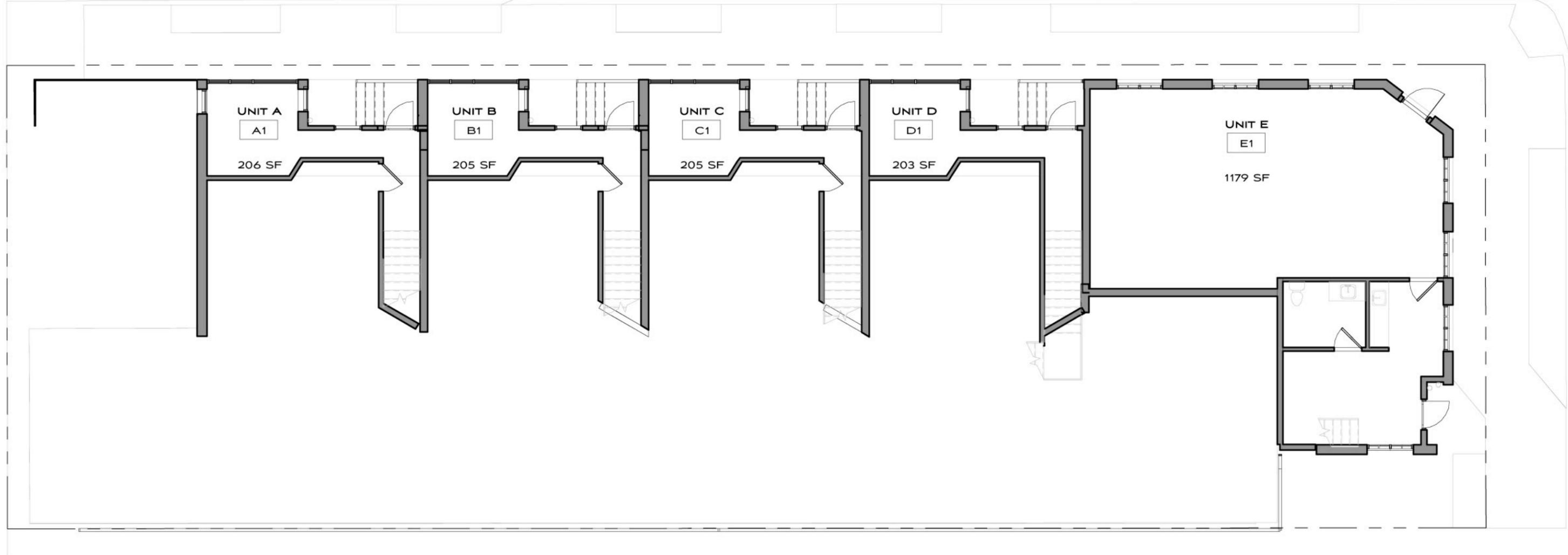
EXAMPLE OF HISTORIC CORNER COMMERCIAL STRUCTURES IN NEIGHBORHOOD



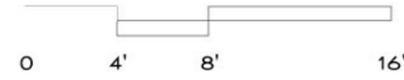
TAYLOR STREET

ALLEY #211

7th Avenue South



5 LEVEL 1 PLAN
3/32" = 1'-0"





PTD. FIBER CEMENT
PANEL + TRIM (PTD.
METAL PANEL AS ALT.)

2 NORTH ELEV COPY 1
1/8" = 1'-0"

PTD. FIBER CEMENT
PANEL + TRIM (PTD.
METAL PANEL AS ALT.)

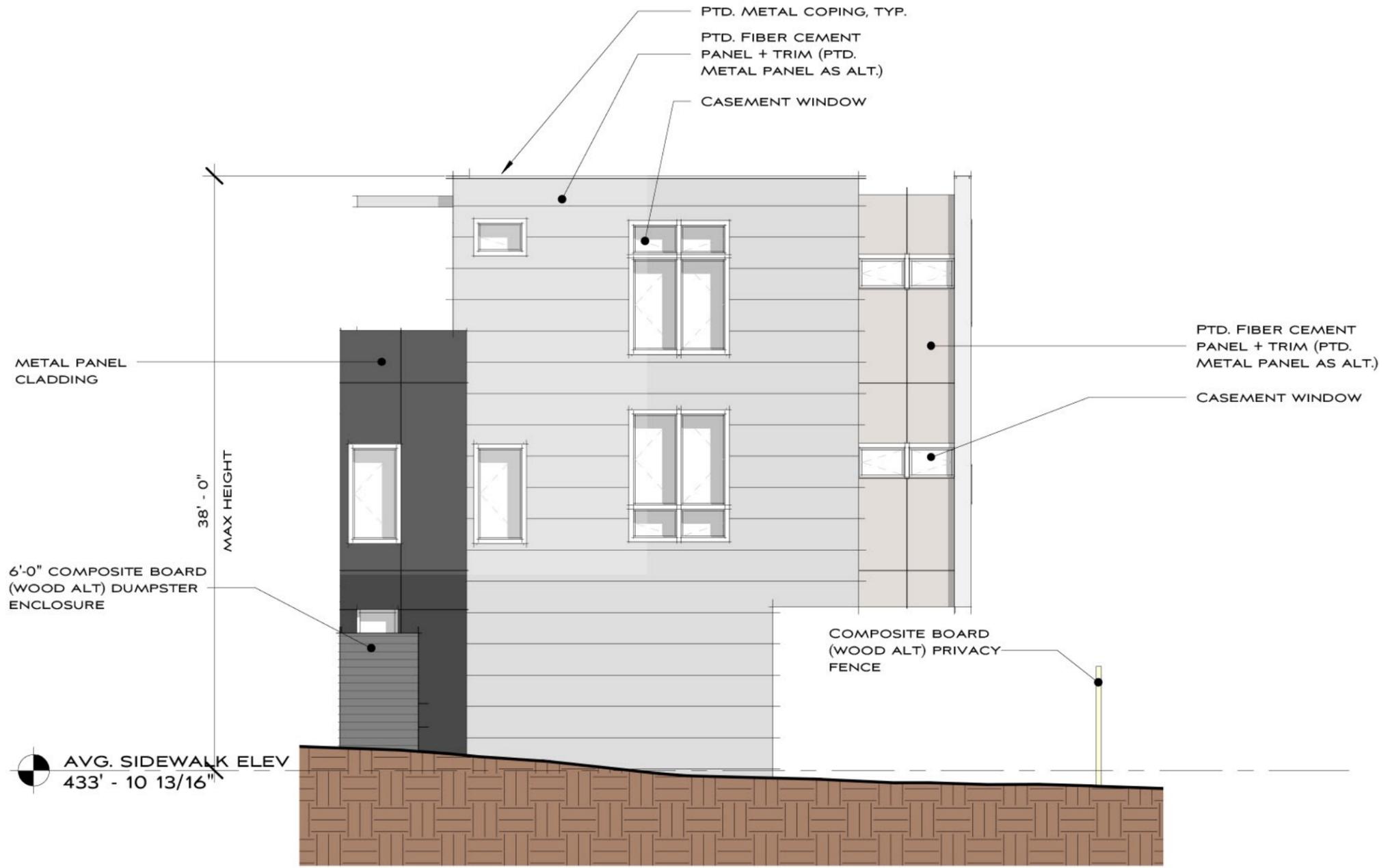
2 NORTH ELEV COPY 1
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
 1/8" = 1'-0"



4 WEST ELEV COPY 1
 1/8" = 1'-0"