

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 2114, 2116, 2118 Natchez Trace November 18, 2015

Application: Demolition; New construction – infill and outbuildings
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Numbers: 10411026400, 10411036200, 10411036300
Applicant: Aspen Construction
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to demolish three non-contributing duplexes and replace them with three new duplexes. Each new building will have a detached outbuilding, shared by the two units in the primary building.

Recommendation Summary: Staff recommends approval of the proposed demolition and new construction at 2114, 2116, and 2118 Natchez Trace with conditions:

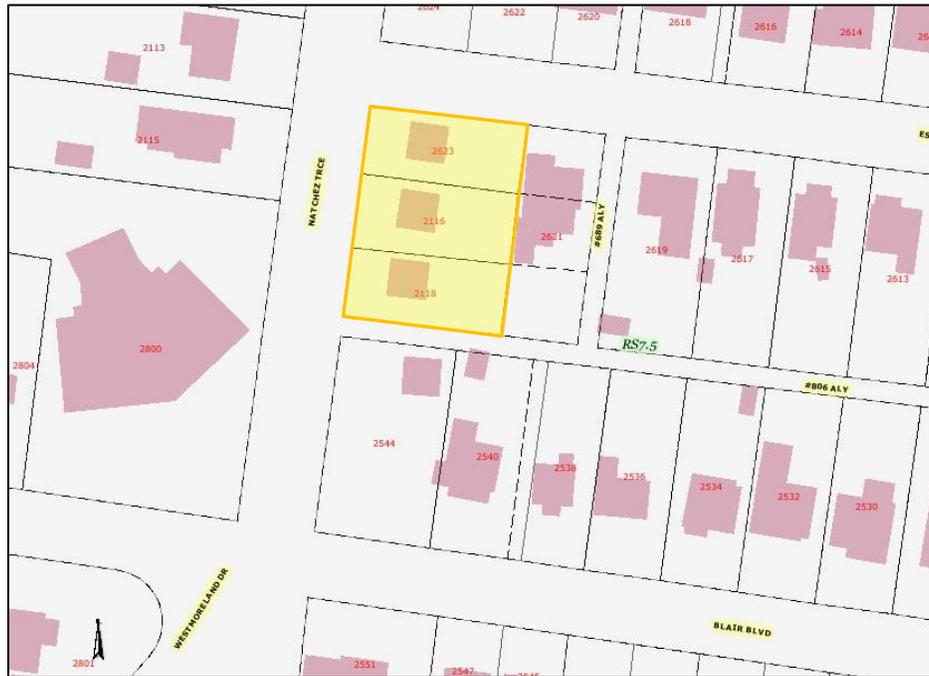
- The finished floor heights shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
- The window and door selections shall be approved by MHZC Staff prior to purchase;
- Masonry samples to be approved by MHZC Staff prior to purchase;
- Roof colors to be approved by MHZC Staff prior to purchase; and
- The location of HVAC and utility connections shall be approved by MHZC Staff.

Meeting those conditions, Staff finds that the project meets the design guidelines for the Hillsboro-West End Neighborhood Conservation Zoning Overlay.

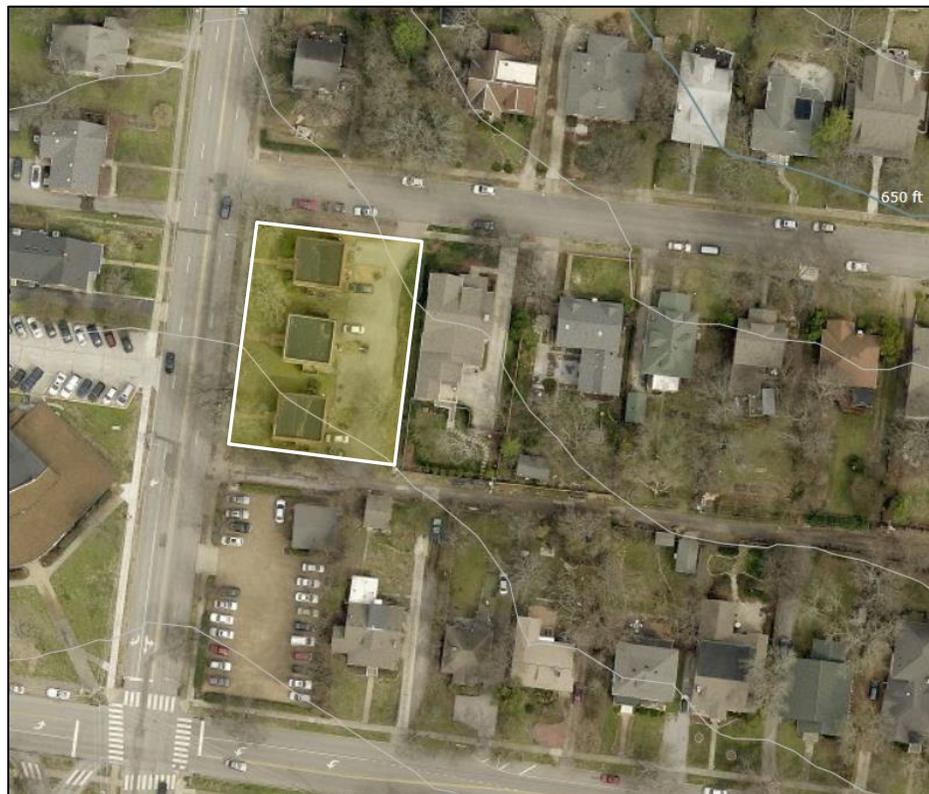
Attachments

- A: Photographs
- B: Site Plan
- C: Elevations for 2114, 2116, 2118

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally primary entrances should have full to half-lite doors. Faux leaded-glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven

hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.

· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.

· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

· Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.

· DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

· Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.

· The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

· Publicly visible windows should be appropriate to the style of the house.

· Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

· Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

· Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.

· For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

· Brick, weatherboard, and board-and-batten are typical siding materials.

· Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

· Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

· Stud wall lumber and embossed wood grain are prohibited.

· Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 D of the historic zoning ordinance.



Existing non-contributing duplexes, constructed circa 1974.

Background: This project consists of three lots, each with a non-historic duplex, at 2114, 2116, and 2118 Natchez Trace. Although the base zoning for the lots is single-family, the existing two-family use is legally non-conforming and is permitted to continue even if the buildings are demolished.

Analysis and Findings: The applicant proposes to demolish the three existing duplexes and replace them with three new duplexes. Each lot will have a detached outbuilding at the rear, shared by the two units in the primary building.

The northernmost of the three buildings (2114) will have the look of a two-story Craftsman or Foursquare house in its form and detailing, the middle house will be a two-story Colonial Revival, and the southernmost house will have the form and character typical of a Tudor Revival style house.

Although the three new duplexes will differ in character and style, they will be similar in scale and materials.

Demolition:

The existing buildings at 2114, 2116, and 2118 Natchez Trace were constructed in 1974. Staff finds that the structures do not contribute to the architectural and historical character of the district due to their age, minimal design and detailing, and because they are not good examples of their era of construction. Demolition meets section III.B.2 of the design guidelines for appropriate demolition and do not meet section III.B.1 for inappropriate demolition.

Height & Scale:

The new buildings will be two stories tall, with similar overall widths and heights, described further in following chart:

Address	Roof height from grade	Eave height from grade	Foundation height	Width	Depth (total front to back)	Porch depth
2114	29'	20'	18"	38'	56'	6'
2116	33'	20'	18'	38'-8"	56'	5'
2118	33'	20'	18'	38'-9"	56'-9"	7'

No other buildings on this particular block-face are oriented to Natchez Trace. There are historic buildings further north and south along Natchez Trace, but immediately across the street are non-contributing houses and a church constructed in 1950. Historic buildings on adjacent blocks are typically one or one and one-half story, ranging between twenty-one feet (21') to thirty-three feet (33') tall, with a scattering of two-story buildings throughout the broader neighborhood. Because there is not strong historic integrity on this section of the street and the overall massing is similar to what is found in the district, Staff finds the proportions of the proposed infill buildings to be compatible with the broader context and to meet sections II.B.1.a and II.B.1.b of the design guidelines.

Generally, porches are required to be at least six feet deep; however, 2116 Natchez is proposed to be just five feet (5') deep. Although porches less than six feet (6') are not common in the historic district, they are found occasionally on Colonial Revival style homes, which this design emulates. Staff finds the porch depths to be appropriate.

Setback & Rhythm of Spacing:

The front setbacks of the new buildings will be fifteen feet (15') to the leading edge. The buildings at 2114 and 2116 will have projecting front porches, giving the primary facades perceived setbacks of six feet (6') and five feet (5') deeper, respectively. The building at 2118 Natchez Trace will have recessed front porches. There is not a consistent front setback along Natchez Trace, with setbacks ranging from twelve feet (12') to as much as fifty feet (50'). The lots are also atypical because at approximately one hundred, twenty feet (120') deep they are roughly three-fourths of the size of the standard lot size for the neighborhood. For these reasons, Staff finds the proposed setbacks to be appropriate.

The side setbacks vary between five (5') and eleven feet (11'), which meet the zoning requirements and are consistent with the established rhythm of spacing on the street. Staff finds the project will meet section II.B.1.c of the design guidelines.

Materials:

The exterior materials on the new houses will be:

Address	Primary materials	Trim	Foundation material	Primary roof material	Porch roof material
2114	Cement-fiber siding	Cement-fiber, wood	Brick	Asphalt shingle	Metal
2116	Brick	Cement-fiber, wood	Brick	Asphalt shingle	Metal
2118	Brick 1 st story, Stucco on 2nd	Cement-fiber, wood	Brick	Asphalt shingle	n/a

These materials are appropriate for new construction. The materials of the windows and doors are not known. Staff asks to review masonry samples, roof shingle colors, and the window and door selections prior to purchase. With the administrative approval of the material selections, Staff finds that the known materials meet section II.B.1.d of the design guidelines.

Roof form:

The roofs of the new houses will be:

Address	Primary roof form	Porch roof
2114	Side-oriented gable with an 8:12 pitch, with a pair of front-projecting gables at the second story with a 12:12 pitch.	Full-width projecting shed porch with 2:12 pitch, small gable at center with 2.5:12 pitch
2116	Side-oriented gable with a 6:12 pitch, with a front-projecting gable at the second story with a 6:12 pitch.	Partial-width hipped central portico with a 2:12 pitch
2118	Side-oriented gable with an 5:12 pitch, with a pair of front-projecting gables at the second story with a 16:12 pitch.	Recessed corner porches under main roof form.

Staff finds these roofs to be compatible with surrounding historic houses, and that the project therefore meets section II.B.1.e of the design guidelines.

Orientation:

The three new houses will all face Natchez Trace directly with concrete walkways leading from the front porches to the sidewalk. An existing curb cut on Essex Place will be used to create a shared driveway behind the houses, connecting with an existing alley at the south end of the 2118 property. Staff finds the orientation of the buildings to be compatible with the surrounding historic context and to meet guideline II.B.1.f.

Proportion and Rhythm of Openings:

The windows on the proposed buildings are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to be compatible with surrounding historic buildings, therefore the project meets section II.B.1.g of the design guidelines.

Appurtenances & Utilities:

The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. With this condition, Staff finds that the project will meet guideline II.B.1.i.

Outbuildings:

Each lot will have a one and one-half story outbuilding at the rear of the lot, with garage doors facing the rear. The buildings will be identical in size and form, with materials corresponding to the primary materials of the principal building: cement-fiber siding at

2114 and brick at 2116 and 2118. The roofs and foundation material will also match those of the principal buildings.

The outbuildings will have six hundred, fifty square foot (650 sf) footprints, and will be twenty-one feet (21') tall with eave heights of nine feet, six inches (9'-6"). The buildings will have "bonus" space in their upperstories but will not be used as dwellings. Staff finds the outbuildings to be compatible with historic outbuildings in their scale and location, and to be compatible with the principal buildings meeting section II.B.1.h of the design guidelines.

Recommendation:

Staff recommends approval of the proposed demolition and new construction at 2114, 2116, and 2118 Natchez Trace with conditions:

- The finished floor heights shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
- The window and door selections shall be approved by MHZC Staff prior to purchase;
- Masonry samples to be approved by MHZC Staff prior to purchase;
- Roof colors to be approved by MHZC Staff prior to purchase; and
- The location of HVAC and utility connections shall be approved by MHZC Staff.

Meeting those conditions, Staff finds that the project meets the design guidelines for the Hillsboro-West End Neighborhood Conservation Zoning Overlay.



Existing non-contributing duplex at 2114 Natchez Trace, from front.



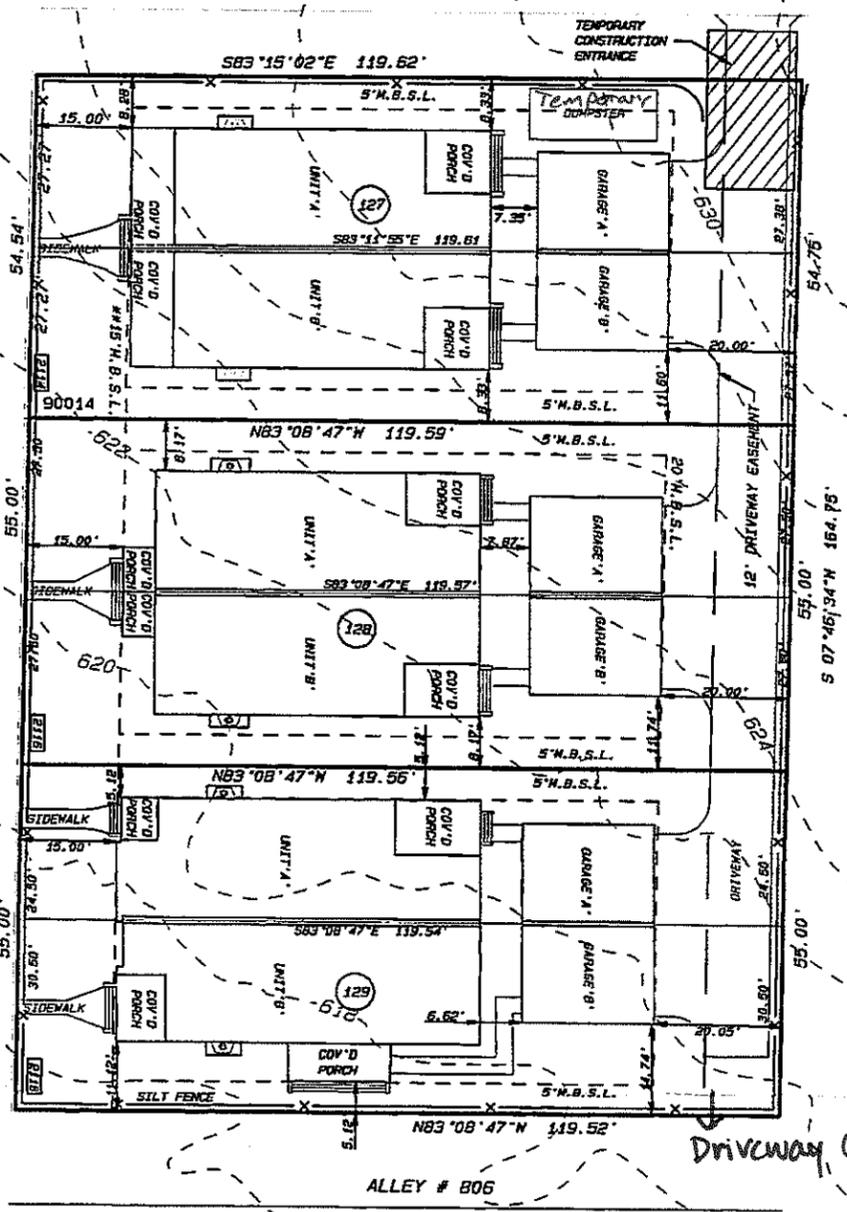
Existing non-contributing duplex at 2114 Natchez Trace, from front.



Existing non-contributing duplex at 2114 Natchez Trace, from rear up Essex Place.

ESSEX AVENUE (50' R.O.W.)

NATCHEZ TRACE (50' R.O.W.)



PARCEL INFO:

ADDRESS:
2114, 2116, 2118 NATCHEZ TRACE

ZONING:
RS7.5
URBAN ZONING OVERLAY
I440 IMPACT

PARCEL ID:
10411026400
10411036200
10411036300

SETBACKS:

FRONT SETBACK
= ** 15 FEET (HISTORICAL OVERLAY)

REAR SETBACK= 20 FEET

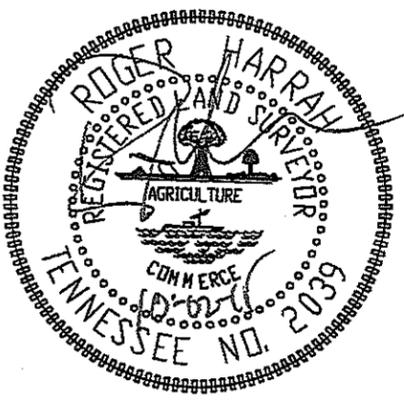
SIDE SETBACKS INTERNAL = 5 FEET

NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON AN APPROXIMATE ASSUMED NORTH.
2. NO TITLE COMMITMENT HAS BEEN PROVIDED AS OF THE DATE OF THIS SURVEY. THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH WHICH MAY REFLECT INFORMATION CURRENTLY NOT PROVIDED TO THIS SURVEYOR.
3. ALL DISTANCES ARE BASED ON A FIELD RUN SURVEY USING EDM EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
4. MINIMUM BUILDING SETBACKS AS SHOWN PER DAVIDSON COUNTY ZONING UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY BEFORE CONSTRUCTION.
5. THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1: 10,000 AS SHOWN HEREON.
6. CONTOUR INFORMATION IF SHOWN IS BASED ON METRO NASHVILLE GIS INFORMATION AND WAS NOT FIELD RUN.
5. THIS PROPERTY DOES NOT LIES FLOOD ZONE AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP No. 47037C0332F.

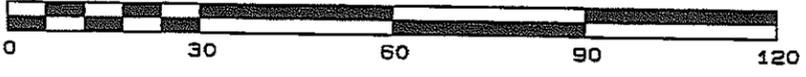
LEGEND:

- FOUND IRON ROD (FDIR)
- SET IRON ROD AND CAP
- TREE
- (M) MEASURED/FIELD
- (P) PLAT/RECORD
- (C) CALCULATED



ROGER HARRAH LS 2039

GRAPHIC SCALE 1"=30'



Harrah & ASSOCIATES
SURVEYORS • PLANNERS
504 AUTUMN SPRINGS CT
SUITE B15
FRANKLIN, TN 37027
PHONE: (615) 778-0863
FAX: (615) 778-0865
E-MAIL: rogerh@harrahgroup.com

I hereby certify that is a category 1 survey with the ratio of precision of the unadjusted survey being greater than 1 in 10000. This survey was prepared in compliance with the current standards of practice adopted by the Tennessee State Board of Examiners for Land Surveyors.

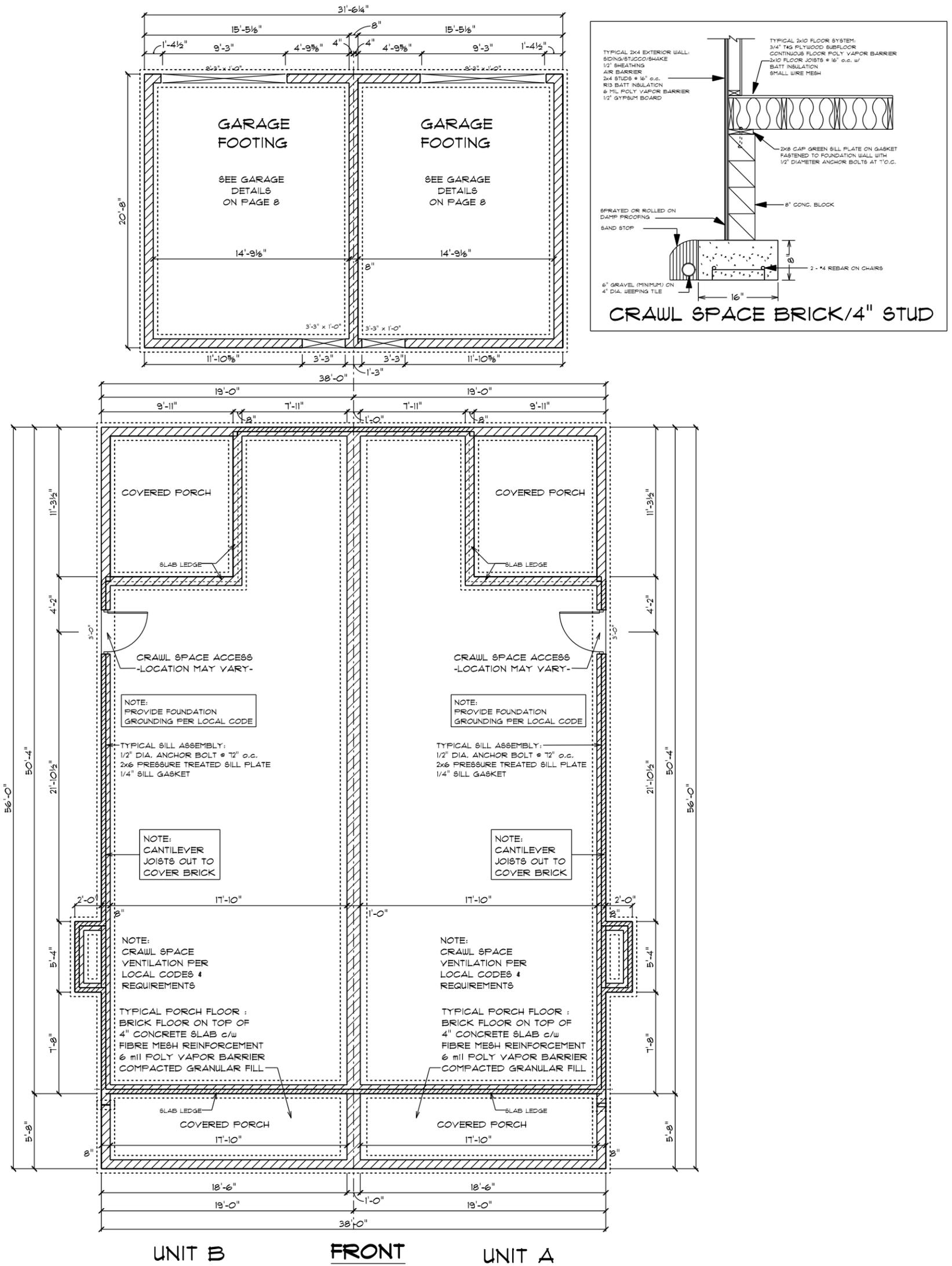
Roger H. Harrah RLS #2039

SITE PLAN
OF
2114-2116-2118 NATCHEZ TRACE, NASHVILLE, TN

BEING PT LOT 127, 128 AND 129 SUB OF E. JONES PLACE
DAVIDSON COUNTY, TENNESSEE

FOR
ASPEN CONSTRUCTION

DATE OF DRAWING: 10-02-15	
MANAGER: RHH	CADD: JH
PROJECT NUMBER:	
FIELD BOOK NUMBER:	
LAST FIELD WORK:	
CREW CHIEF (S):	
COMPUTER FILE: Lot2114NatchezTrace SE	
SCALE: 1"=30'	SHEET 1 OF 2



CRAWLSPACE

SCALE: 1/8" = 1'-0"

PLOTTED:
Monday, November 2, 2015

DRAWN: CD Plans

SHEET NUMBER:
1 OF 7

JOB NAME:
2114 Natchez Trace

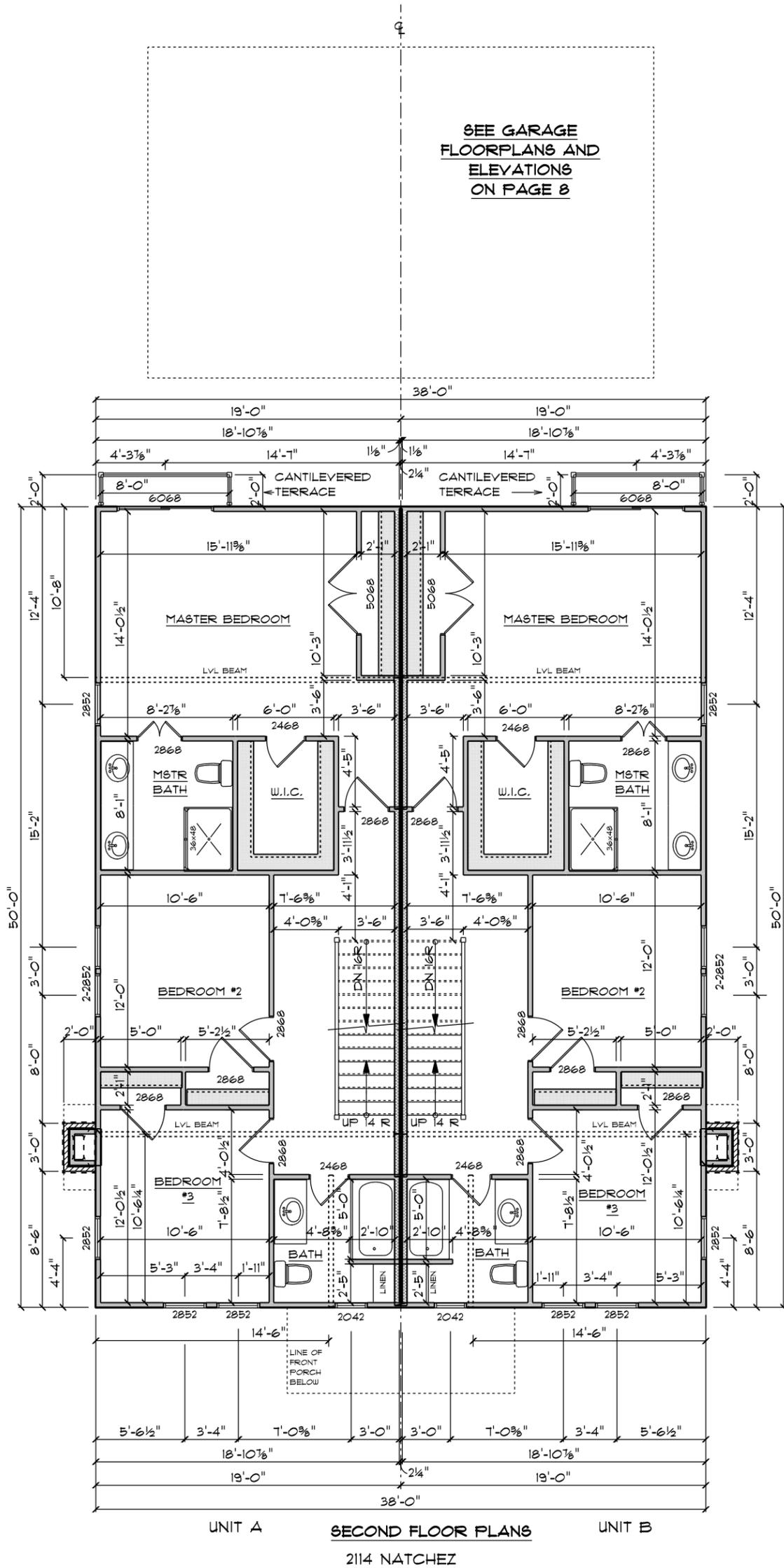
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ASPEN CONSTRUCTION INC.

8005 CHURCH STREET EAST
SUITE 201
BRENTWOOD, TN 37021

PHONE: 615-715-1182
FAX: 615-807-3274

SEE GARAGE
FLOORPLANS AND
ELEVATIONS
ON PAGE 8



SCALE: 1/8" = 1'-0"

PLOTTED:
Monday, November 2, 2015

JOB NAME:

2114 Natchez Trace

DRAWN: CD Plans

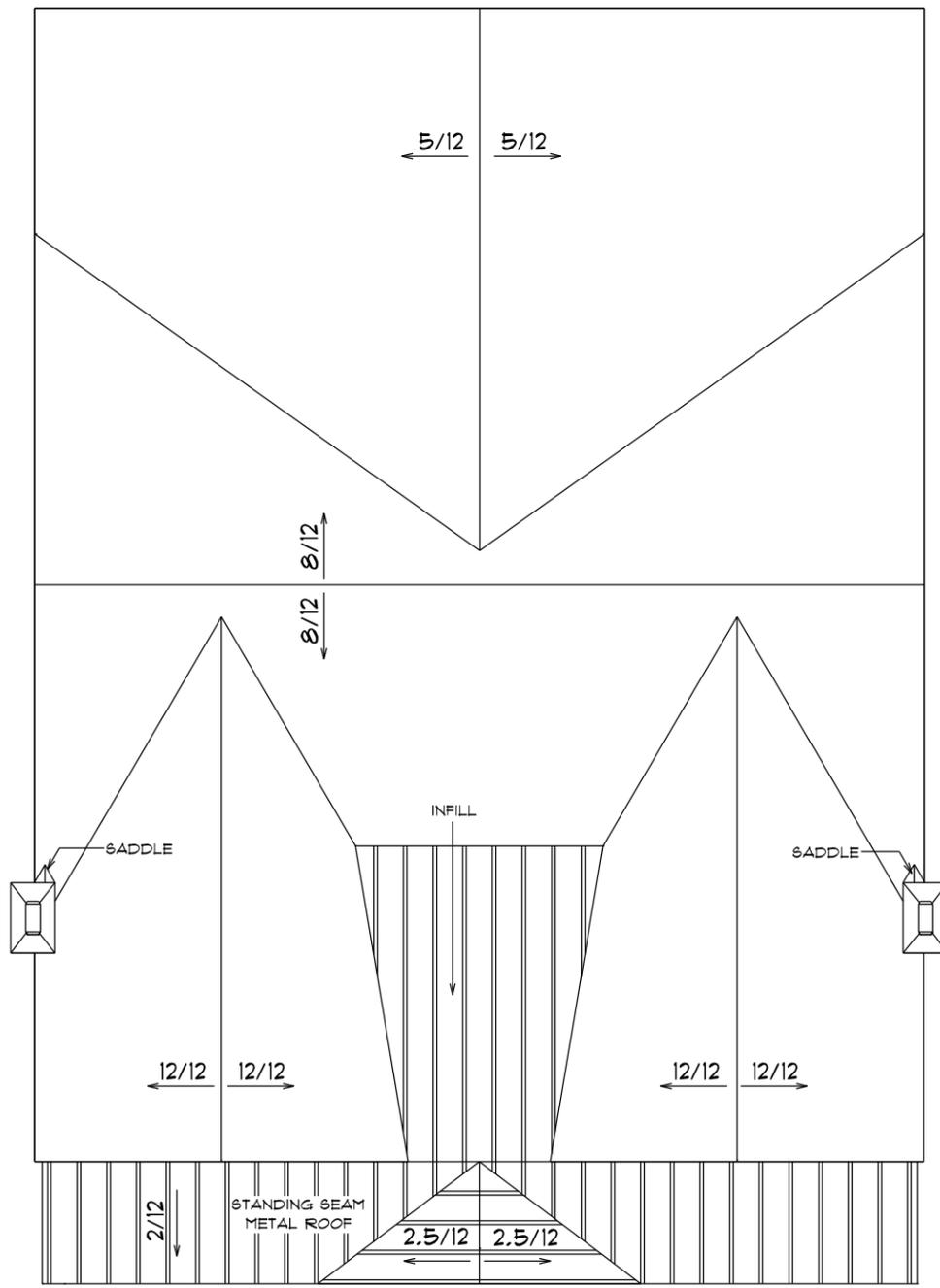
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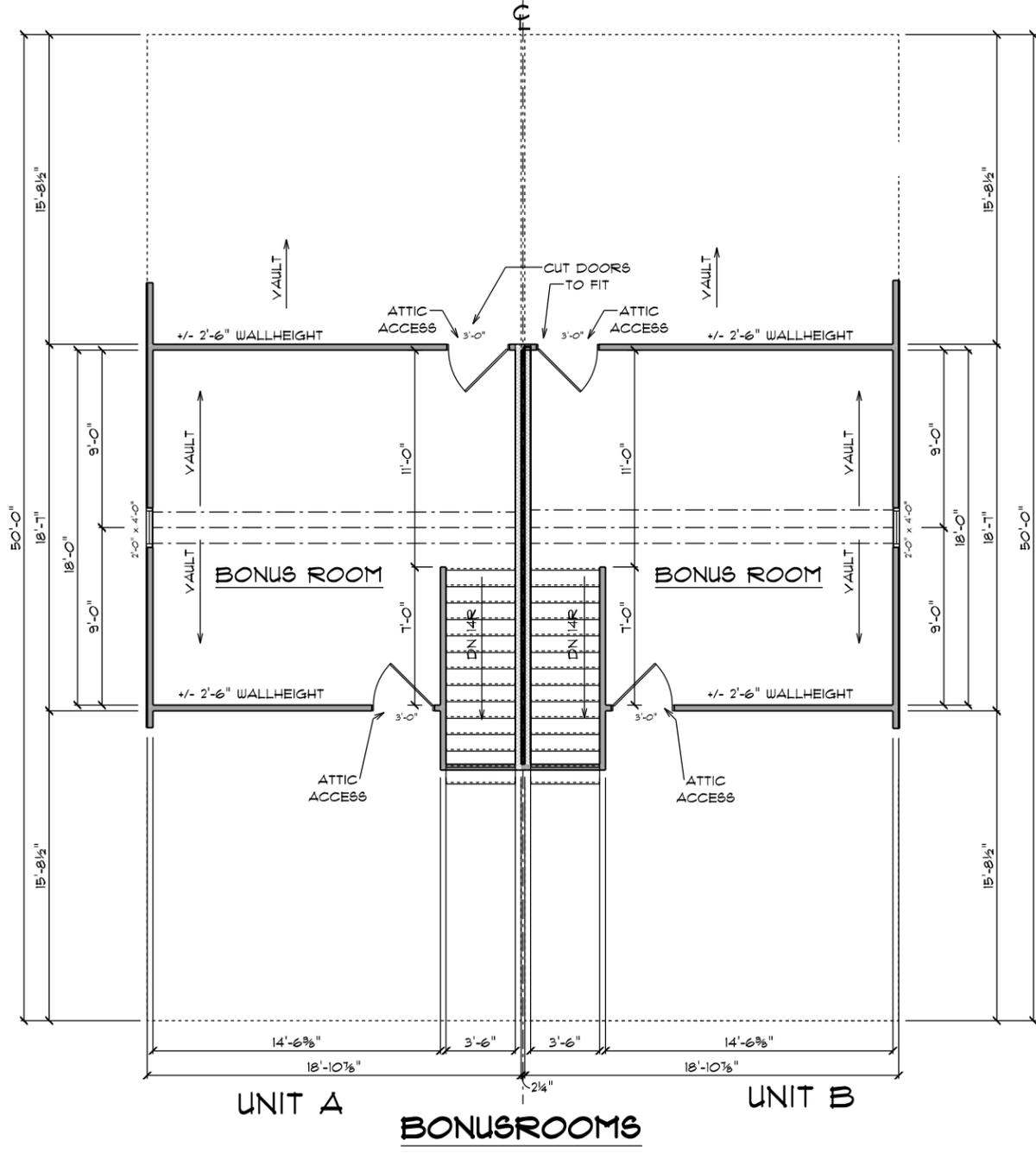
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MAIN ROOF PLAN



BONUSROOMS

SCALE: 1/8" = 1'-0"

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UNIT A FRONT ELEVATION UNIT B



UNIT B REAR ELEVATION UNIT A

SCALE: 1/8" = 1'-0"

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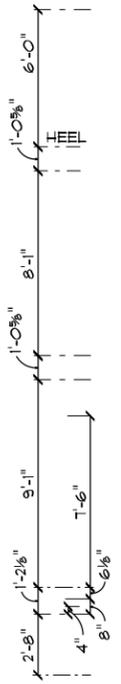
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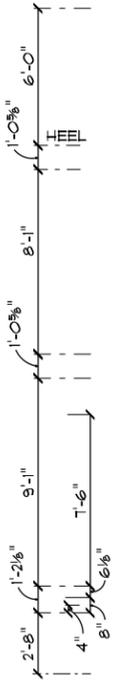
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LEFT ELEVATION



RIGHT ELEVATION



SCALE: 1/8" = 1'-0"

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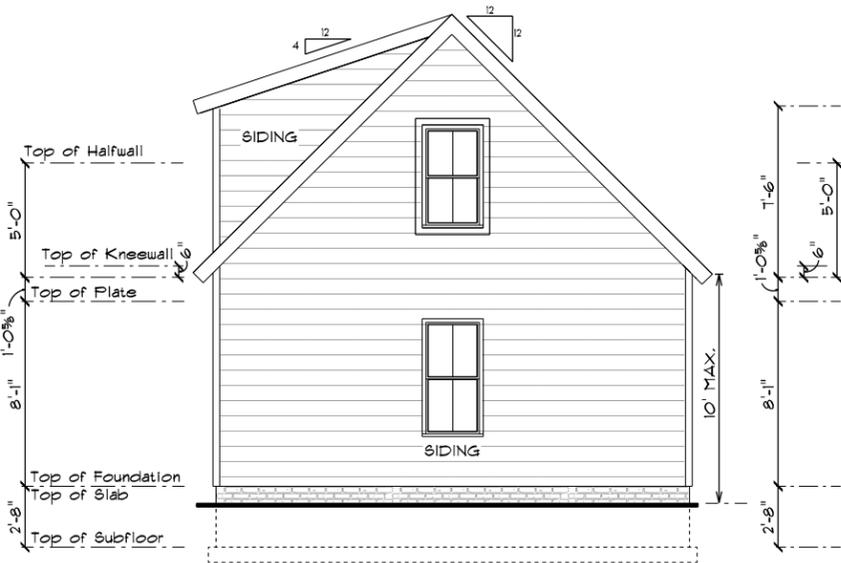
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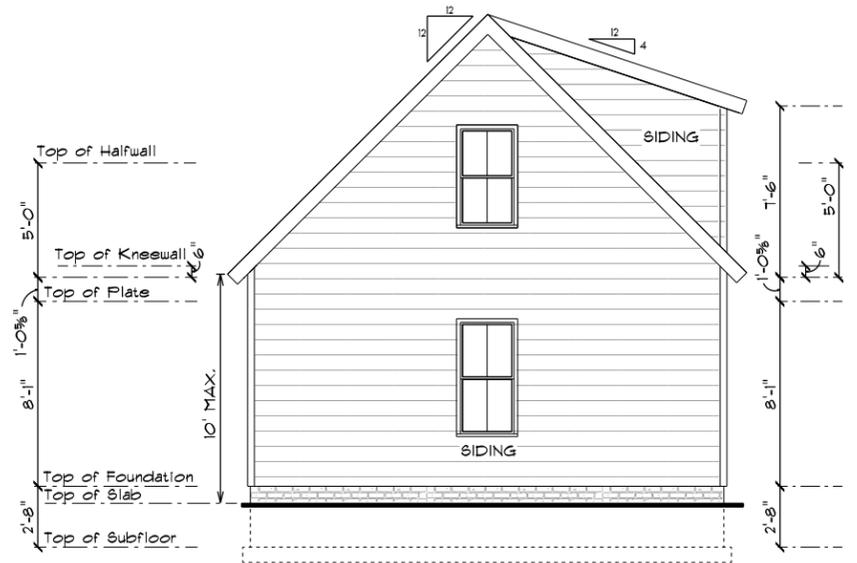
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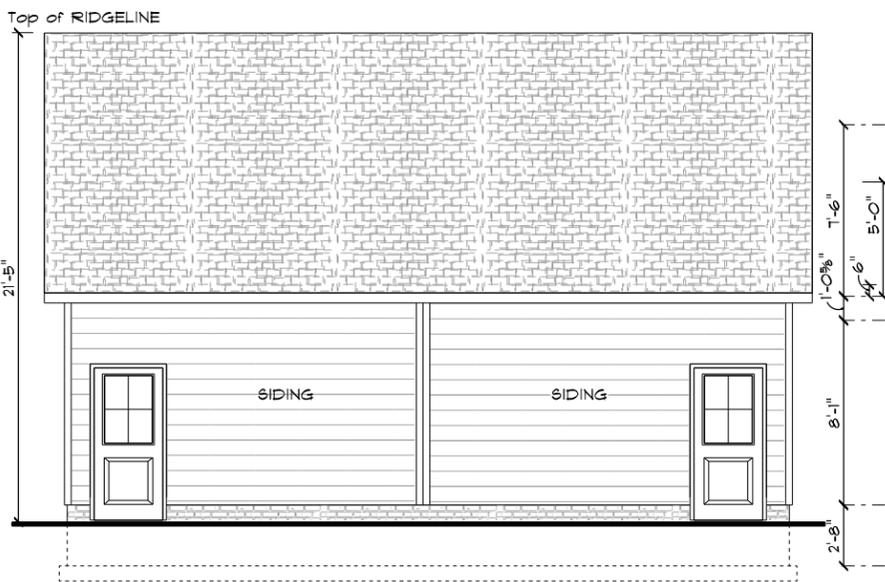
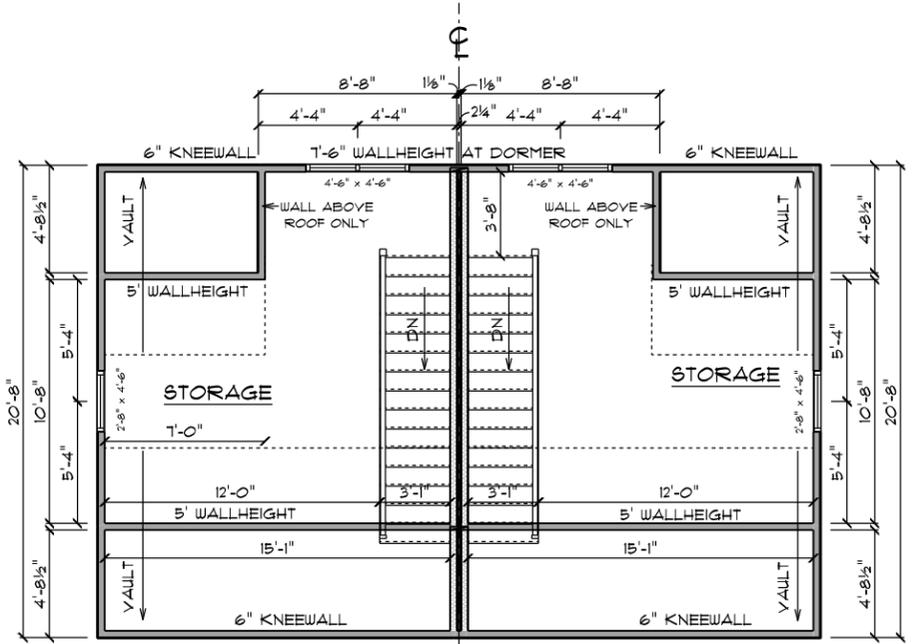
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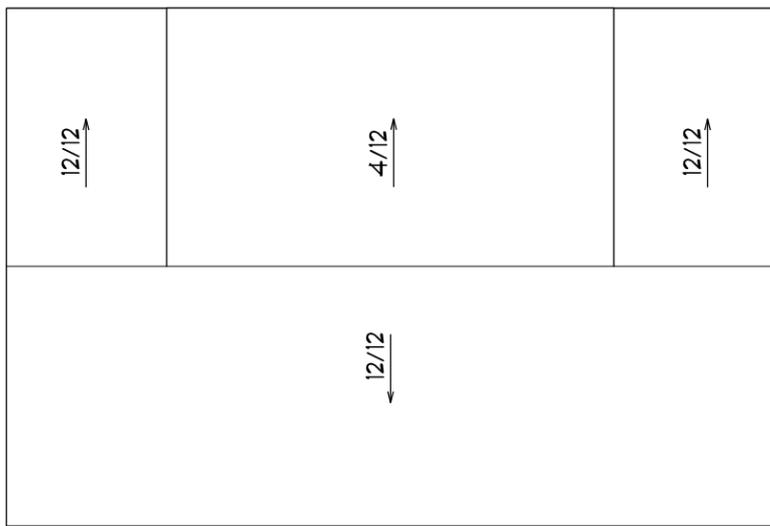
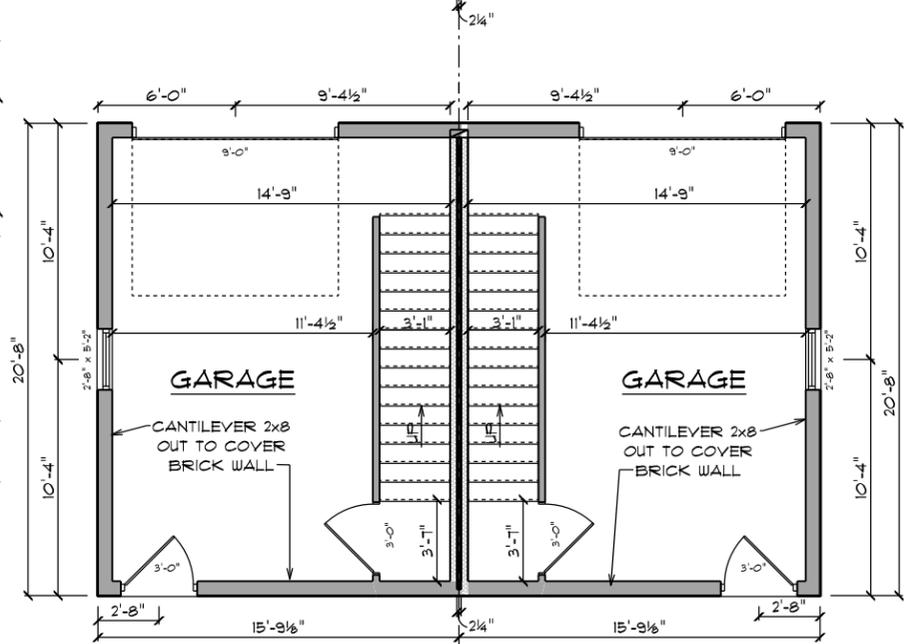
RIGHT ELEVATION



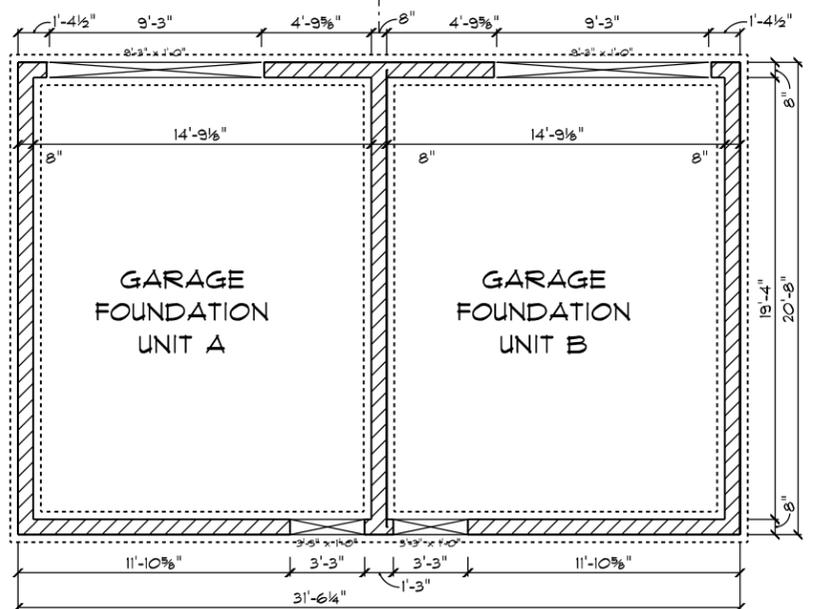
FRONT ELEVATION



REAR ELEVATION



GARAGE ROOF PLAN



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

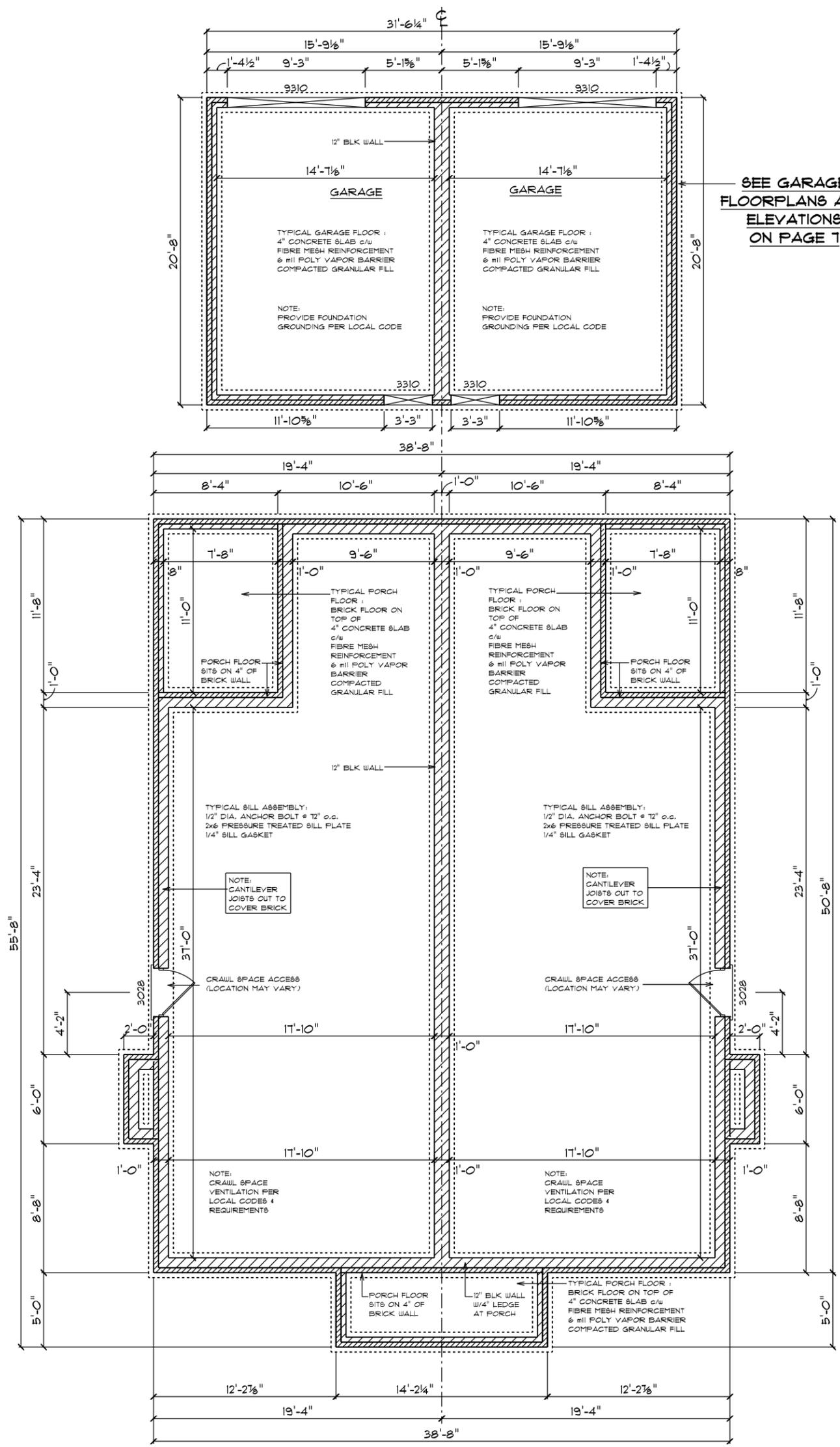
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SEE GARAGE FLOORPLANS AND ELEVATIONS ON PAGE 7

UNIT A CRAWLSPACE UNIT B
2116 NATCHEZ

SCALE: 1/8" = 1'-0"

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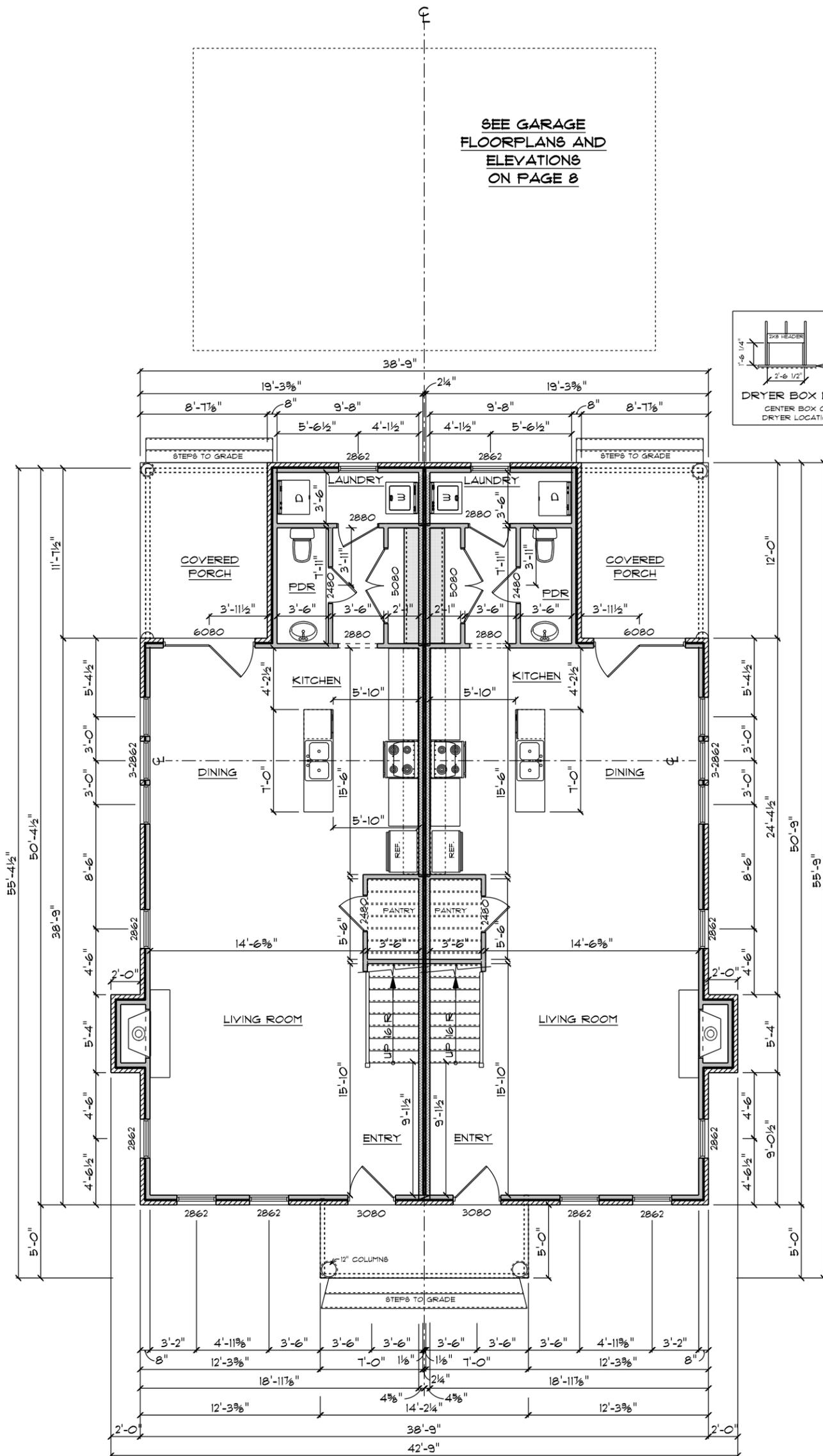
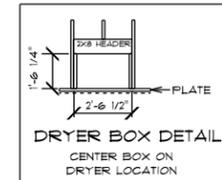
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SEE GARAGE
FLOORPLANS AND
ELEVATIONS
ON PAGE 8



FIRST FLOOR PLAN A/B

UNIT A

UNIT B

--- EXTERIOR SQ. FT. UNIT A ---	
MAIN FLOOR	- 885 SQ. FT.
SECOND FLOOR	- 1003 SQ. FT.
BONUSROOM	- 353 SQ. FT.
TOTAL	- 2241 SQ. FT.
FRONT PORCH TOTAL - 71 SQ. FT.	
REAR PORCH - 104 SQ. FT.	
GARAGE - 324 SQ. FT.	
GARAGE STORAGE - 178 SQ. FT.	

--- EXTERIOR SQ. FT. UNIT B ---	
MAIN FLOOR	- 885 SQ. FT.
SECOND FLOOR	- 1003 SQ. FT.
BONUSROOM	- 353 SQ. FT.
TOTAL	- 2241 SQ. FT.
FRONT PORCH TOTAL - 71 SQ. FT.	
REAR PORCH - 104 SQ. FT.	
GARAGE - 324 SQ. FT.	
GARAGE STORAGE - 178 SQ. FT.	

SCALE: 1/8" = 1'-0"

PLOTTED:
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JOB NAME:

2116 Natchez Trace

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2 OF 7

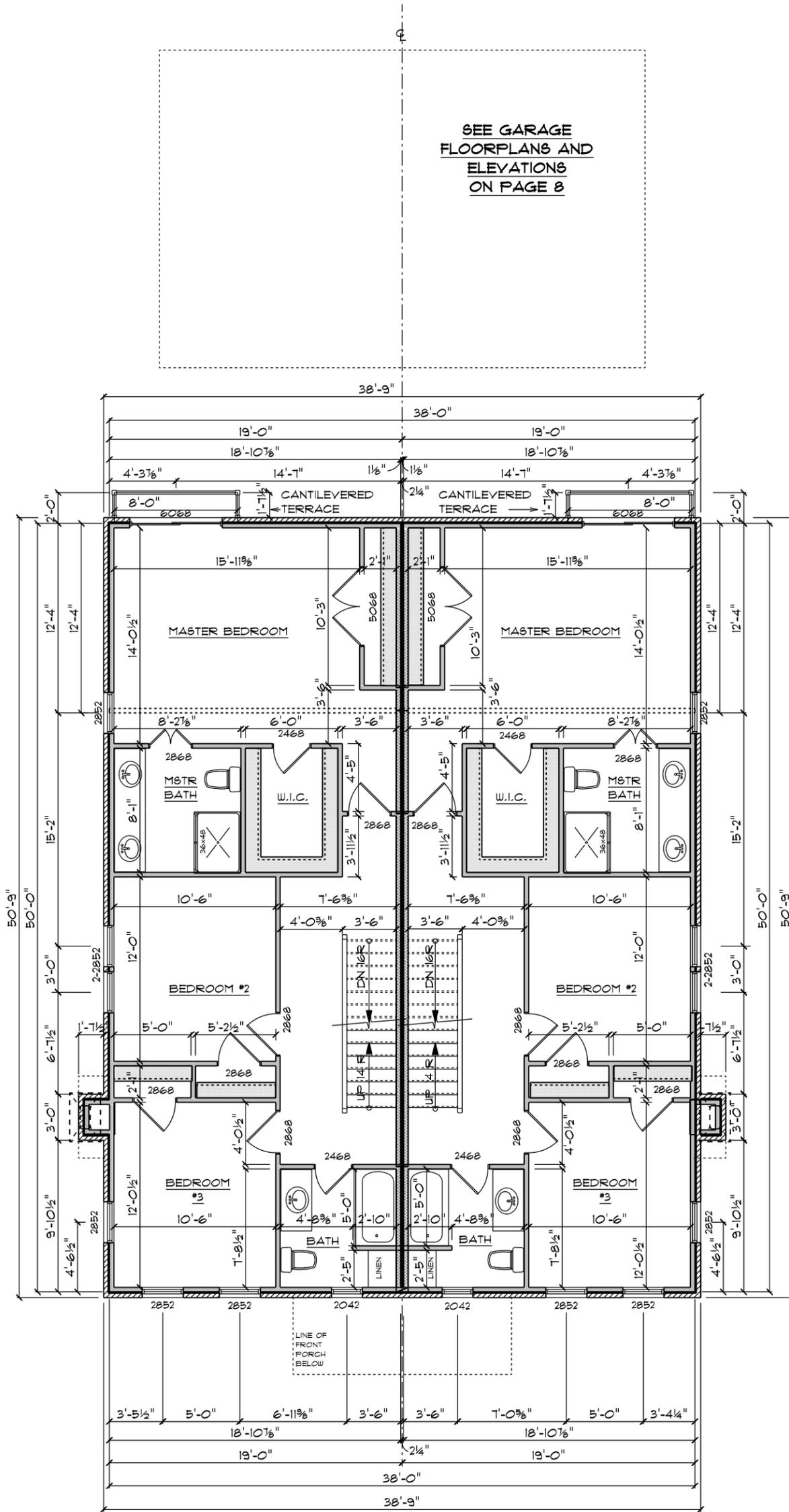
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SEE GARAGE
FLOORPLANS AND
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ON PAGE 8



UNIT A **SECOND FLOOR PLANS** UNIT B
2116 NATCHEZ

SCALE: 1/8" = 1'-0"

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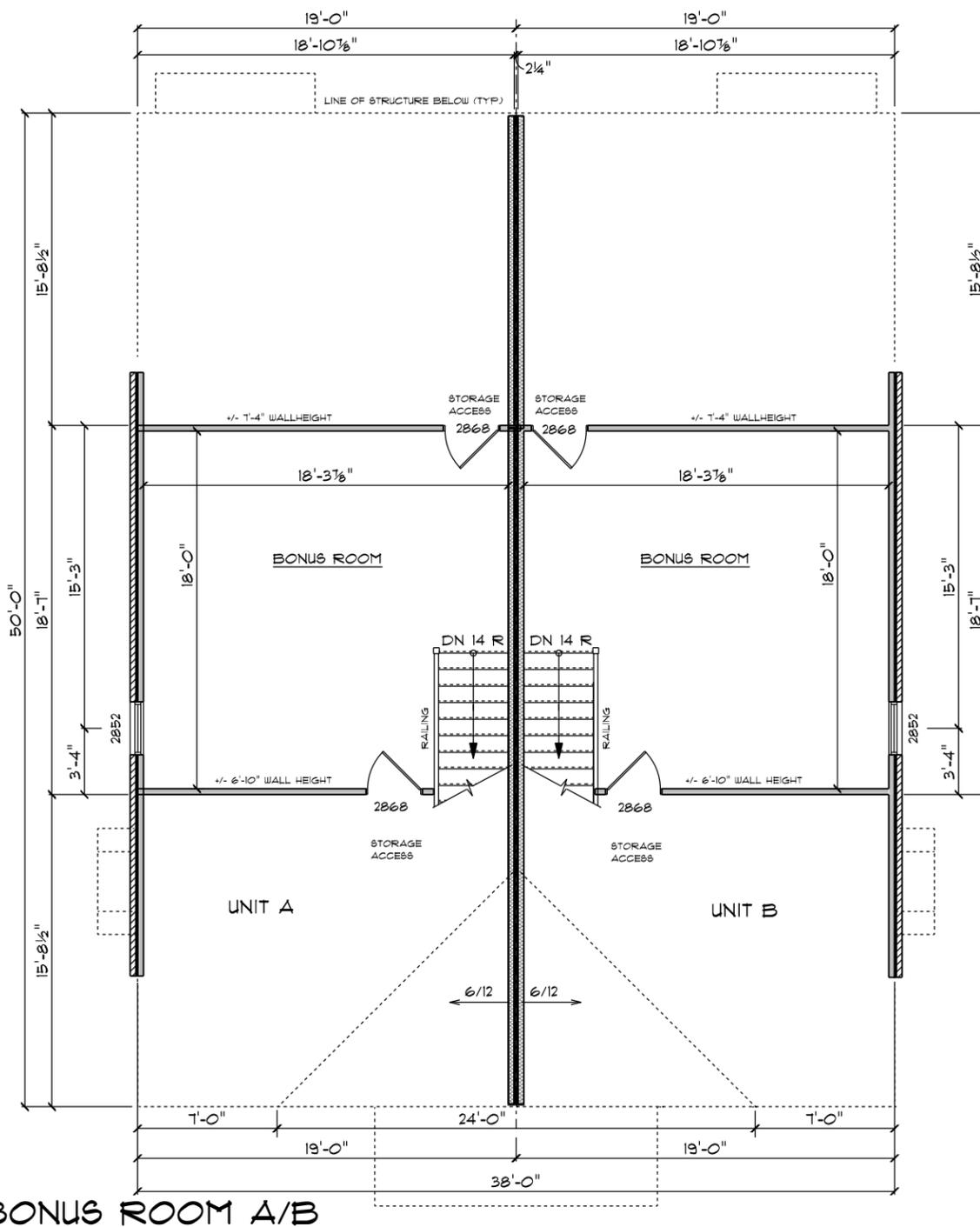
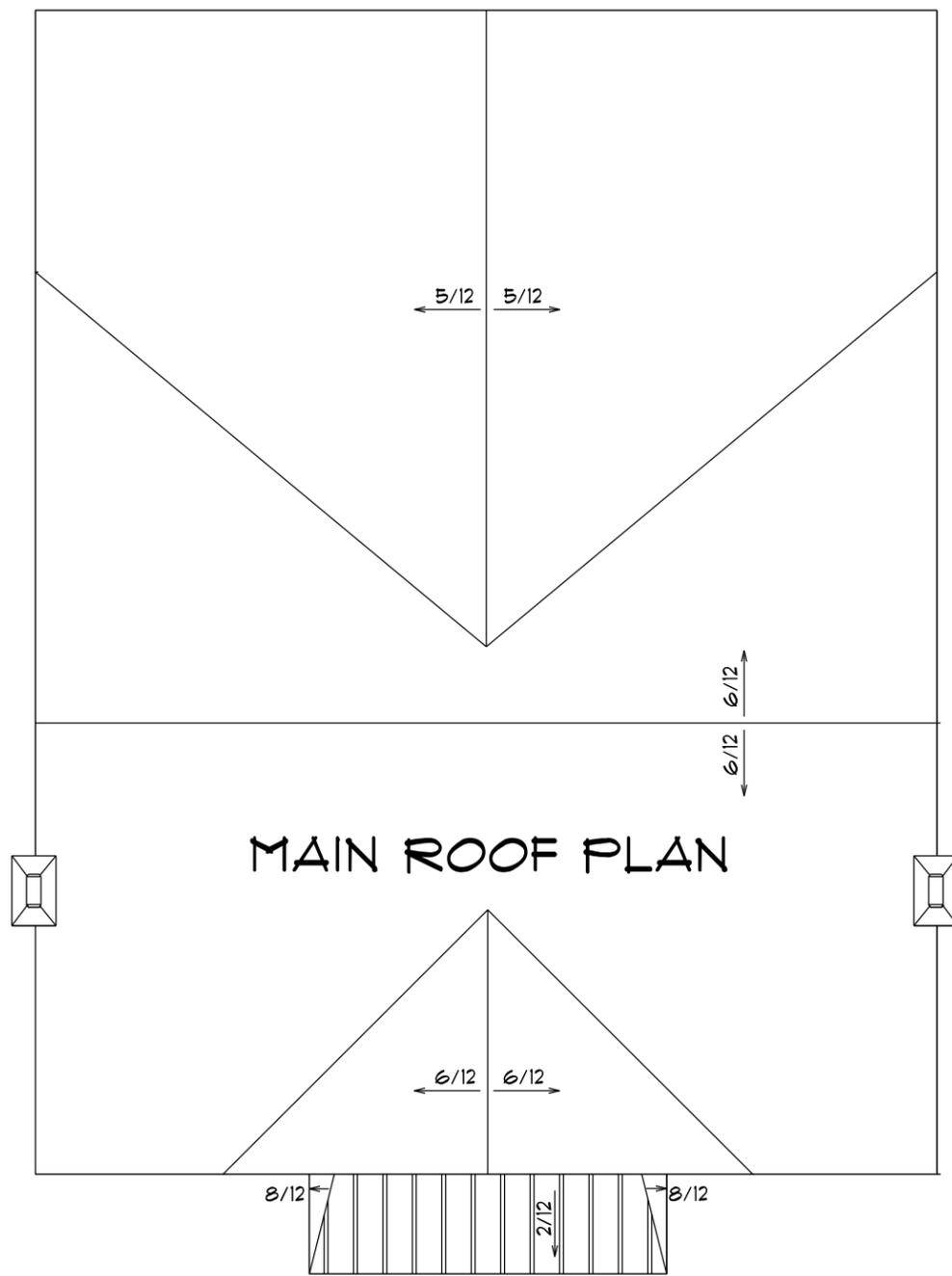
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LEFT ELEVATION



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

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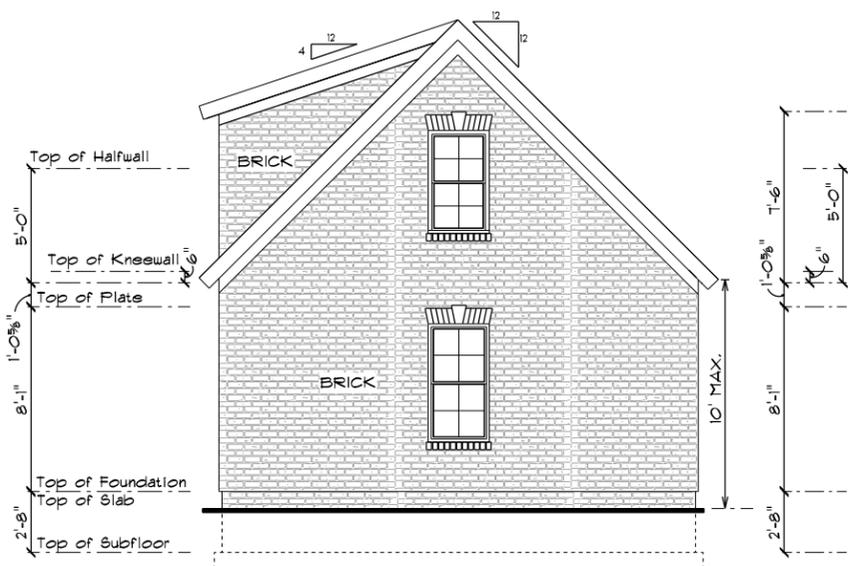
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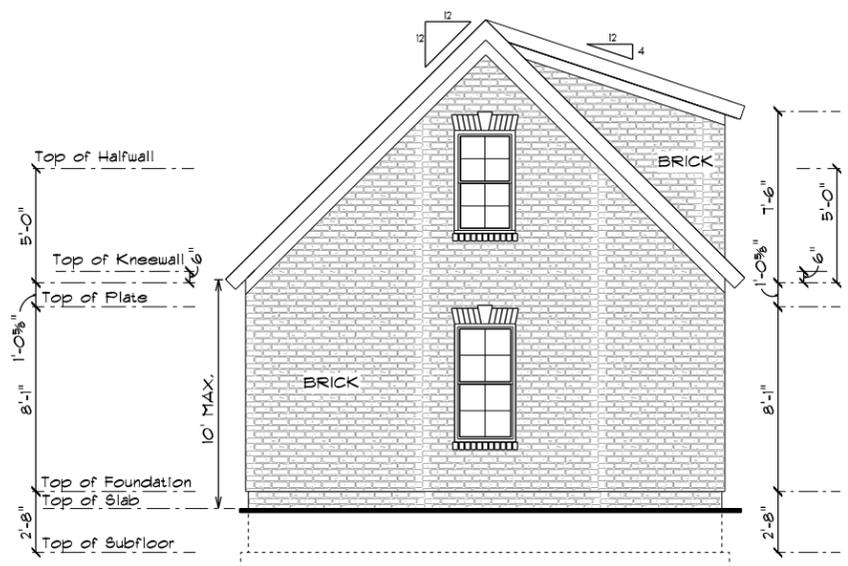
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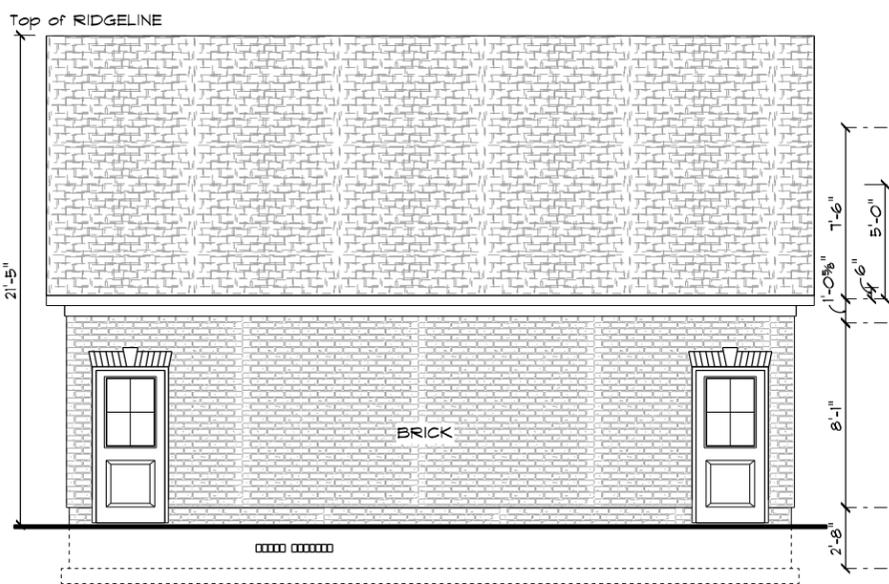
LEFT ELEVATION



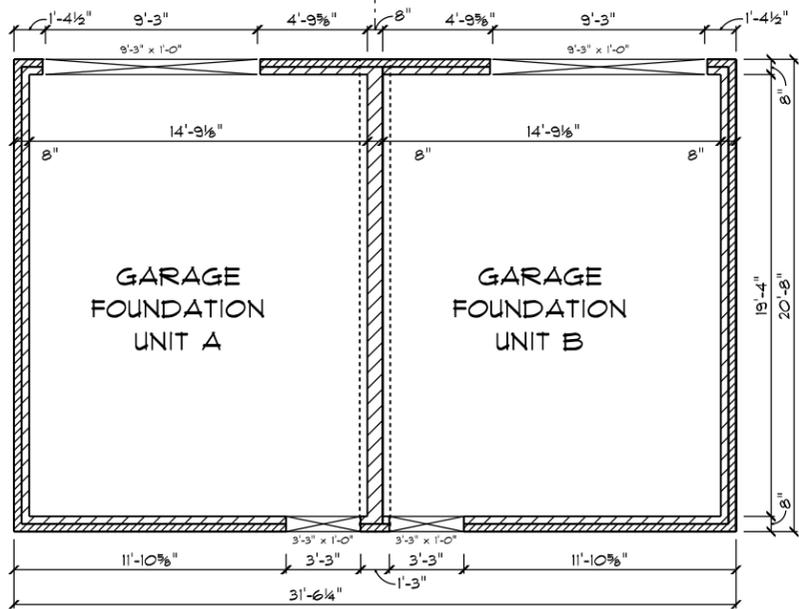
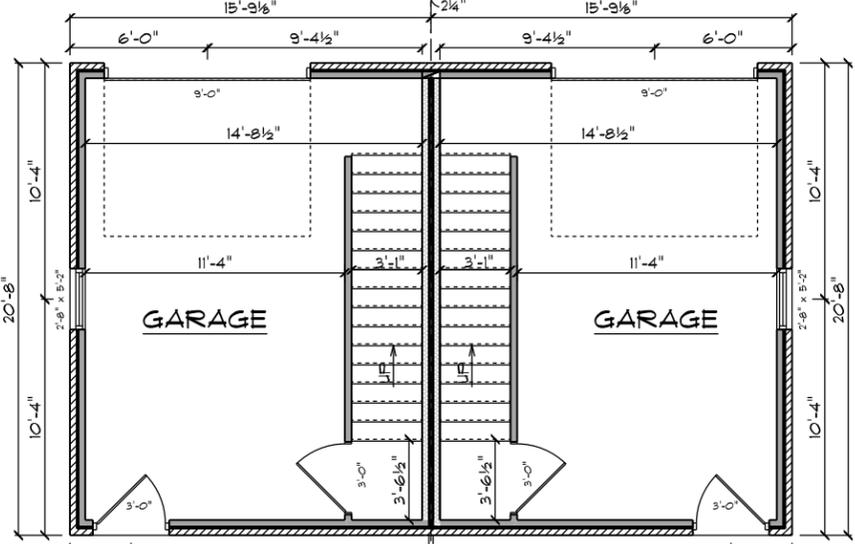
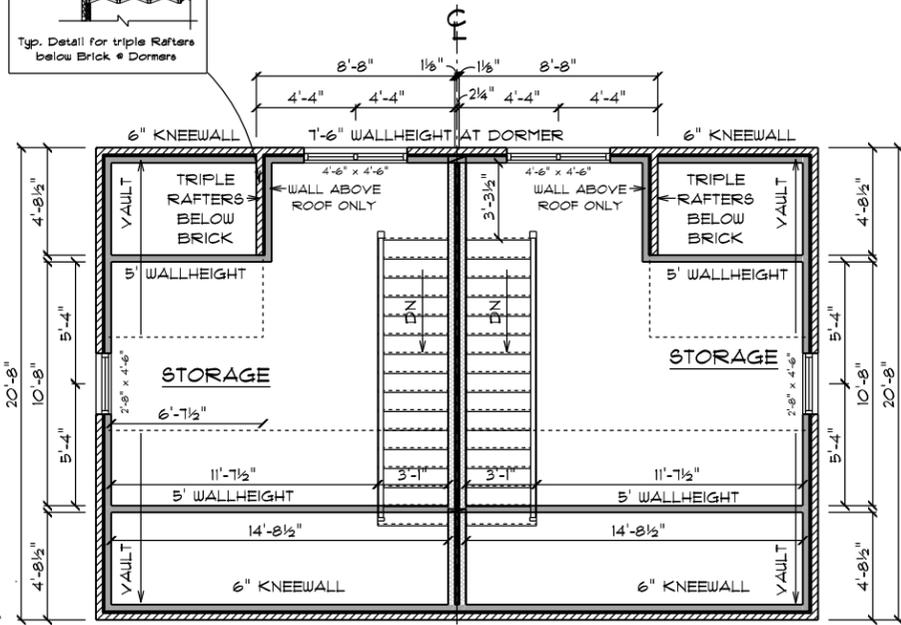
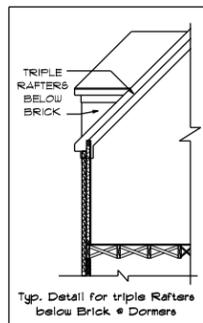
RIGHT ELEVATION



FRONT ELEVATION

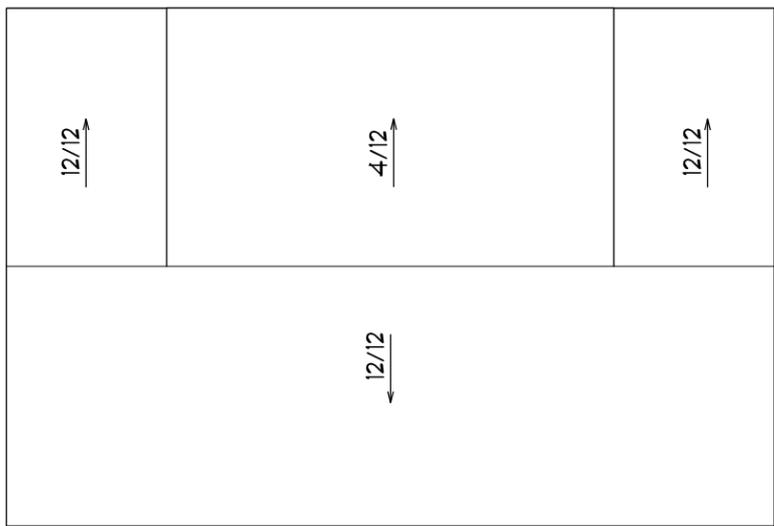


REAR ELEVATION



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



GARAGE ROOF PLAN

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SCALE: 1/8" = 1'-0"

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LEFT ELEVATION



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

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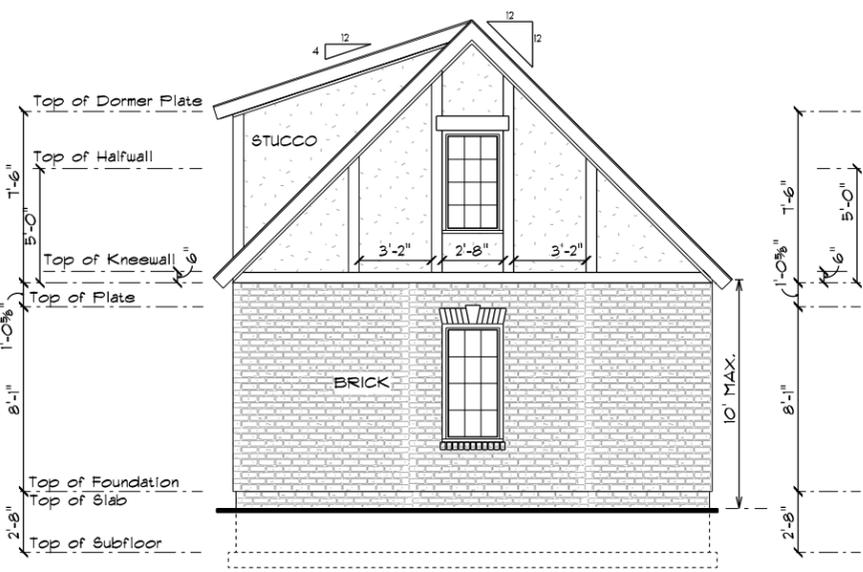
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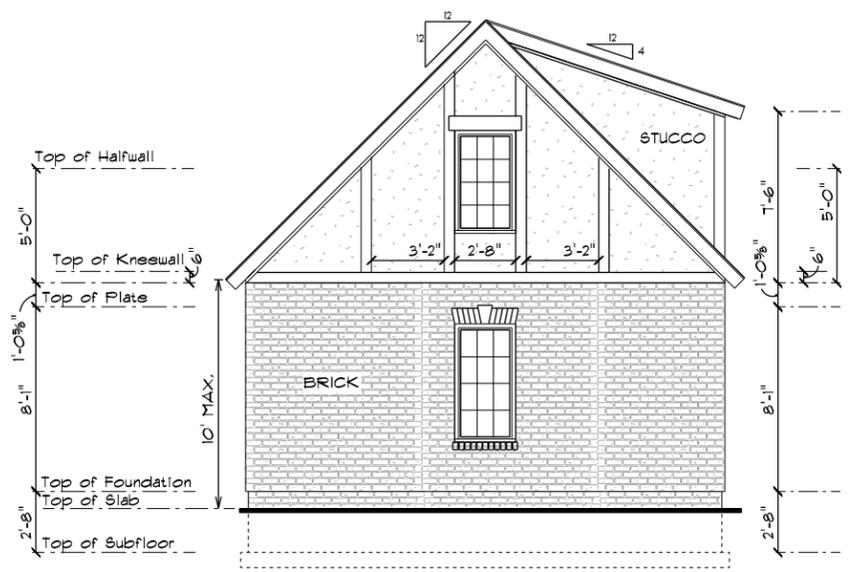
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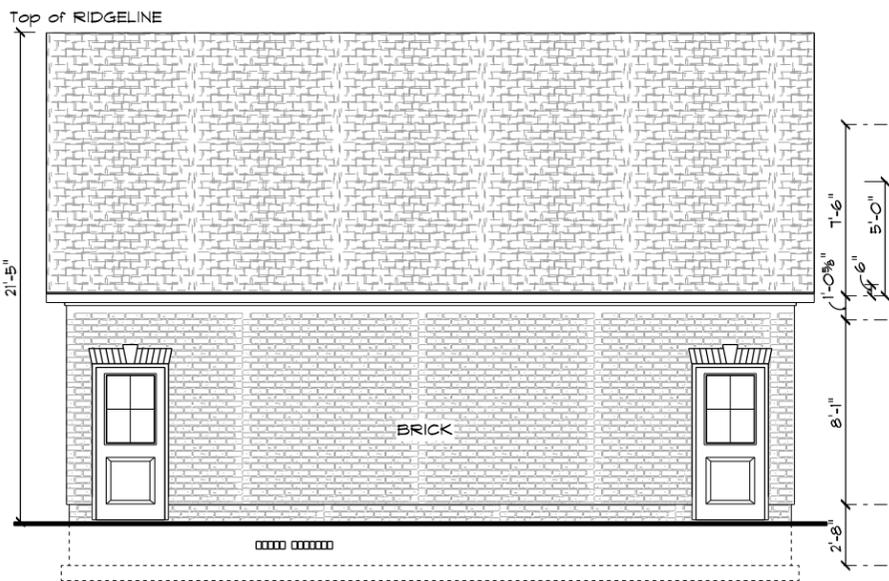
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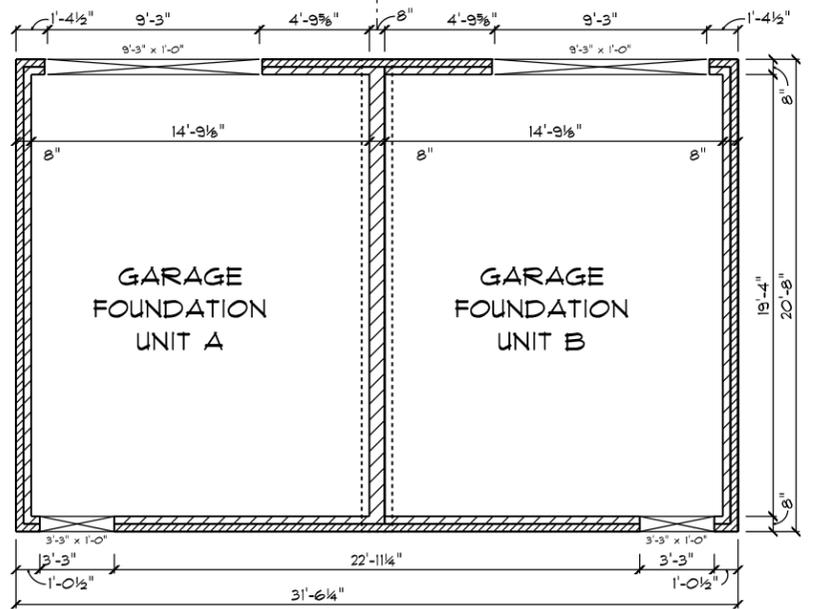
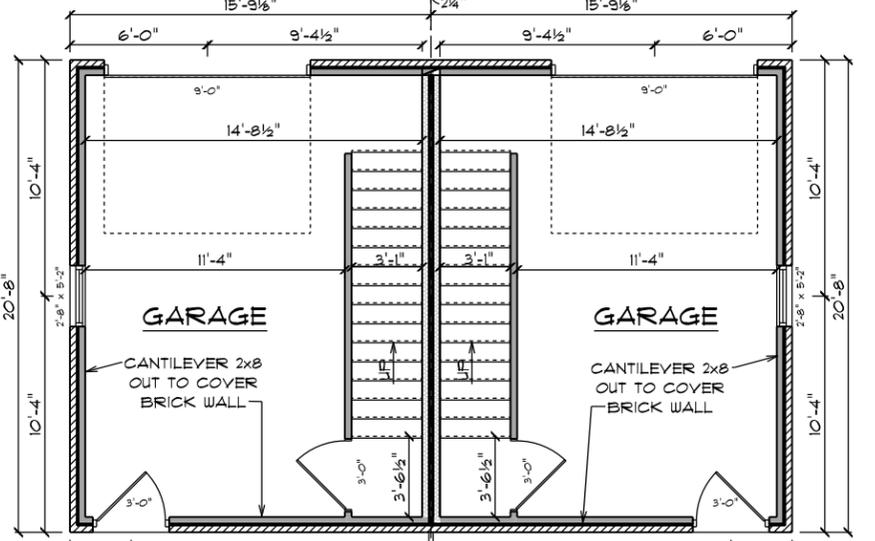
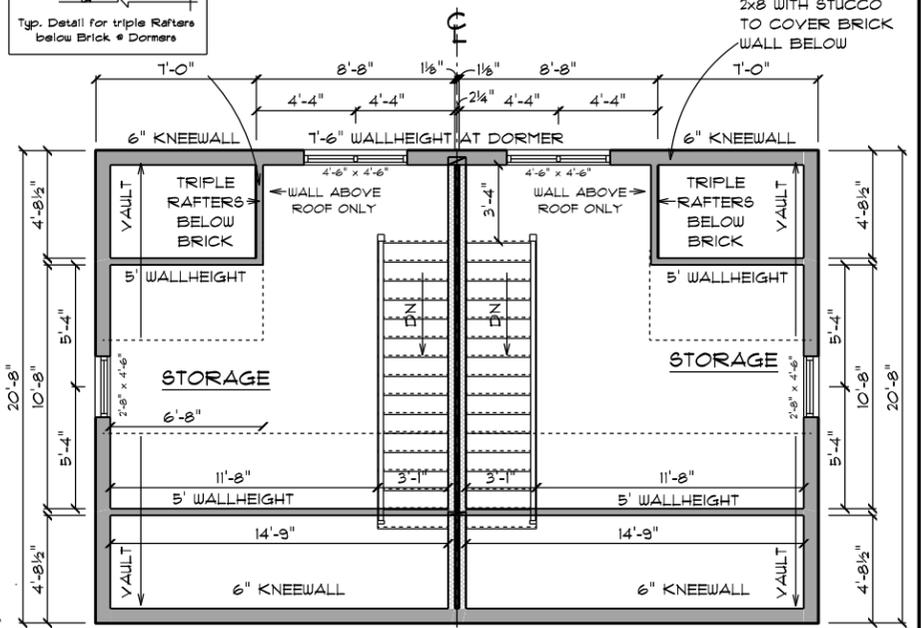
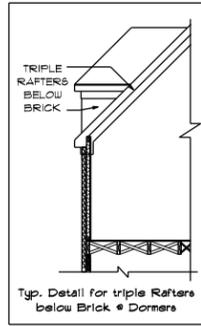
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FRONT ELEVATION

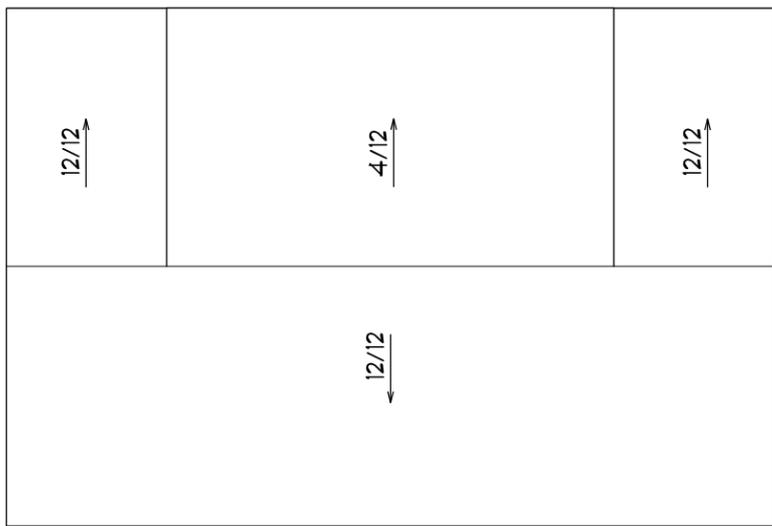


REAR ELEVATION



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



GARAGE ROOF PLAN

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