



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
120 Second Avenue South
April 15, 2015

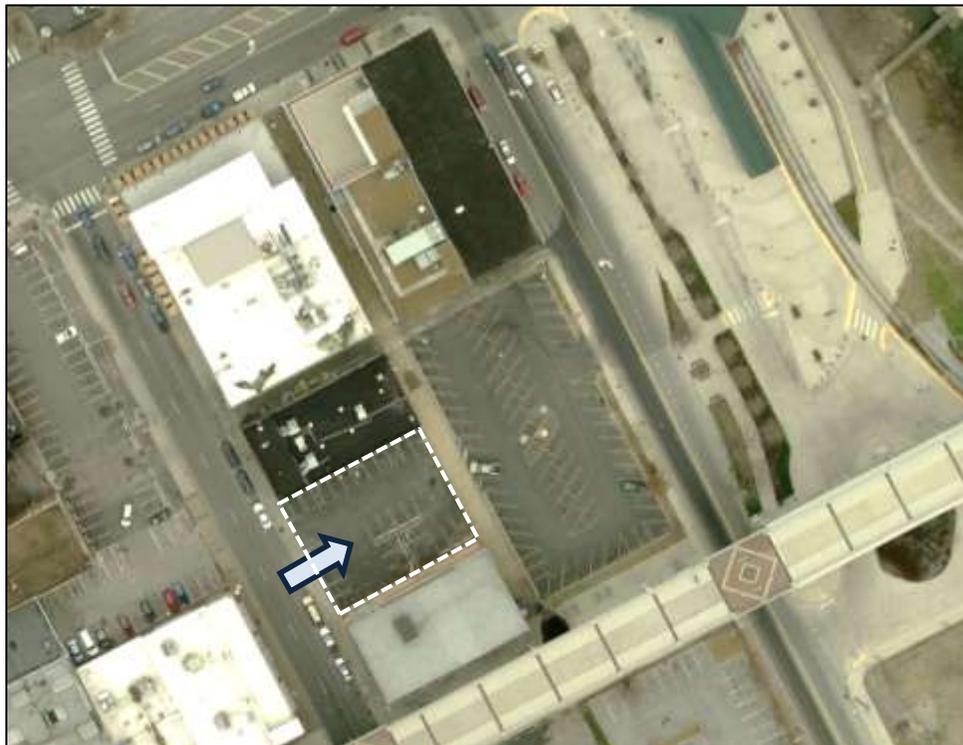
Application: New construction - infill
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306410100
Applicant: Mark Robin
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to construct a new multi-story building on a vacant lot.</p> <p>Recommendation Summary: Staff recommends approval of the proposed infill at 120 Second Avenue South with the conditions that:</p> <ul style="list-style-type: none">• The height of the building is reduced to five stories;• The first-story cornice is a traditional masonry material instead of a textured acrylic finish or EIFS material; and• Staff approve the specific material selections and the windows and doors. <p>With these conditions, staff finds the project to meet the design guidelines for infill construction in the Broadway Historic Preservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

General Principles:

These guidelines shall apply only to the exteriors of buildings and to areas of lots visible from public rights-of-way.

The public facades – street related elevations – of proposals for new buildings shall be more carefully reviewed than other facades.

New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

Because new buildings usually relate to an established pattern and rhythm of existing buildings, the dominance of that pattern and rhythm must be respected and not disrupted.

New buildings must be constructed to a height that is compatible with the height of adjacent buildings.

Guidelines:

A. Height

1. Infill buildings which directly front on Broadway shall not exceed a height greater than 65 feet or 5 stories. Infill buildings which directly front on Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building.
2. Infill buildings which are constructed on corner lots facing Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building and 20 feet from the secondary street.
3. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 150 feet from the right-of-way of Broadway shall not exceed a height greater than 80 feet total or 6 stories.
4. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 200 feet from the right-of-way of Broadway shall not exceed a height greater than 90 feet or 7 stories.
5. Infill buildings shall be a minimum of 40 feet or 3 stories in height.
6. Infill buildings which are constructed within 150 feet of a registered National Historic Landmark shall be subordinate in height to the National Historic Landmark property.

B. Scale

1. The size of a new building, its mass in relation to open spaces, and its windows, doors, openings, and appurtenances should be visually compatible with the surrounding buildings.
2. In the event that multiple lots or parcels are assembled within the historic district, buildings shall be designed to be compatible with the adjacent structures. Existing traditional and historic buildings are 20 to 50 feet wide and 100 to 150 feet deep. New structures should employ design techniques to break the facades along the right-of-way into multiple vertical elevations as previously described.
3. All new buildings should have a base, middle, and cap. Traditionally, buildings were composed of these three basic elements. Adhering to this form will help reinforce the visual continuity of the area.
4. The first floor height shall be a minimum of 16 feet from finished floor to finished floor. Upper floor heights should appear to be similar to historic structures in the district.

C. Setback and Rhythm of Spacing

1. The setback from the street and side property lines established by adjacent or contiguous buildings shall be maintained. When a definite rhythm along a street is established by uniform lot, building width, or bay patterns within a building façade, infill buildings should maintain the rhythm.

2. New buildings should be constructed in line with adjacent historic structures. Corner buildings should avoid setbacks or open corner plazas that disrupt the continuity of the street wall.
3. New buildings shall front 100% of the primary street and, where applicable, a minimum of 85% of the secondary street.
4. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
5. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

D. Roof Shape

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

E. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 60% of the street level façade of a new building shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian. This guideline is most important on Broadway where most of the buildings have commercial ground floor storefronts.
3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

F. Guidelines: Relationship of Materials, Texture, Details, and Material Color

1. The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.
2. Masonry materials were primarily used in the historic district, and should continue to be predominant.
Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.
3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

G. Guidelines: Orientation

1. The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible.
2. Primary building entrances shall be oriented to the primary street.
3. Entrances to buildings should be recessed.

Background: 120 Second Avenue South is currently a vacant parcel. A three-story building which had housed a variety of wares and stores over the years once stood on the lot.

Analysis and Findings: The applicant proposes to construct a new multi-story building on a vacant lot.

Height: The new building is proposed to be six stories tall, with a cornice height of eighty-eight feet (88') above the sidewalk level. (Please note - several of the plans state the building is five-stories but the elevations show six-stories.) A stair and utility tower at the rear of the building will rise an additional nine feet (9'), for a total height of ninety-seven feet (97'). This is significantly taller than the adjacent historic buildings: a two-story, thirty foot (30') tall building to the left and a four-story, forty-eight foot (48') tall building to the right.

The design guidelines provide maximum heights for buildings but also require that the size of a building should be consistent with existing historic buildings (see section III.1). The "General Principles" portion of the design guidelines supports this by stating that "new construction should be consistent with existing buildings along a street in terms of height." With this guidance, staff found that one story taller than an adjacent historic building would be compatible but that two stories taller or more would be incompatible.

Other than the Derryberry building, which faces Broadway, and a recently constructed skyscraper, the remainder of buildings on the block are only two-stories tall. The adjacent four-story building to the right was originally three-stories, with the upper-most story added sometime prior to 1957.

Address	# of Stories
114 2 nd Ave S	2
126 2 nd Ave S	4
123 2 nd Ave S	2
119 2 nd Ave S	Parking lot
113 2 nd Ave S	Parking lot
109 2 nd Ave S	Parking lot

Figure 1: Number of stories for building facing 2nd Ave South in the 100 block.



Figures 2 and 3: The proposed six story building would be between a two-story historic building and a four-story historic building. The only building across the street on this block is two-stories.

With the condition that the building be reduced to five-stories, staff finds the proposed building's height to be compatible with the adjacent historic buildings.

Scale: The building will extend the full width and depth of the lot, eighty feet (80') wide at the front and one hundred feet (100') deep on the sides. Completely covering a lot is typical of buildings in the historic context. The facade of the building will be divided into five equal-width bays, with pilasters carrying up the full height of the building. The first story bays will be composed of bulkheads, storefront windows, transoms, and a continuous cornice. The cornice, marking the approximate level of the second-story floor level, will begin eighteen feet (18') above the sidewalk. The upperstories will comprise four stories of large four-part windows with transoms or spandrels, and the upper-most story will recapitulate the features of the first story with a more pronounced cornice. This composition, having a base, middle, and top section, is consistent with the scale of surrounding historic buildings. Staff finds the scale of the new building's elements to meet section III.B of the design guidelines.

Setbacks: The building will have no setbacks on any of the four sides, as is typical of historic context and meets the applicable bulk zoning regulations. Staff finds the proposal to meet section C of the design guidelines.

Roof: The roof of the building will be flat, as is typical of surrounding historic buildings. Staff finds the proposal to meet section III.D of the design guidelines.

Proportion and Rhythm of Openings, Orientation: The building will have two prominent recessed doorways on the front facade, with the majority of all five bays composed of windows and doors. This helps to define the entrances to the building at the pedestrian level and create visual interest. This rhythm is carried into the upper floors with windows generally twice as tall as they are wide.

The left side of the building will have pilasters dividing it into five bays, with the center bay stepped in to create a lightwell for the north-facing rooms. There will be no other windows on the left side. The right side of the building will be like the left side but without a lightwell. Side walls in this context are typically party walls and not public façades, and as such windows are not necessary as they would be for a front elevation.

Staff finds these proportions to meet section III.E and the orientation to meet section III.G of the design guidelines.

Materials: The first story facade will have limestone columns and granite bulkheads. Stone is an appropriate material, but staff would recommend that administrative approval of material samples be required as a condition of approval. A "Limestone" textured acrylic finish materials will be used for the first story cornice and the upper cornice, as well as on the pilasters of the upper-most story. Textured acrylic finish, a type of exterior insulated finish system, has not been approved by the Commission for first story use. At

the upper story, however, the visibility will be minimal and the material may therefore be appropriate.

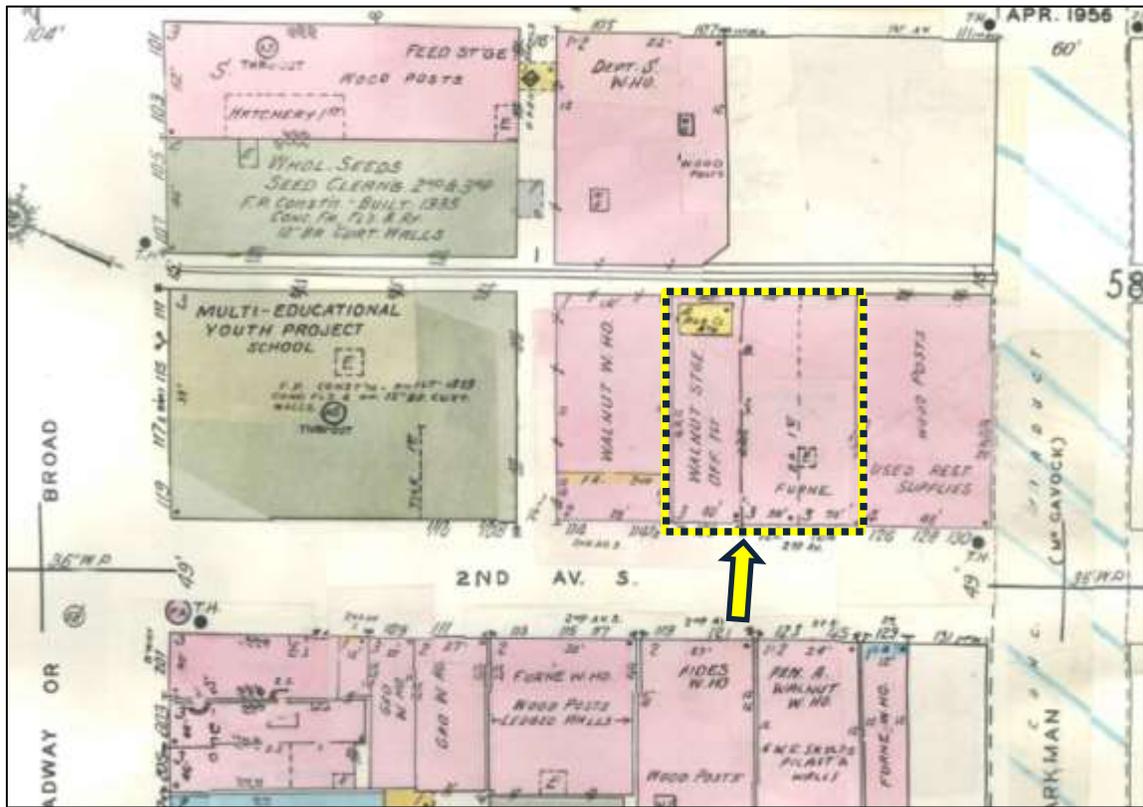
The windows and doors will be aluminum, typical of a storefront or commercial building. Staff would recommend that administrative approval of window and door selections be required as a condition of approval.

With a condition that the first-story cornice is a traditional masonry material instead of a textured acrylic finish or EIFS material, and with staff's approval of the specific material selections and the windows and doors, Staff finds that the proposed infill would meet section III.F of the design guidelines.

Recommendation: Staff recommends approval of the proposed infill at 120 Second Avenue South with the conditions that:

- The height of the building is reduced to five stories;
- The first-story cornice is a traditional masonry material instead of a textured acrylic finish or EIFS material; and
- Staff approve the specific material selections and the windows and doors.

With these conditions, staff finds the project to meet the design guidelines for infill construction in the Broadway Historic Preservation Zoning Overlay.



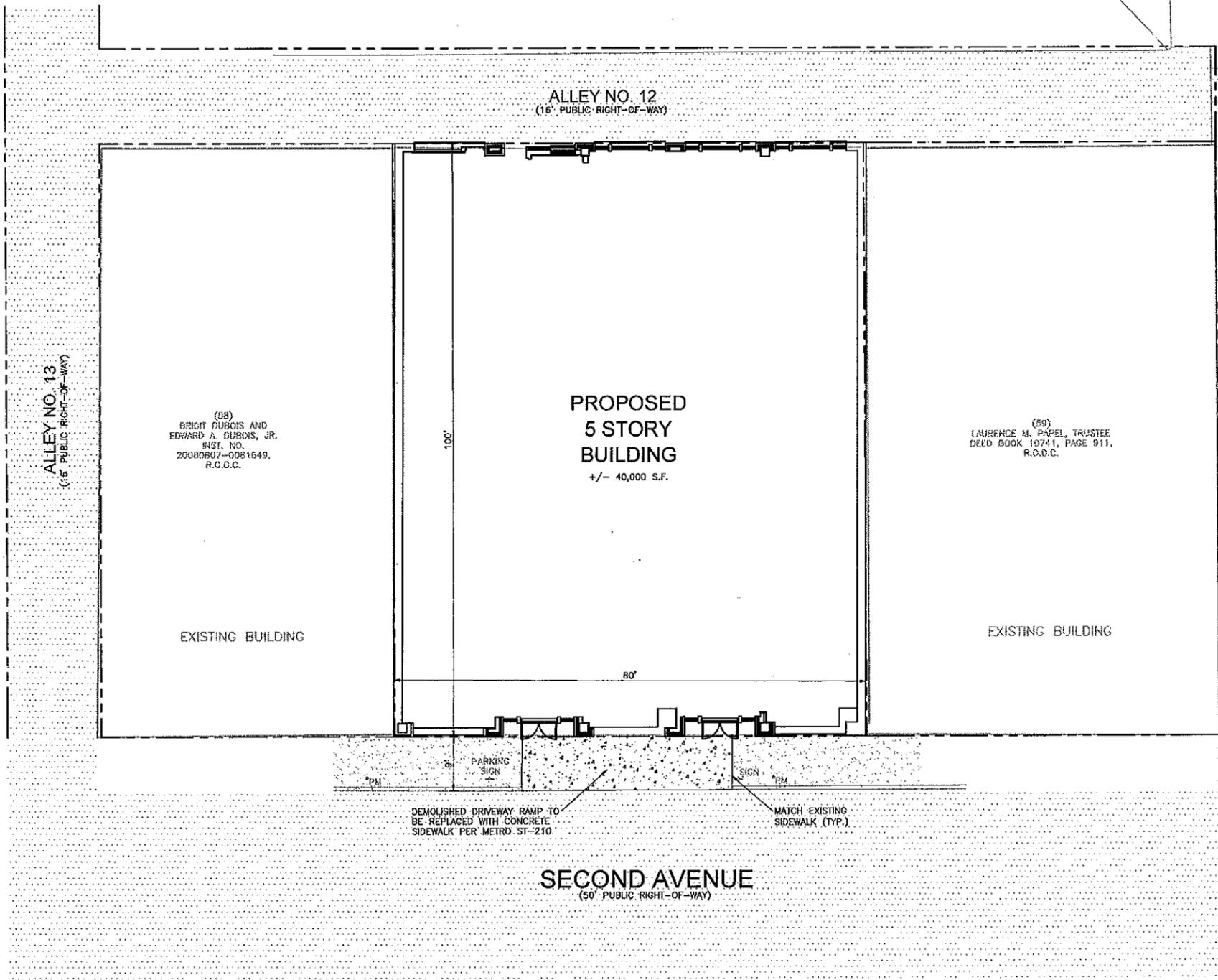
1957 Sanborn Map Detail



120 Second Avenue South, showing location of proposed new building.



120 Second Avenue South, taken from First Avenue South.



SITE DATA:

PROPERTY INFORMATION:
 STREET ADDRESS: 120 SECOND AVENUE, NASHVILLE, TN 37203
 COUNCIL DISTRICT: 19
 TAX MAP: 83-06-4
 PARCEL: 101
 LOT SIZE: 0.18AC.± (8,000 S.F.)
OWNER REPRESENTATIVE: MR. FRANK C. MAY, 233 ENSORTH AVENUE, NASHVILLE, TN 37205, (615) 491-8876
ARCHITECT: MR. MARK ROBIN, 309 TERRY TRACE, NASHVILLE, TN 37205, (615) 356-0559, MARK.ROBIN@COMCAST.NET

PROJECT ENGINEER:
 MR. BRAD SLAYDEN, RAGAN-SMITH & ASSOCIATES, INC., 315 WOODLAND STREET, NASHVILLE, TN 37208, (615) 244-8591, BSLAYDEN@RAGANSMITH.COM

ZONING INFORMATION:
 ZONING CLASSIFICATION: PROPERTY IS ZONED DTC (DOWNTOWN CODE), WITH THE FOLLOWING:
 MDH-RH (RUTLEDGE HILL REDEVELOPMENT DISTRICT)
 OV-UZO (URBAN ZONING OVERLAY)
 OV-HPL (HISTORIC PRESERVATION OVERLAY DISTRICT)
 OV-ADE (ADULT ENTERTAINMENT OVERLAY)

BUILDING SETBACKS:
 FRONT: N/A
 SIDE: N/A
 REAR: N/A

PROJECT INFORMATION:
 EXISTING USE: PARKING LOT
 ALLOWABLE BLDG. HEIGHT: --
 PROPOSED BLDG. HEIGHT: 86' @ ROOF & 94' @ PENTHOUSE
 PROPOSED BLDG. SQUARE FOOTAGE: +/- 40,000 S.F.

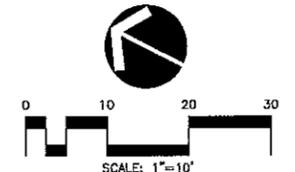
SURVEY INFORMATION:
 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY BARGE, WAGGONER, SUMNER & CANNON, INC. DATED AUGUST 29, 2013

FLOOD INFORMATION:
 FEMA MAP #: 4700400217F
 EFFECTIVE DATE: APRIL 20, 2001
 BASED UPON A GRAPHIC SCALE A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470040, PANEL NO. 0217 F, DATED APRIL 20, 2001.

PAVEMENT LEGEND

- PROPOSED CONCRETE WALK
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE WALK

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 (615) 259-1100
 www.ragan-smith.com

PRELIMINARY
 NOT FOR
 CONSTRUCTION

120 SECOND AVENUE SOUTH
 FOR
 120 SECOND AVENUE, LLC

URBAN SERVICE DISTRICT, NINETEENTH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	9889
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1"=10'
DATE:	MAR. 12, 2014
REVISED:	01/16/15 (RHS) REV. PER. CLIENT REVIEW

SITE LAYOUT
 PLAN

C1.1



DATES & REVISIONS

Drawn By: WK
Proj. Mgr.: Approver
D.C. Review: Checker

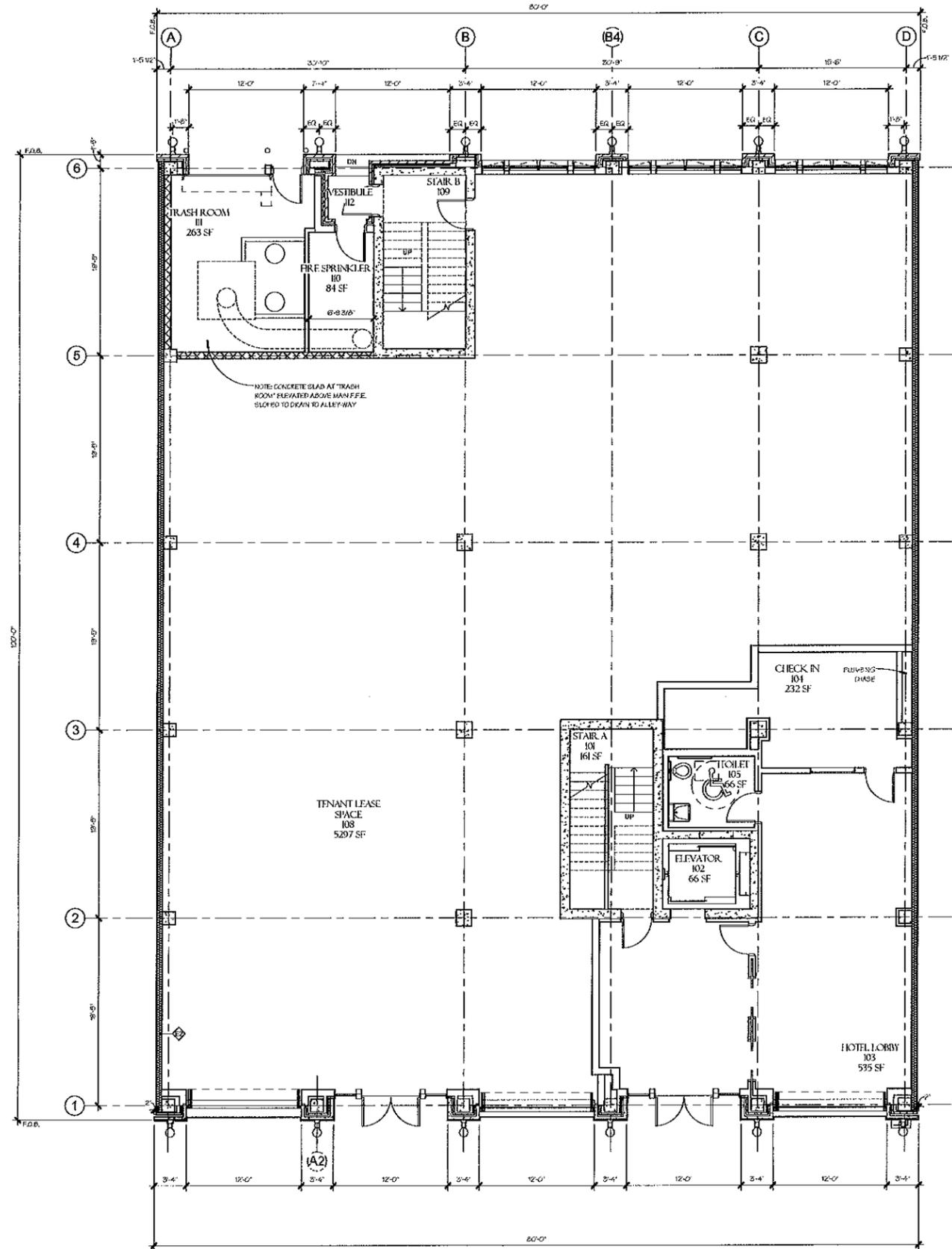
BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
120 Second Avenue South
Nashville, Tennessee 37201

MARK L. ROBIN ARCHITECTURE
307 TERRY TRACE
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SHEET NUMBER

AP1

PROJECT NO.: 2013.00
PRINT DATE: 06 March 2016



① Level 01 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Pj. Mgr.: Approver
O.C. Reviewer: Checker

Preliminary Design Development Not For Construction

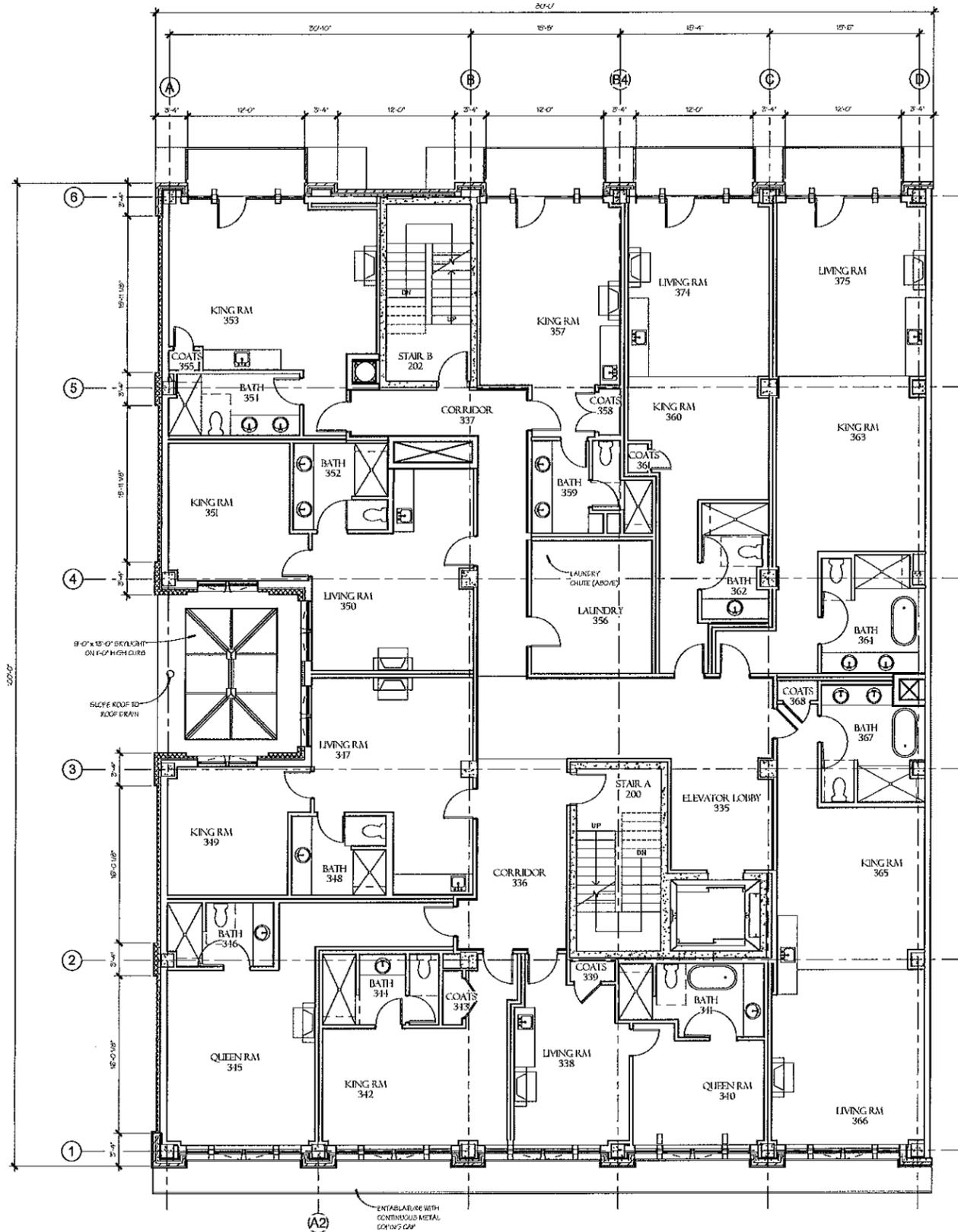
BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
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Nashville, Tennessee 37201

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AP2

Floor Plan
PROJECT NO.: 2012.00
PRINT DATE: 06 March 2015



1 Level 02 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Pj. Mgr.: Approver
D.C. Reviewer: Checker

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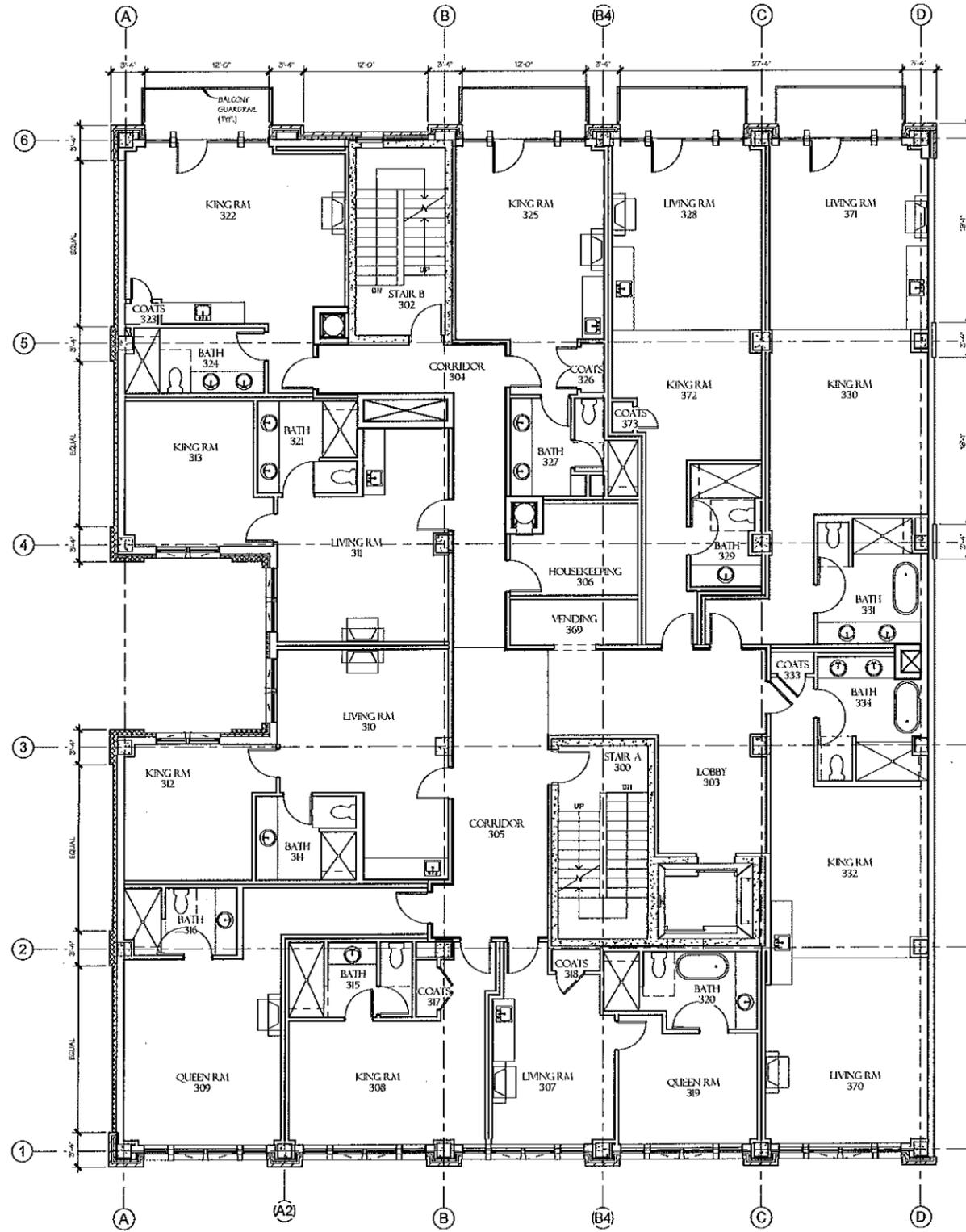
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120 Second Avenue South
Nashville, Tennessee 37201

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SHEET NUMBER

AP3

Floor Plan
PROJECT NO.: 2013.00
PRINT DATE: 06 March 2015



1 Level 03 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Rt. Mgr.: Approver
D.C. Review: Checker

Preliminary Design Development Not For Construction

BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
120 Second Avenue South
Nashville, Tennessee 37201

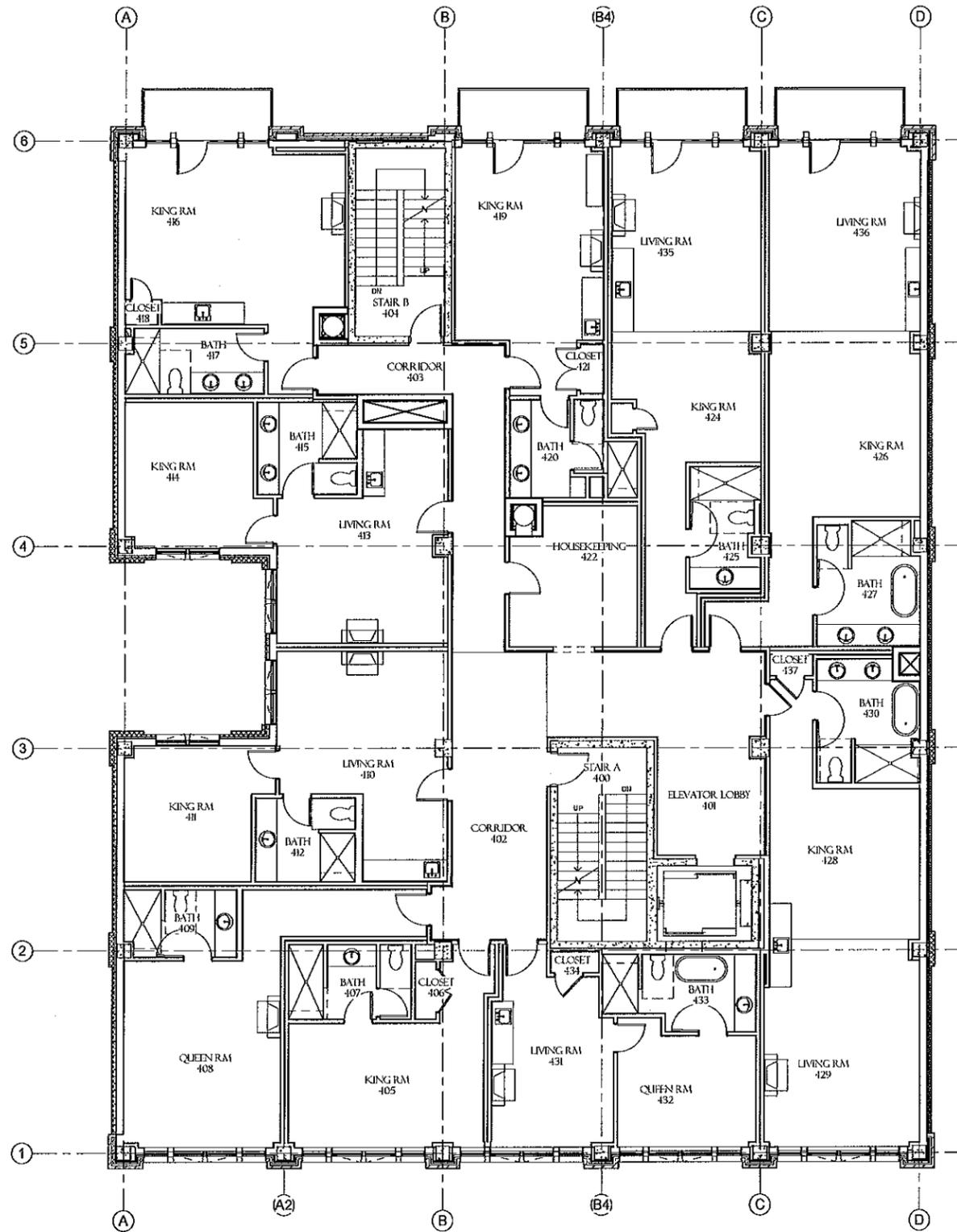
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SHEET NUMBER

AP4

PROJECT NO.: 2013.00
PRINT DATE: 08 March 2015



① Level 04 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Pj. Mgr.: Approver
D.C. Review: Checker

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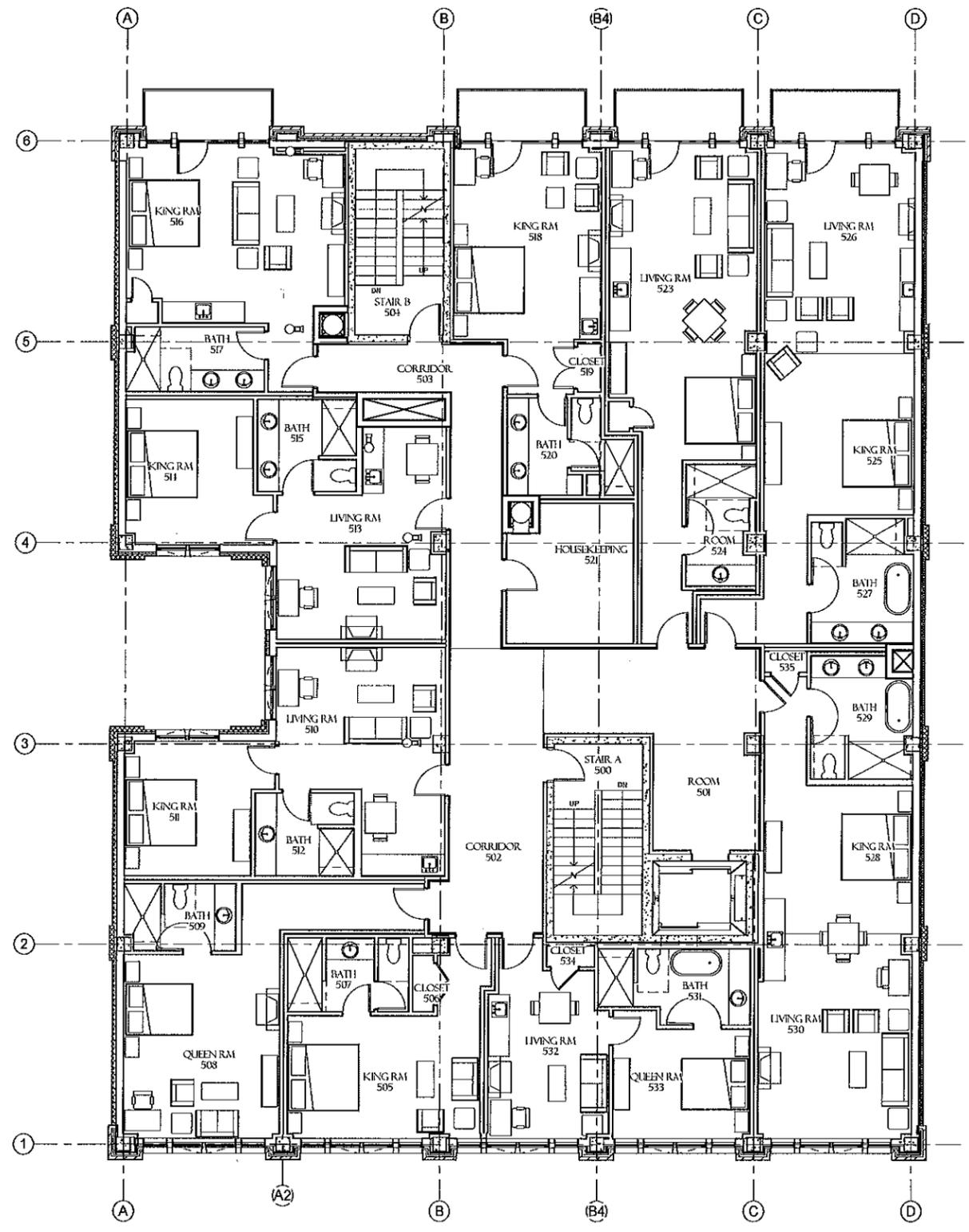
BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
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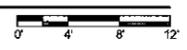
SHEET NUMBER

AP5

Rev. Plan
PROJECT NO.: 2013.00
PRINT DATE: 05 March 2016



1 Level 05 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Pjt. Mgr.: Approver
D.C. Reviewer: Checker

BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
120 Second Avenue South
Nashville, Tennessee 37201

Preliminary Design Development Not For Construction

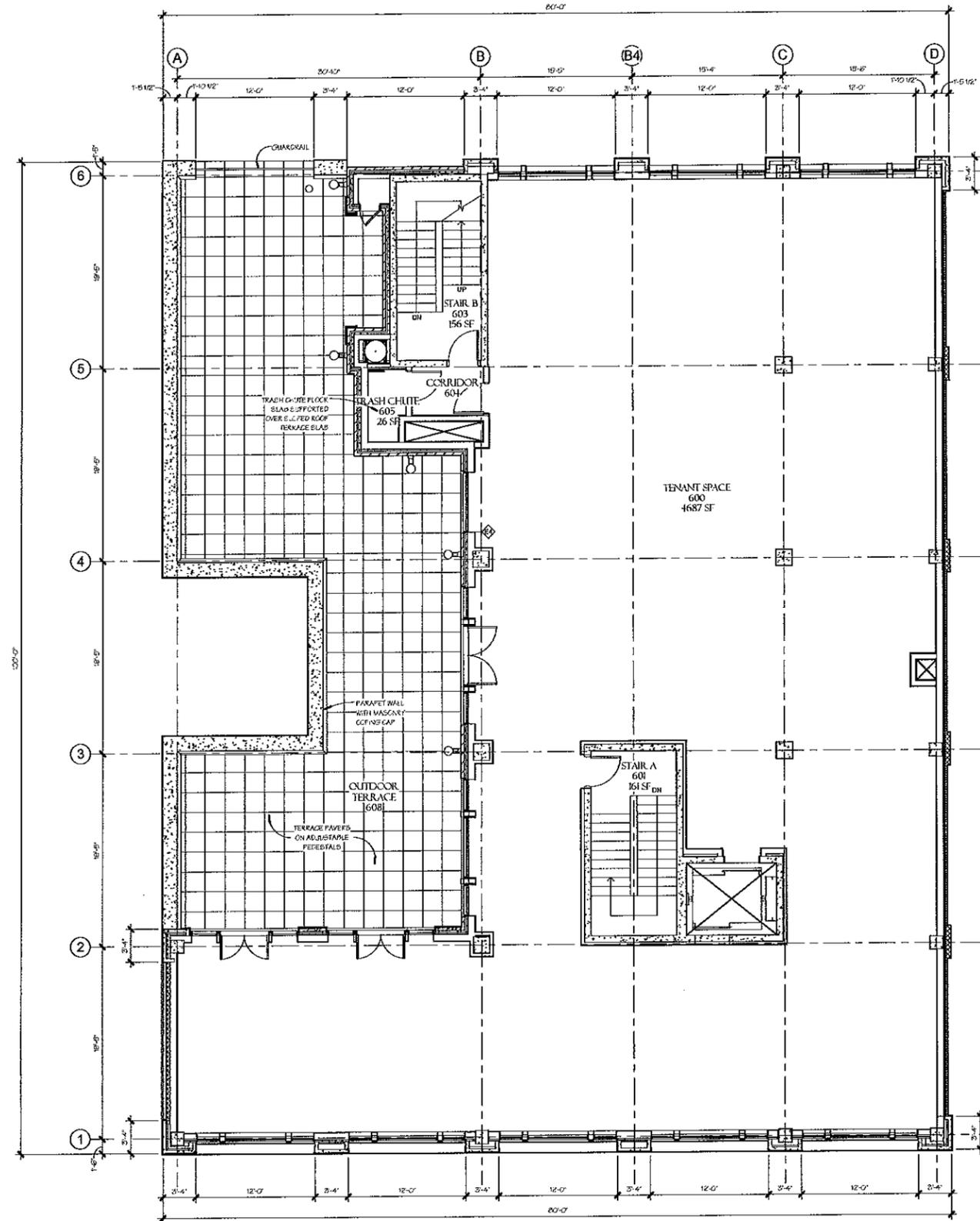
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SHEET NUMBER

AP6

Floor Plan
PROJECT NO.: 2013.00
PRINT DATE: 06 March 2015



1 Level 06 - Architectural Plan Notes & Dimensions





DATES & REVISIONS

Drawn By: WK
Proj. Mgr.: Approver
D.C. Reviewer: Checker

Preliminary Design Development Not For Construction

BUILDING SHELL CONSTRUCTION FOR
120 Second Avenue South Hotel
120 Second Avenue South
Nashville, Tennessee 37201

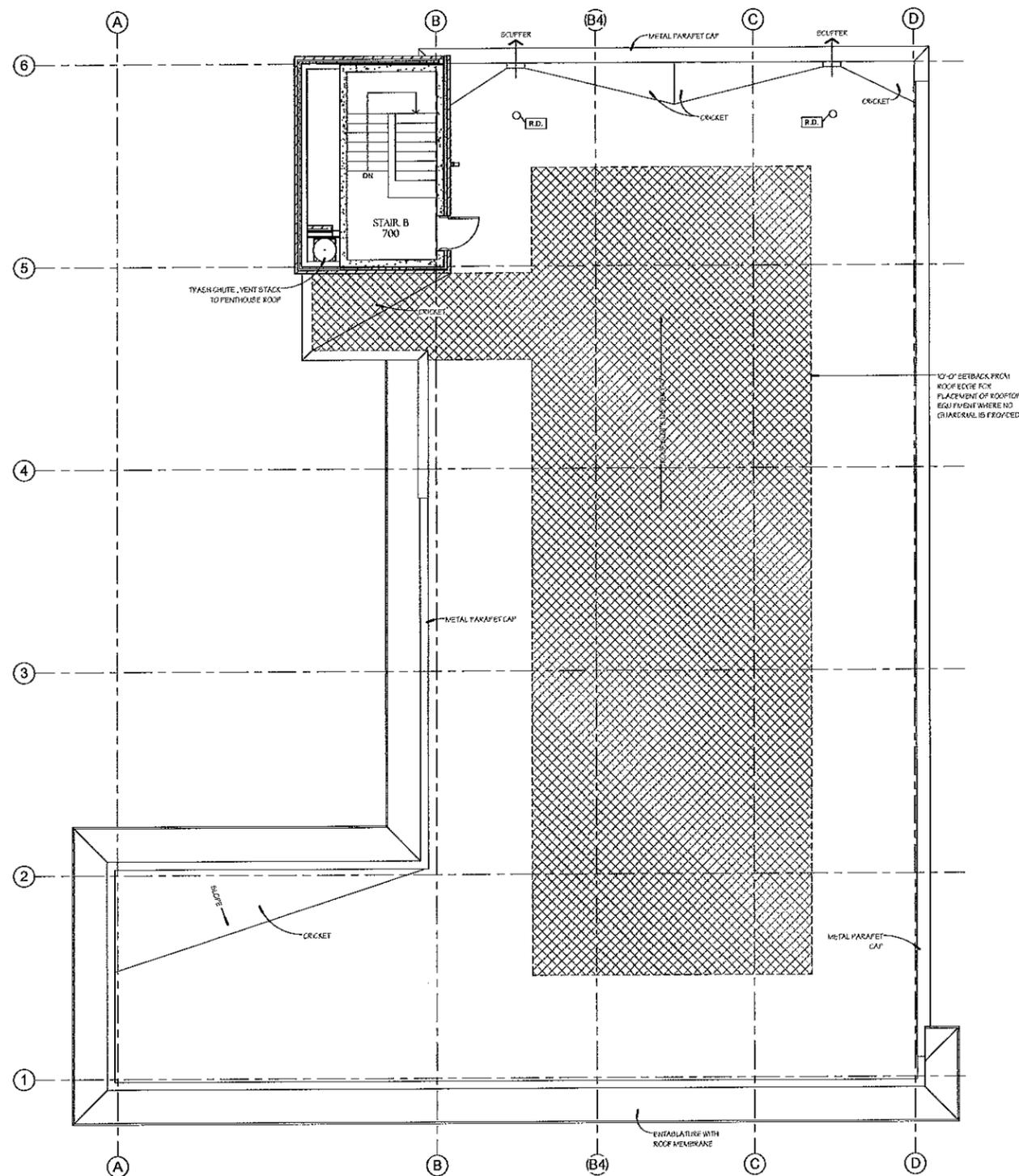
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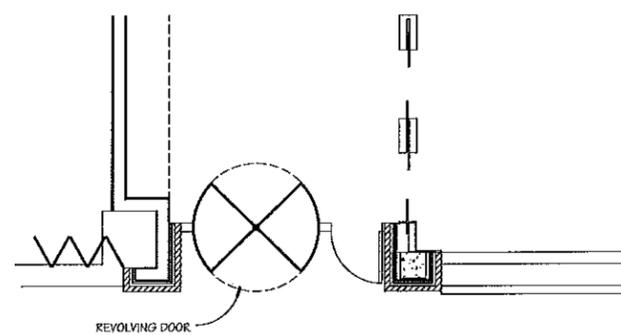
SHEET NUMBER

AP7

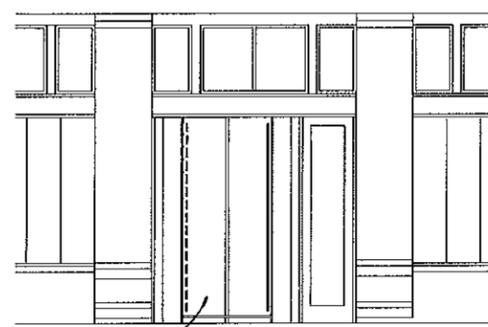
PROJECT NO.: 2013.00
PRINT DATE: 08 March 2015



1 Level 07 Roof Plan Notes & Dimensions



ALTERNATE #1 - PLAN VIEW



ALTERNATE #1 - ELEVATION

2 Alternate #1 - Revolving Entrance Door



DATES & REVISIONS

Drawn By:
Pjt. Mgr.:
O.C. Review:

BUILDING SHELL CONSTRUCTION FOR 120 Second Avenue South Hotel 120 Second Avenue South Nashville, Tennessee 37201

Preliminary Design Development Not For Construction

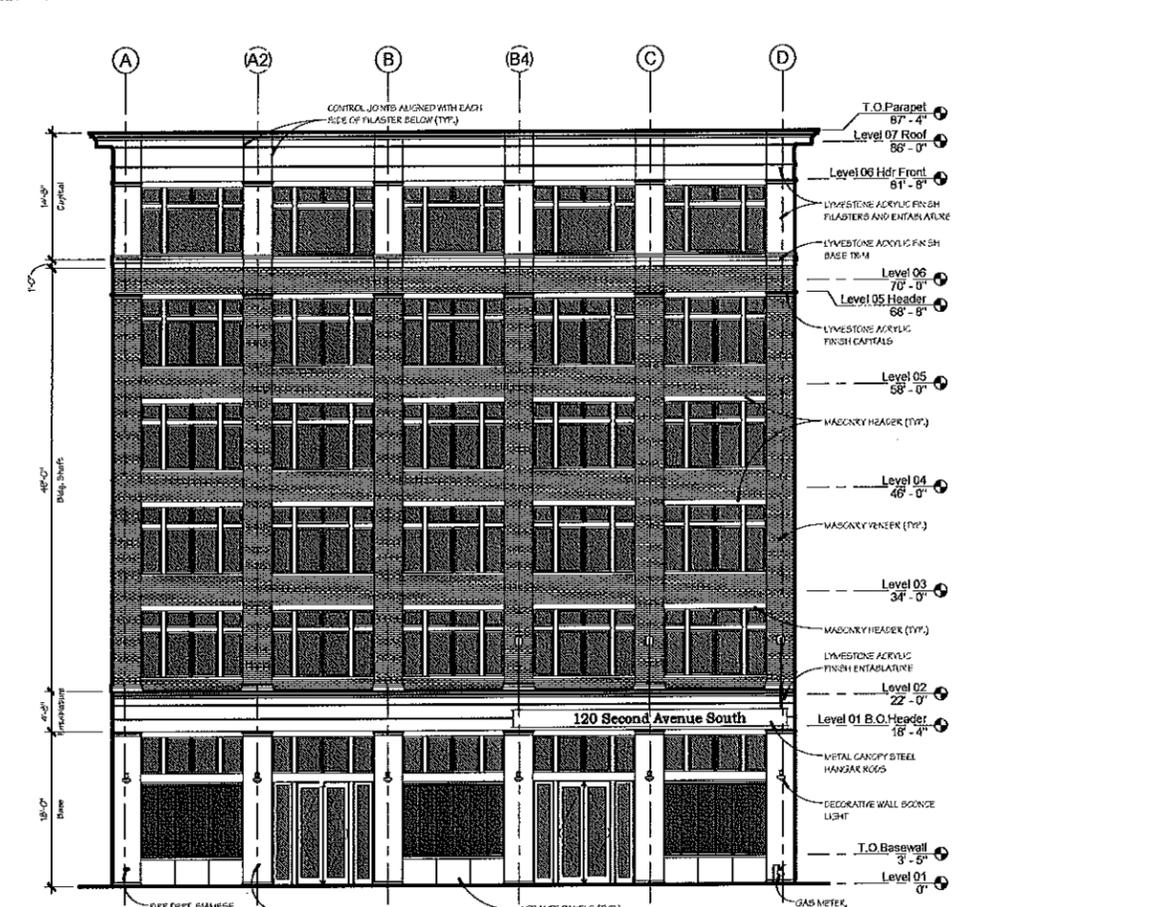
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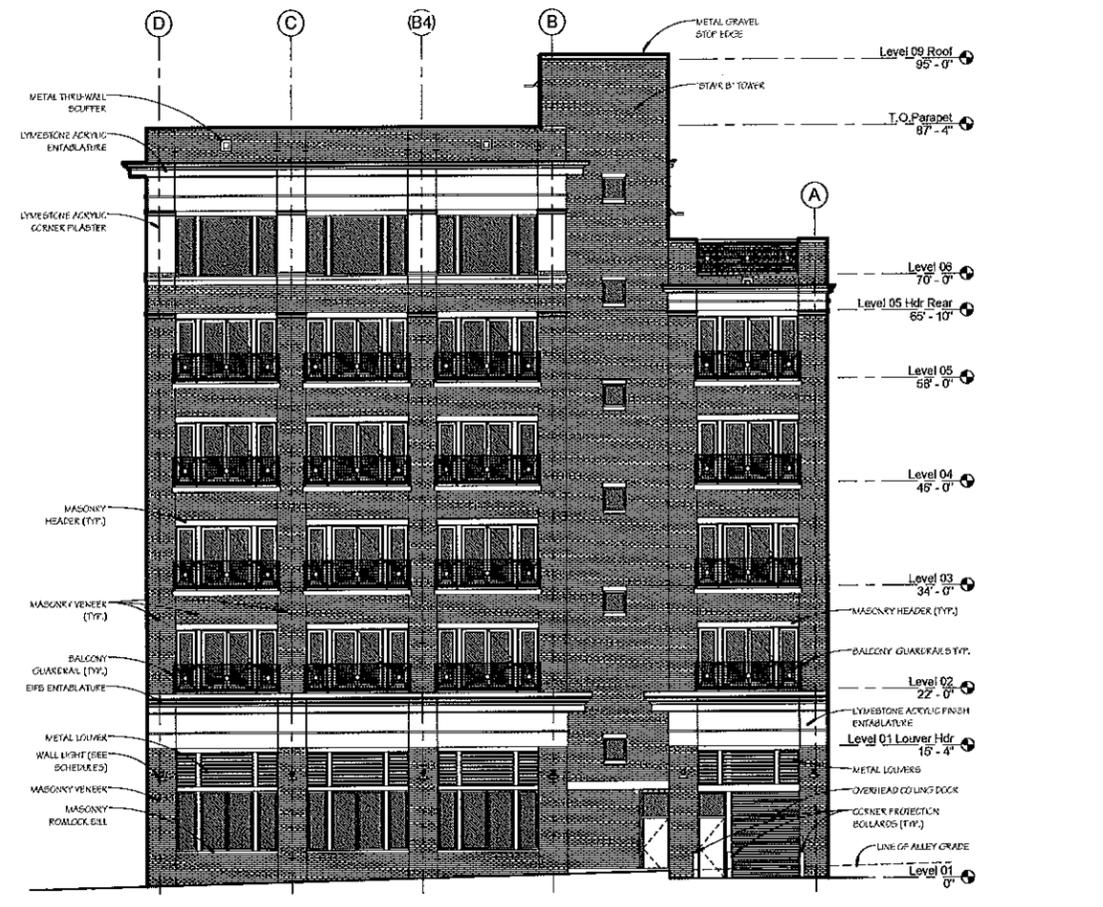
SHEET NUMBER

AP8

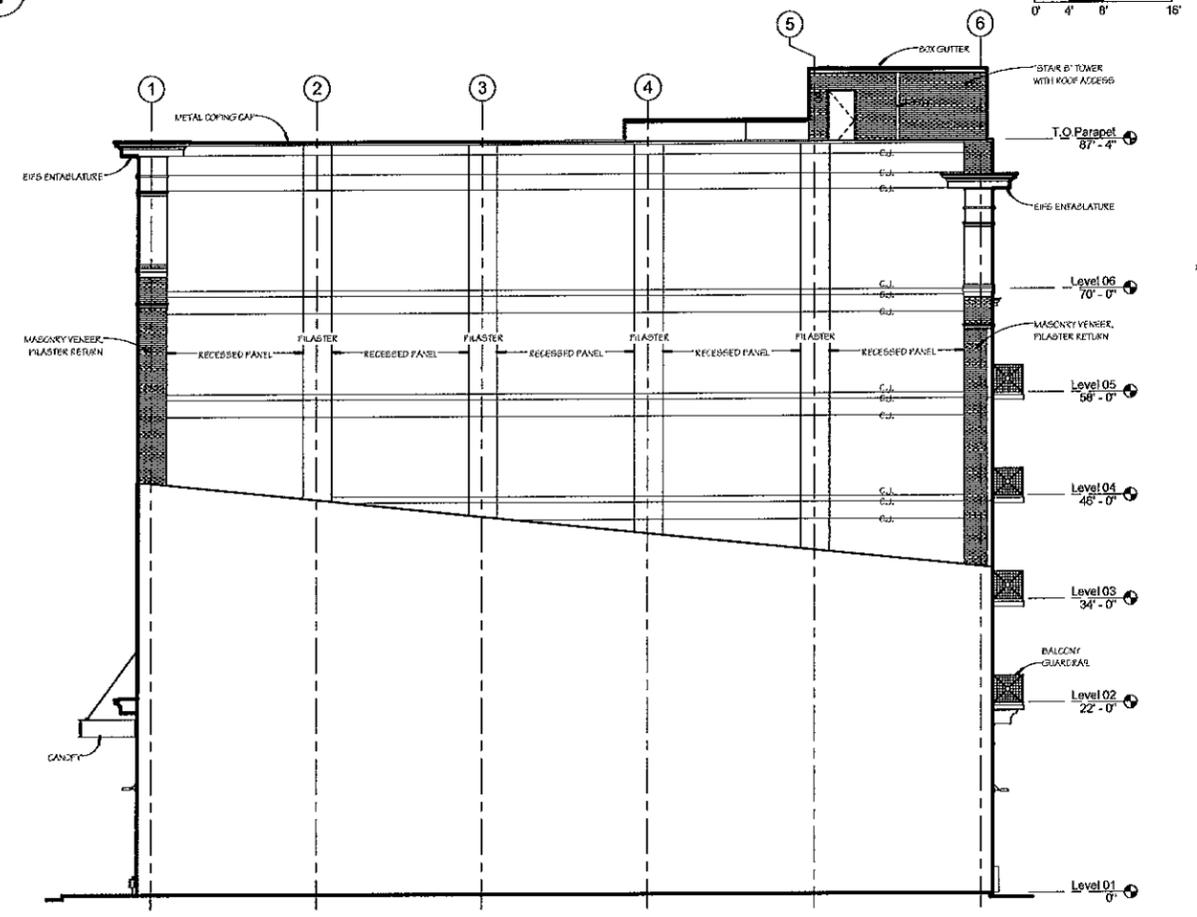
Exterior Elevations
PROJECT NO.: 2013.00
PRINT DATE: 05 March 2015



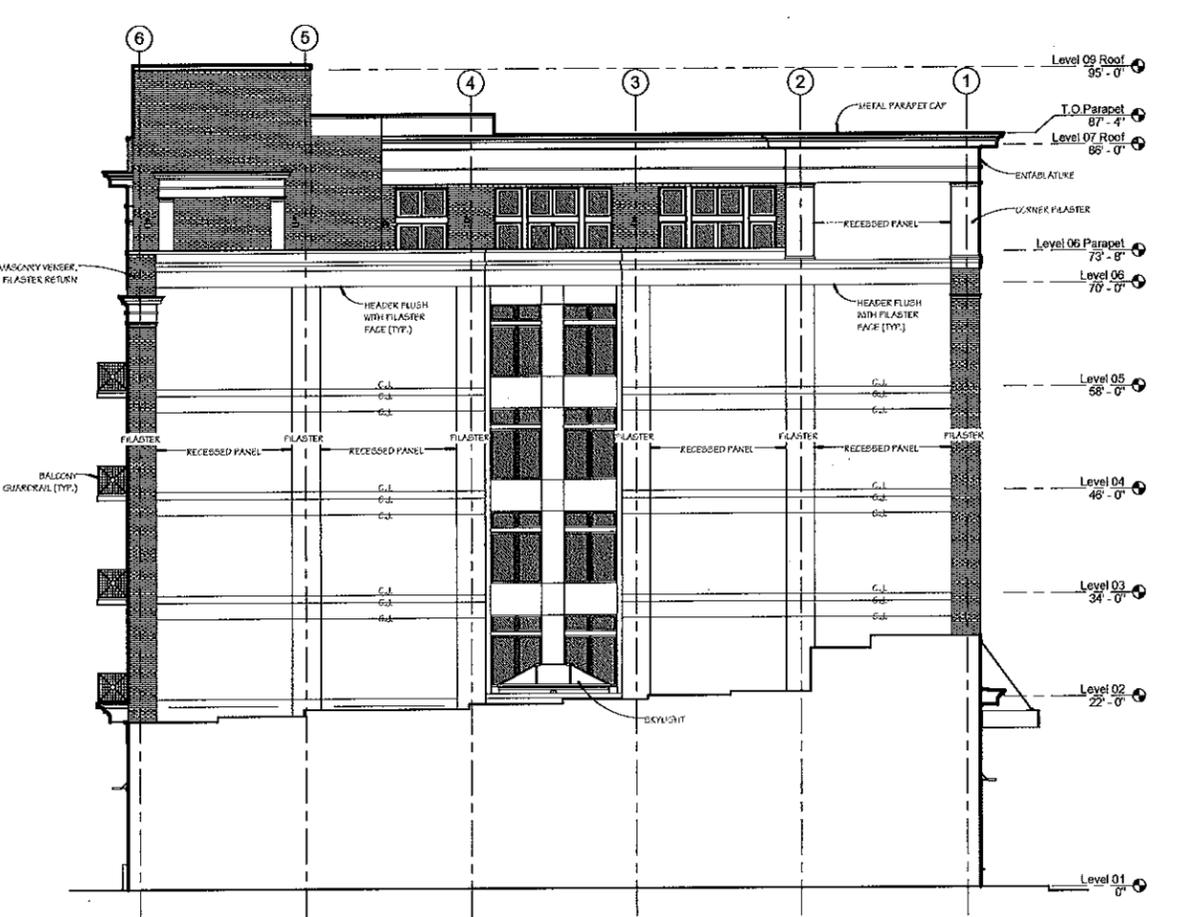
1 West (Second Avenue) Elevation



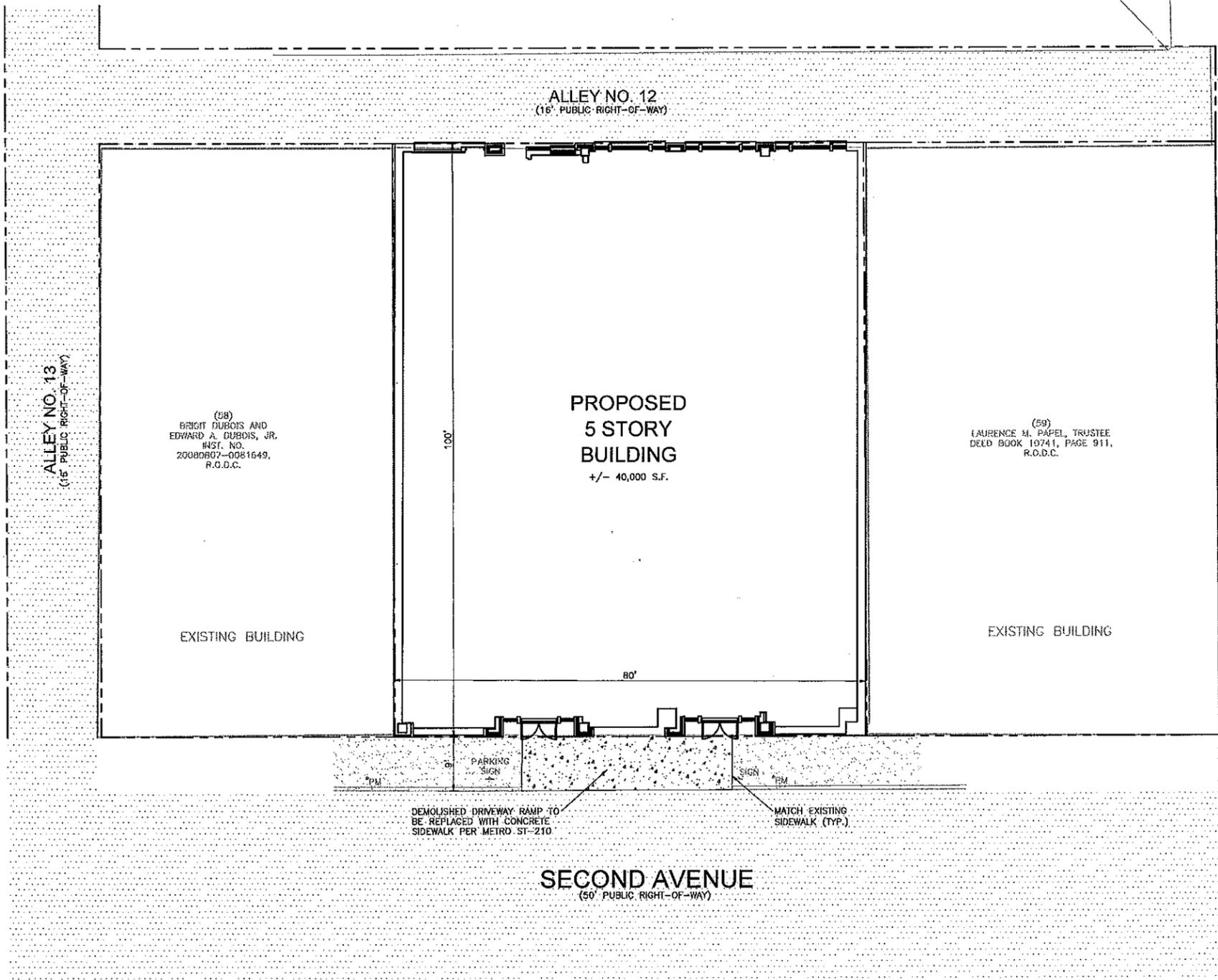
2 East (Alley) Elevation



3 South (Right Side) Elevation



4 North (Left Side) Elevation



SITE DATA:

PROPERTY INFORMATION:
 STREET ADDRESS: 120 SECOND AVENUE NASHVILLE, TN 37203
 COUNCIL DISTRICT: 19
 TAX MAP: 83-06-4
 PARCEL: 101
 LOT SIZE: 0.18AC.± (8,000 S.F.)

OWNER REPRESENTATIVE:
 MR. FRANK C. MAY
 233 ENSORTH AVENUE
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 (615) 491-8876

ARCHITECT:
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 MARK L. ROBIN ARCHITECT
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 NASHVILLE, TN 37208
 (615) 244-8591
 BSLAYDEN@RAGANSMITH.COM

ZONING INFORMATION:
 ZONING CLASSIFICATION:
 PROPERTY IS ZONED DTC (DOWNTOWN CODE), WITH THE FOLLOWING:
 MDH-RH (RUTLEDGE HILL REDEVELOPMENT DISTRICT)
 OV-UZO (URBAN ZONING OVERLAY)
 OV-HPL (HISTORIC PRESERVATION OVERLAY DISTRICT)
 OV-ADE (ADULT ENTERTAINMENT OVERLAY).

BUILDING SETBACKS:
 FRONT: N/A
 SIDE: N/A
 REAR: N/A

PROJECT INFORMATION:
 EXISTING USE: PARKING LOT
 ALLOWABLE BLDG. HEIGHT: --
 PROPOSED BLDG. HEIGHT: 86' @ ROOF & 94' @ PENTHOUSE
 PROPOSED BLDG. SQUARE FOOTAGE: +/- 40,000 S.F.

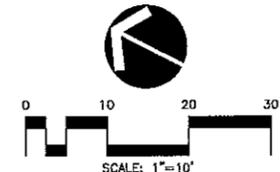
SURVEY INFORMATION:
 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY BARGE, WAGGONER, SUMNER & CANNON, INC. DATED AUGUST 29, 2013

FLOOD INFORMATION:
 FEMA MAP #: 4700400217F
 EFFECTIVE DATE: APRIL 20, 2001
 BASED UPON A GRAPHIC SCALE A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470040, PANEL NO. 0217 F, DATED APRIL 20, 2001.

PAVEMENT LEGEND

- PROPOSED CONCRETE WALK
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE WALK

IF YOU DO TENNESSEE...
 CALL US FIRST!
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 1-615-366-1987
 TENNESSEE ONE CALL
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 NASHVILLE, TN 37203
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PRELIMINARY
 NOT FOR
 CONSTRUCTION

120 SECOND AVENUE SOUTH
 FOR
 120 SECOND AVENUE, LLC

URBAN SERVICE DISTRICT, NINETEENTH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	9889
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1"=10'
DATE:	MAR. 12, 2014
REV. NO.	01/16/15 (RHS) REV. PER. CLIENT REVIEW
REVISIONS	

SITE LAYOUT
 PLAN

C1.1