

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1521 Fatherland Street
October 21, 2015

Application: New construction—infill; Setback determination
District: Lockland Springs – East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313040400
Applicant: John Root
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: The applicant proposes to construct a new two-story house on a vacant lot. The request includes a setback determination to reduce a portion of the side setback on South 16th Street from ten feet (10') to seven feet (7'). The garage shown on the site plans is not a part of the current request.

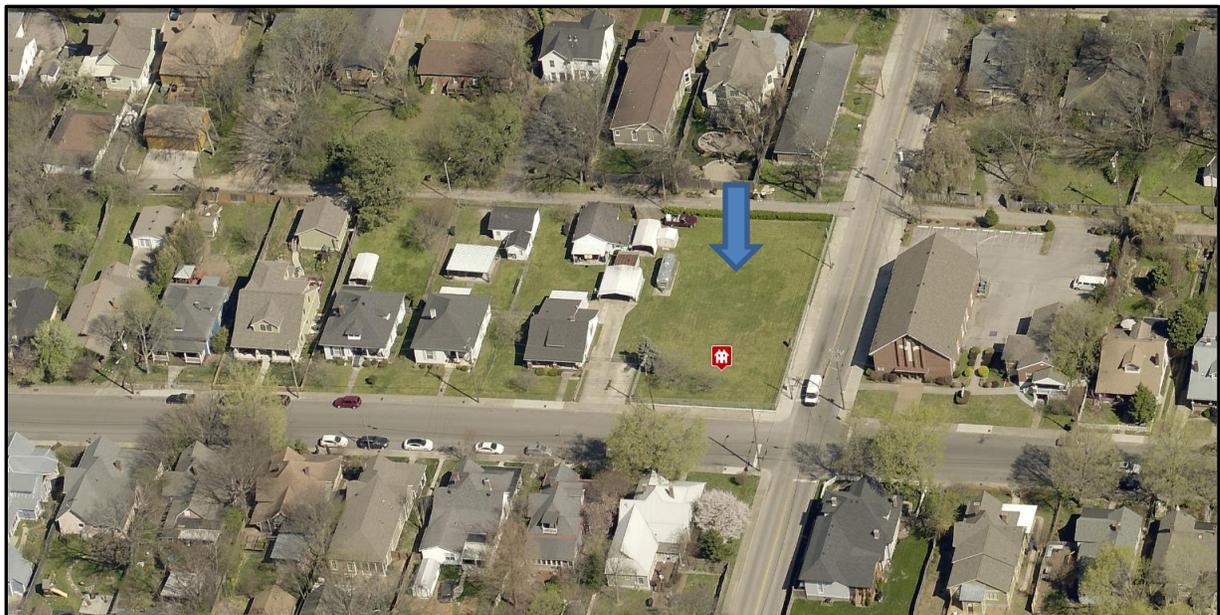
Recommendation Summary: Staff recommends disapproval based on the fact that the proposed house exceeds the established scale of one to one and a half story historic homes in the immediate area and therefore does not meeting the design guidelines for scale, for the Lockland Springs-East End Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.
6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the*

- immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they

are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: The applicant proposes a new single-family residence at 1521 Fatherland street. The lot is currently vacant located at the southwest corner of the intersection of South 16th Street and Fatherland Street (See Figure 1). The lot is a corner lot with rear alley access and is served by an existing sidewalk network. On October 1, 2015, a final plat was recorded that subdivided the existing lot into two lots.



Figure 1. 1521 Fatherland Street, vacant lot

Analysis and Findings:

Height & Scale: The proposed building is two stories and twenty-eight feet (28') tall from the finished floor. The foundation height ranges from approximately twelve inches (12") to twenty-four inches (24") at the front. Homes in the immediate context range between sixteen and twenty-eight feet (16'-28') from grade. Although the overall height can be appropriate, the scale of the building is as a two-story building with eave heights of a two-story building where the majority of the historic context has the massing of one and one and one-half story homes. There is just one historic two-story home in the adjoining block of Fatherland; otherwise there are none between the 1800 block and the 1100 block where there is a series of four newer two-story buildings, constructed in an area with minimal historic context.

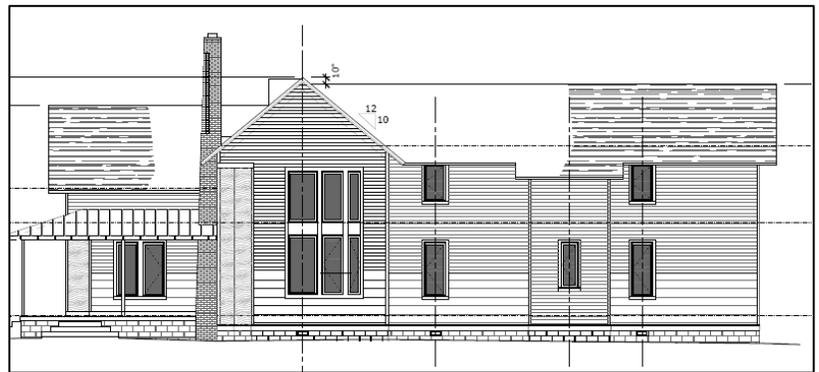


Figure 2. 1521 Fatherland Street, proposed street facing side façade

There is an existing church across South 16th Street that is two stories and thirty-five feet (35') tall; however, this is not a residential structure and not typical of the residential scale in the area. Staff finds that the proposed two-story house is not appropriate as it is not compatible with the residential context in the area. Furthermore, the infill is proposed for a corner lot, and the scale of the house from South 16th Street overwhelms the existing residential context (See Figure 2).

The proposed width of the house is eighteen feet (18') at the closest point to the street and increases to twenty-three feet, six inches (23'6") at the front setback. The maximum width of the house is thirty-four feet (34') and steps back approximately forty feet (40') from the front property line. Staff finds that this is compatible with the immediate contextual area.

While the overall height of the house does not exceed the height context of the immediate area, staff finds that the proposed two stories is not compatible with the scale of surrounding historic buildings. The scale of the proposed infill will have a dramatic visual impact, especially given that the site is located at a corner lot. While there may be several taller, two-story buildings in the area, these buildings are not typical of the existing residential context. For these reasons, staff finds that the project does not meet section II.B.1.a. and b. of the design guidelines.

Setback & Rhythm of Spacing: The front setback of twenty-four feet (24') is consistent with the setback of existing homes on the street. The side setbacks are five feet (5') on the left side, and seven feet (7') on the right side, at its closest point. As the house is located on a corner lot, the minimum setback on the side street is ten feet (10'). Staff finds that reducing this side setback to seven feet (7') is appropriate for several reasons. The proposed side setback is consistent with the existing structure located across the alley at the rear of the site, and the part of the building located closest to South 16th Street is located approximately one hundred feet (100') from the front property line along Fatherland Street. In addition, the lot is losing three feet (3') to right-of-way dedication along this street frontage in association with a recently approved subdivision. For these reasons, staff finds that the requested setback reduction is consistent with the surrounding context and will not have a significant impact given the location. The building will be approximately sixty feet (60') from the rear property line. The project meets base setback requirements and section II.B.1.c of the design guidelines.

Materials: The exterior materials will include a split-faced concrete block foundation and lap siding. The primary roofing material will be asphalt shingles, and the porch roof is standing seam metal roofing. The plan incorporates a cedar shingle accent on both sides of the front door as well as part of the right side façade which is visible from Fatherland Street. The color of the roof is not known. The siding will have a twelve inch (12") reveal on the lowest five courses, with the remaining majority of the siding having a five inch (5") reveal. Although a five inch (5") reveal is typically required, the Commission has approved greater reveals when used as an accent. The exterior trim, including corner boards, window casings, and porch columns will be cement board and steel. The porch floor is concrete. The windows will be Ultrex or metal clad wood, which is a fiberglass material, and is appropriate. The proposed chimney will be clad in brick. With a condition that the roof color, masonry and the final selections of windows and doors are approved administratively, Staff finds that the known materials of the proposal meet Section II.B.4. of the design guidelines.

Roof Shape: The roof form will be cross-gable. The front-facing gable will have a 12:12 pitch, and the rear and side facing gables will have a 10:12 pitch. The front shed dormer will have a pitch of 4:12. These roof forms are compatible with those of surrounding houses. Staff finds that the infill meets Section II.B.5. of the design guidelines.

Rhythm and Proportion of Openings: The windows on the house will be generally twice as tall as they are wide. Paired windows have four to six inch (4"-6") mullions between them, also as seen historically. The plan does not include any expanse greater than

eleven feet (11') without an opening on any of the primary elevations. Staff finds that the proposal meets Section II.B.7. of the design guidelines with the condition recommended by Staff.

Orientation: The house will be oriented with its front porch parallel to the street, but shifts so that the house is off-center on the lot in order to provide useable rear yard. Staff finds that this configuration is appropriate as the house will be orientated to Fatherland Street, and the portion of the house in the rear that is closest to South 16th Street will be obscured by the bump out closer to the front of the house. For these reasons, it is unlikely that the off-center orientation will have a significant visual impact from the street. The front porch will have a minimum depth of six feet, four inches (6'4"). Vehicular access will be via the alley located at the rear of the property. The garage shown on the site plan is not part of this request and will be submitted in the future. A walkway will connect the house to the street. The project meets section II.B.1.f.

Appurtenances & Utilities: The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. With this condition the project meets section II.B.1. i.

Recommendation:

Staff recommends disapproval based on the fact that the proposed house exceeds the established scale of one to one and a half story historic homes in the immediate area and therefore does not meeting the design guidelines for scale, for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

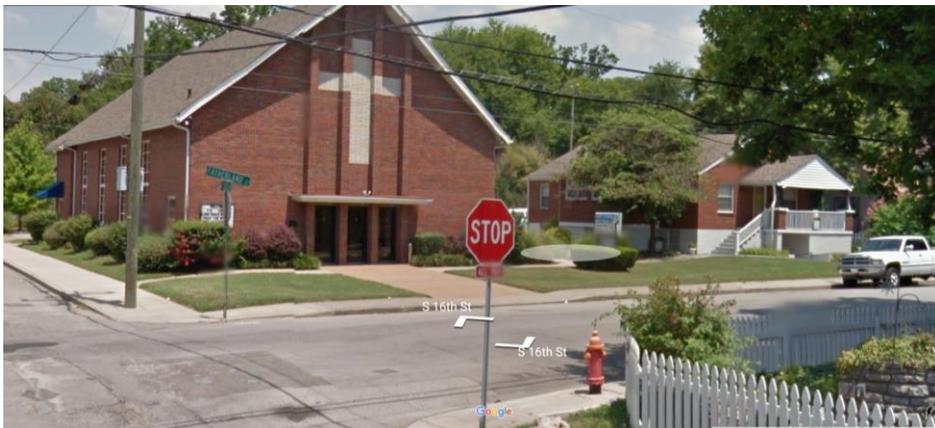
Context Photos:



1515 and 1520 Fatherland Street, across the street from 1521 Fatherland Street



1515 and 1517 Fatherland Street, to the left of 1521 Fatherland Street on the same blockface



Church located at 1601 Fatherland Street, across South 16th Street from 1521 Fatherland Street

Metropolitan Historic Zoning Commission

Sunnyside in Sevier Park □ 3000 Granny White Pike □ Nashville, TN 37204 □ (615) 862-7970 / 862-7974 fax

APPLICATION FOR A PRESERVATION PERMIT

- HISTORIC ZONING DISTRICT
 NEIGHBORHOOD CONSERVATION ZONING DISTRICT
 HISTORIC LANDMARK ZONING DISTRICT

PROPERTY ADDRESS 1521 Fatherland Street

APPLICANT (All communication will be with the applicant for the duration of the described work.)

Name rootARCH

Mailing Address 753 Alloway Street

City Nashville Zip code 37203

E-Mail Address john@rootarch.com

Contact Phone 615.292.2142 Fax Number _____

Owner Contractor Architect Other _____

PROPERTY OWNER (If different from applicant)

Name Pantheon Development Partners, LLC.

Mailing Address _____

City Nashville Zip code _____

E-Mail Address _____

Contact Phone _____ Fax Number _____

DESCRIPTION OF WORK (Attachments Included: Yes No) _____

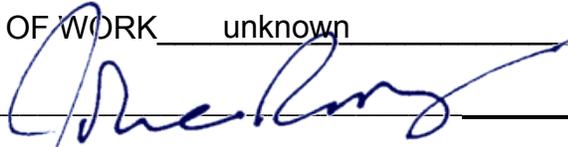
New construction of a single family dwelling. See the attached drawings and site plan for details.

Please note: Filing Deadline for the MHZC Hearing is two (2) weeks prior to the hearing.

Any substitution or deviation from the approved work items listed on the Preservation Permit requires further review and approval by the Historic Zoning Commission **prior** to being undertaken. Accurate scale elevations, drawings, and site plans are needed for project review.

The Metropolitan Historic Zoning Commission retains copies of all materials submitted.

ESTIMATED COST OF WORK unknown

SIGNATURE  DATE 10.05.15

I/We the above signed do hereby make application for a Preservation Permit (Certificate of Appropriateness) following plans and proposals to be undertaken within the boundaries of a Neighborhood Conservation Zoning District pursuant to Article IX of the Metropolitan Code.

ADDITIONAL INFORMATION TO BE SUBMITTED WITH APPLICATION

! All Applications must have documentation which clearly illustrates the proposed exterior appearance of the project

****ALL DRAWINGS AND SITE PLANS MUST BE TO SCALE****

NEW CONSTRUCTION

1. Site plan showing the entire lot from street to alley to property lines with setbacks noted.
2. Elevation drawings of each façade with dimensions and material specifications.
3. Drawings, photographs, samples, product literature manufacturer's illustrations, etc.
4. Plans showing all associated site improvements, e.g., sidewalks, lighting, pavement, etc.

DEMOLITION

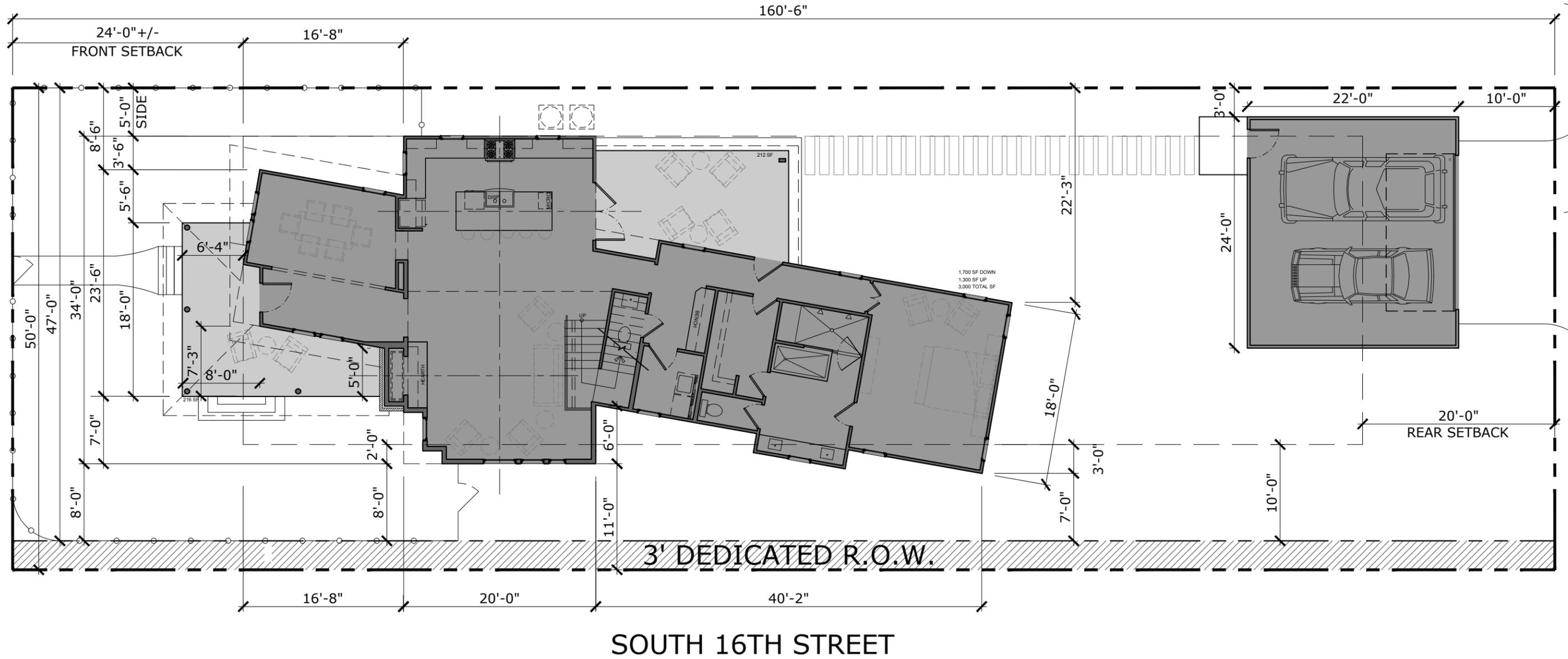
1. Written description of the structure's condition and reason for demolition.
2. Photographs of structure's current condition showing all elevations and interior.
3. Describe the proposed reuse of the site, including plans of any proposed new structure.

REHABILITATION (if item is not listed please fully explain in description)

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Awing or canopy | <input type="checkbox"/> Light fixture | <input type="checkbox"/> Porch flooring | <input type="checkbox"/> Shutters |
| <input type="checkbox"/> Cleaning | <input type="checkbox"/> Landscaping | <input type="checkbox"/> Railings | <input type="checkbox"/> Siding |
| <input type="checkbox"/> Curb Cut | <input type="checkbox"/> Masonry work | <input type="checkbox"/> Retaining wall | <input type="checkbox"/> Signs |
| <input type="checkbox"/> Deck | <input type="checkbox"/> Mechanical system | <input type="checkbox"/> Roofing | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Door | <input type="checkbox"/> Ornamentation | <input type="checkbox"/> Satellite dish | <input type="checkbox"/> Steps |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Painting | <input type="checkbox"/> Security doors | <input type="checkbox"/> Storm doors |
| <input type="checkbox"/> General repair | <input type="checkbox"/> Paving | <input type="checkbox"/> Security windows | <input type="checkbox"/> Storm windows |
| <input type="checkbox"/> Guttering | <input type="checkbox"/> Porch columns | <input type="checkbox"/> Sidewalks | <input type="checkbox"/> Windows |

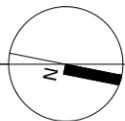
1. Check each item for which approval is requested.
2. List and describe in detail all work to be done for each item checked. Include the following:
 - a. Plans, drawings, photographs, specifications, manufacturer's literature or other.
 - b. For any landscape or site proposals, include a site plan to scale.
 - c. If material changes are proposed, include samples.

! All Applications must have documentation which clearly illustrates the proposed exterior appearance of the project

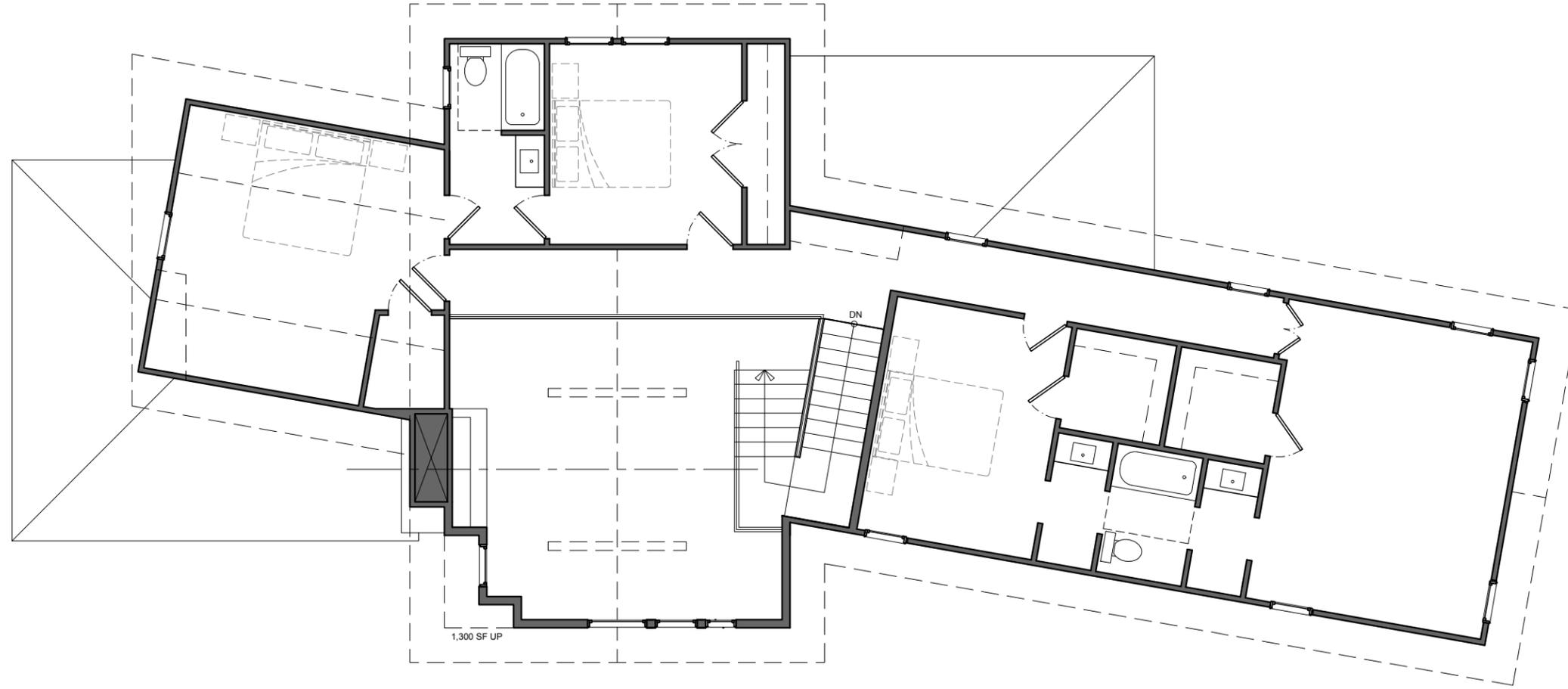


SITE PLAN

3/32" = 1'-0"

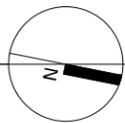


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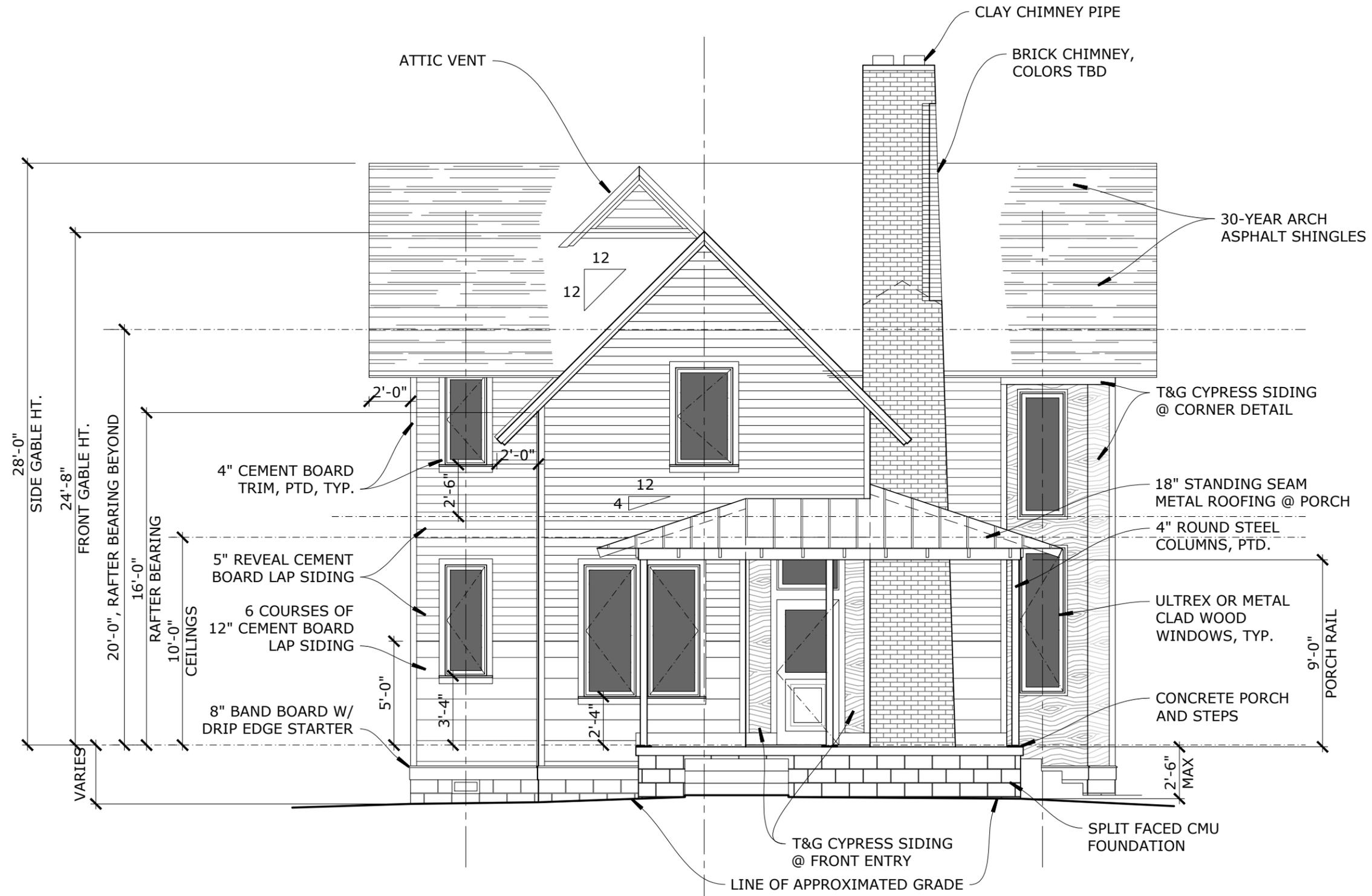
SECOND FLOOR PLAN

1/8" = 1'-0"



02 10.05.15

THESE DRAWINGS SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. ALL DESIGNS AND INTELLECTUAL PROPERTY SHALL REMAIN EXCLUSIVELY OWNED BY THE ARCHITECT.



SOUTH ELEVATION

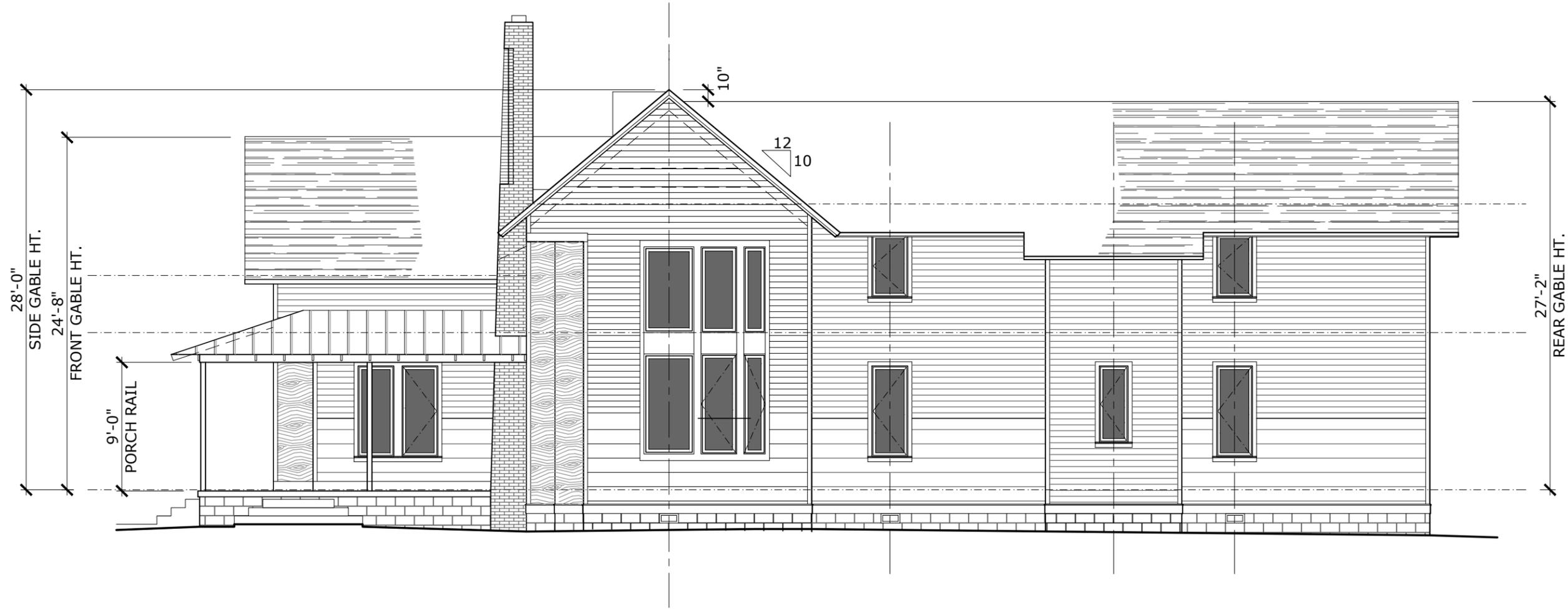
3/16" = 1'-0"



10.05.15

03

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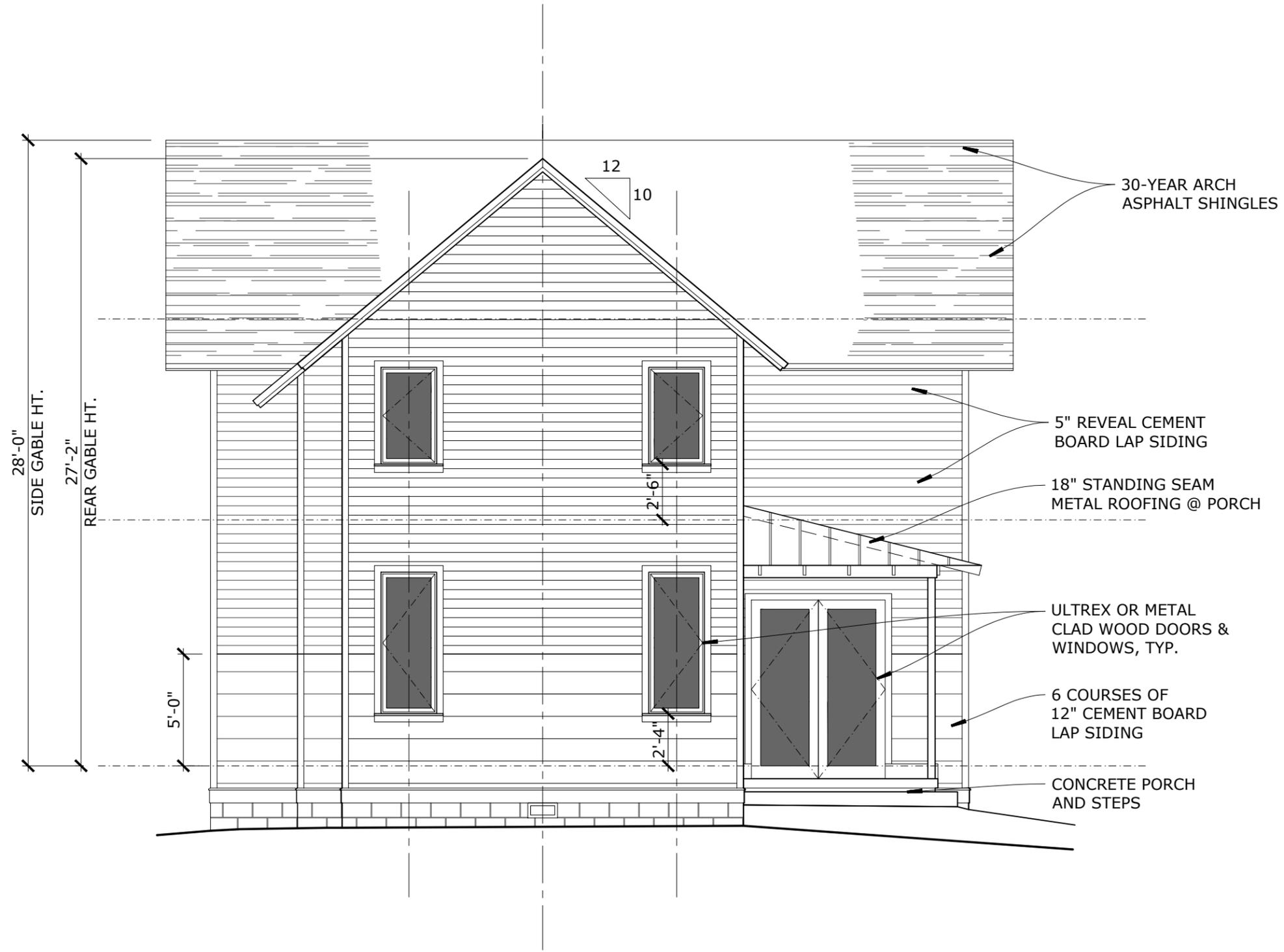
EAST ELEVATION

1/8" = 1'-0"
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HEIGHT REVISION

1521 FATHERLAND STREET, NASHVILLE, TN 37206

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NORTH ELEVATION

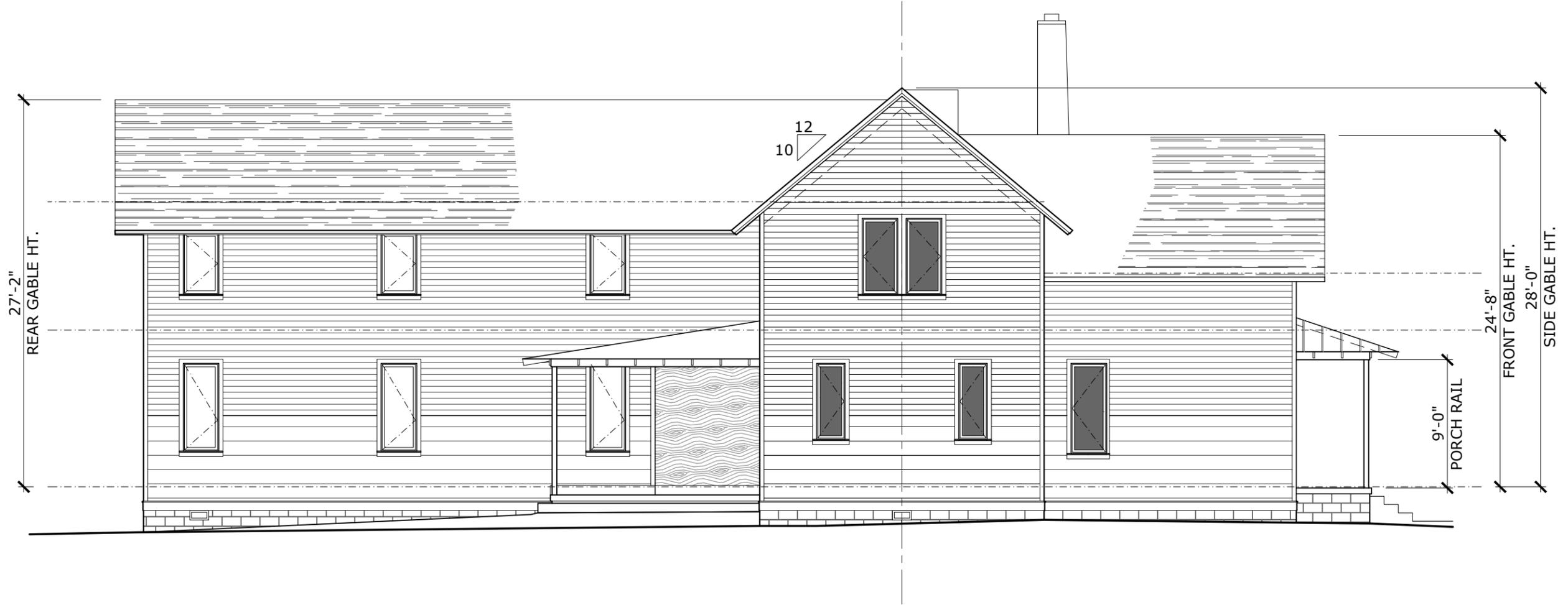
3/16" = 1'-0"



10.05.15

05

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WEST ELEVATION



10.05.15

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