



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1516 16th Avenue South
April 15, 2015

Application: New construction - addition
District: South Music Row Neighborhood Conservation Zoning Overlay
Council District: 19
Map and Parcel Number: 10408032500
Applicant: Michael Ward, architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to demolish an existing rear dormer and rear uncovered deck, and to enlarge the house with a rear addition.

Recommendation Summary: Staff recommends approval of the proposed dormer addition, stairs, and ramp, finding the proposal to meet the applicable sections of design guidelines for the South Music Row Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- When an addition ties into an existing roof it should be at least 6" below the existing ridge.*
- Generally an addition should be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:
 - An extreme grade change*
 - Atypical lot parcel shape or size*In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Rear & Side Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form

b. An addition shall connect to the associated building in such a way that the original form of the building is visually evident.

c. The creation of an addition through enclosure of a front porch is not appropriate.

The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. An addition shall be compatible by not contrasting greatly with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.

e. New additions shall follow the guidelines for new construction.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The building at 1515 16th Avenue South is a one and one-half story Craftsman style house, constructed circa 1924. The exterior walls of the house are clad with Crab Orchard stone. Because of its age and architectural character, it is considered to be contributing to the historic character of the neighborhood.

Analysis and Findings: The applicant proposes to demolish an existing rear dormer and rear uncovered deck, and to enlarge the house with a rear addition.

Demolition: Although the existing dormer is likely an early addition, because it is on the rear it is not visible from the front and does not contribute significantly to the historic character of the house. The rear deck is not original. As these elements do not contribute to the historic character of the house, Staff finds that their demolition meets design guideline Section III.B.2 for appropriate demolition and do not meet section III.B.1 for inappropriate demolition.

Location & Removability: The addition will include a new rear dormer and a one-story rear covered porch, with exterior stairs to both and a ramp to the porch. The dormer will

sit in from the side walls of the house by two feet (2') on both sides, as is typical of dormer additions historically. The dormer will tie into the roof at the ridge, as does the existing rear dormer, and will not be taller than the historic house. On the left side the deck will sit in six feet (6') from the side wall of the house and the stairs will sit in two feet (2'). On the right side, the stairs will extend out seven feet (7') to the side of the house and the ramp will extend out sixteen feet (16'). Although additions wider than an historic house are generally discouraged, Staff finds these elements to be appropriate because they will be open in nature, and because the lot is wider than average to the right side of the building. Additionally, the commercial/institutional base zoning of the district has specific accessibility and egress requirements that would not be met otherwise.

Staff finds that the project meets sections II.B.2.a and II.B.2.b of the design guidelines.

Design: The addition will tie into the existing house at the roof ridge, as does the existing rear dormer that will be demolished, and will sit in from the side walls of the house by two feet (2') on both sides as is typical of dormer additions historically. The roof of the new porch will sit in in six feet (6') from the left side of the historic house and extend eleven feet (11') to the rear. This porch will be open in nature, as will the uncovered exterior stairs and ramp. The materials of the dormer will be compatible with those of the existing house, including cement-fiberboard clapboard siding and an asphalt shingle roof. The porch columns, stairs, and ramp will be wood. Staff finds the design and materials to be compatible with the historic house, and that the project meets sections II.B.2.d and II.B.2.e of the design guidelines.

Setback & Rhythm of Spacing: The addition and stairs will meet the setback requirements, and because they are open in nature will not significantly impact the perceived rhythm of spacing between 1515 16th Avenue South and the adjacent historic buildings. The ramp, although it will extend to within three feet (3') of the right side property boundary, is a permitted setback obstruction. Staff finds the project to meet section II.B.1.a of the design guidelines.

Materials: No changes to the historic house's materials were indicated on the drawings. The dormer addition will primarily be clad in smooth face cement fiberboard with a reveal to match that of the historic house. The trim will be wood and the roof will be architectural fiberglass shingles in a color to match the existing roof. The new rear porch columns, stairs, and ramp will be wood. Staff finds that these materials meet section II.B.1.g of the design guidelines.

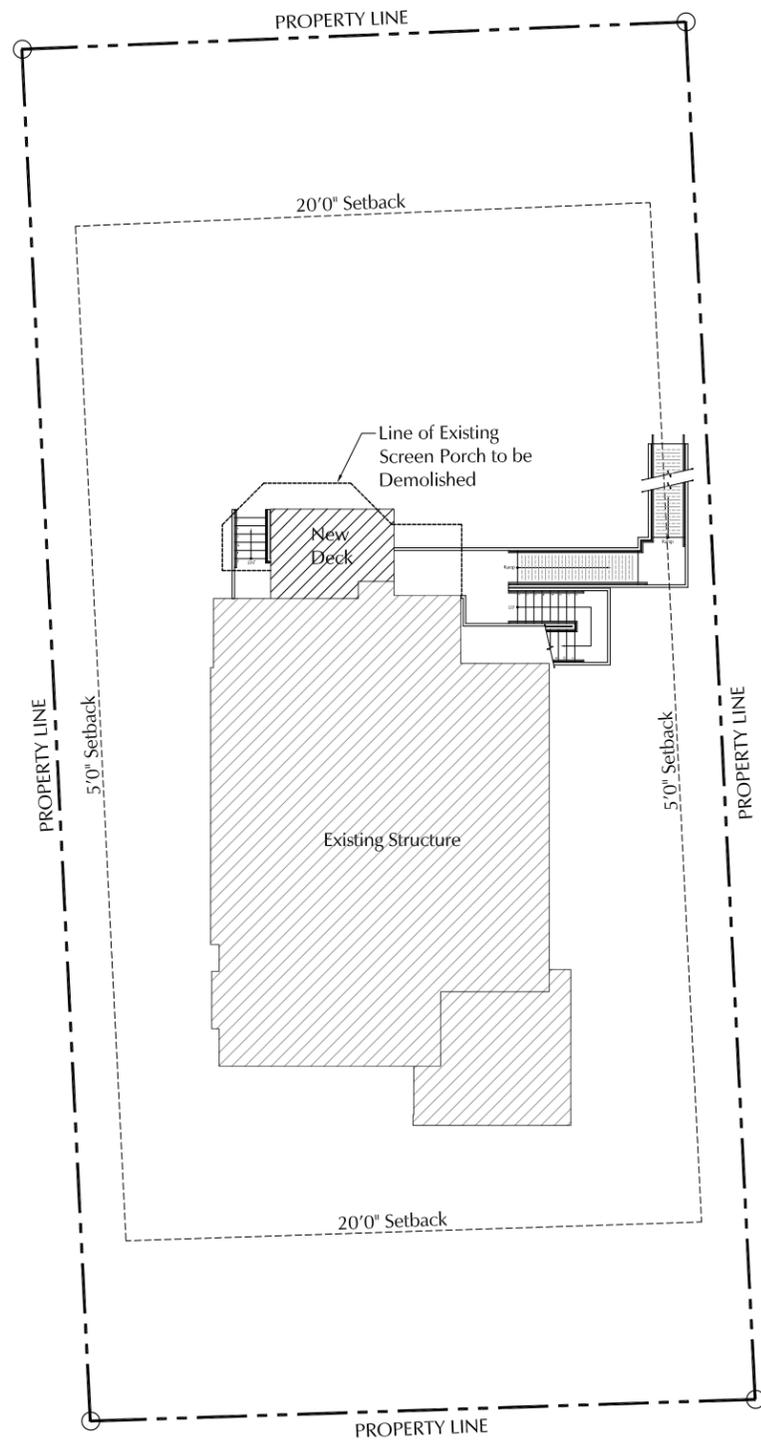
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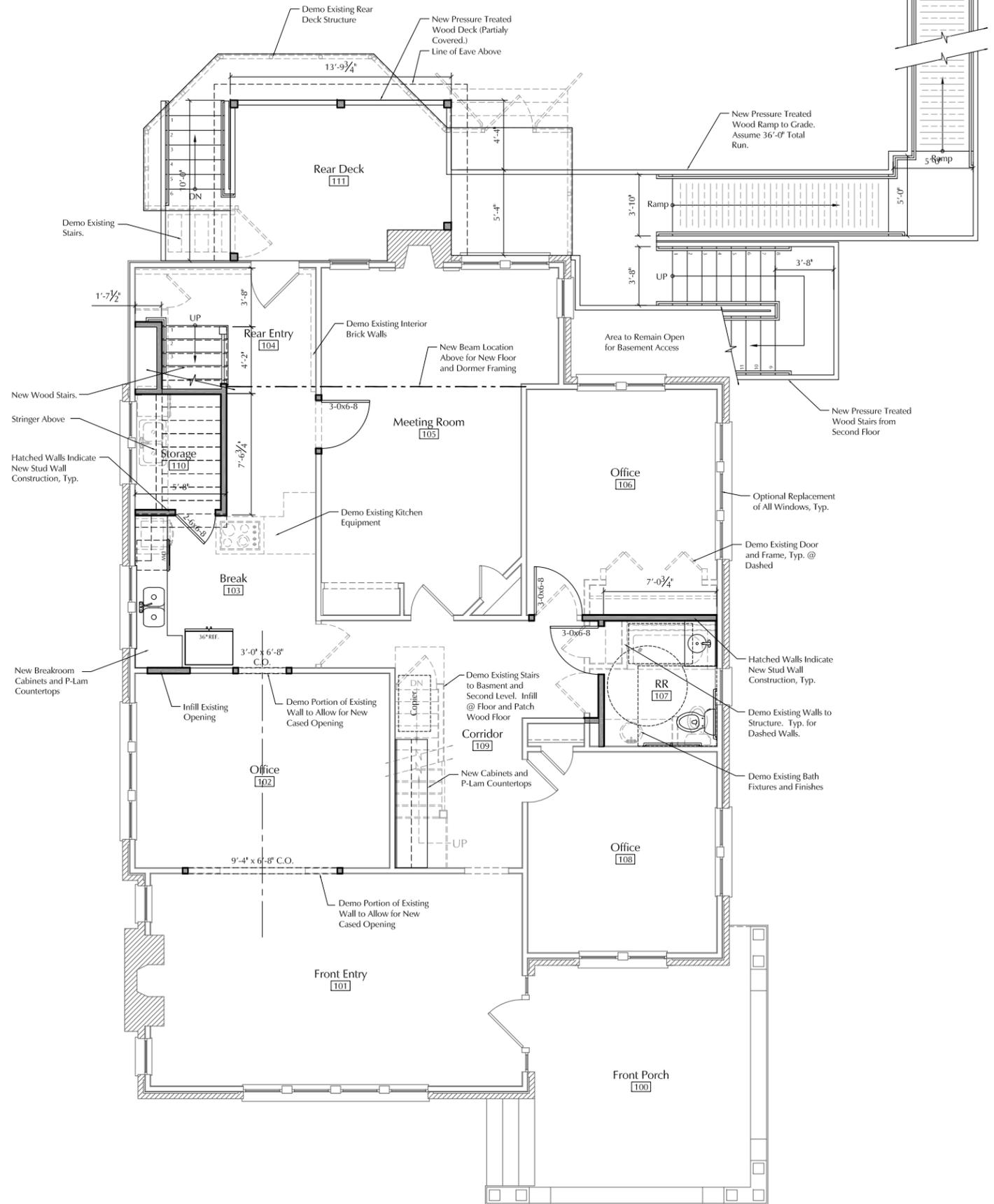
1515 16th Avenue South, front. Photo circa 1997.



1515 16th Avenue South, front. Photo circa 1985.



2 Site Plan
 Scale: 1" = 20'-0"



1 First Floor Plan
 Scale: 1/8" = 1'-0"

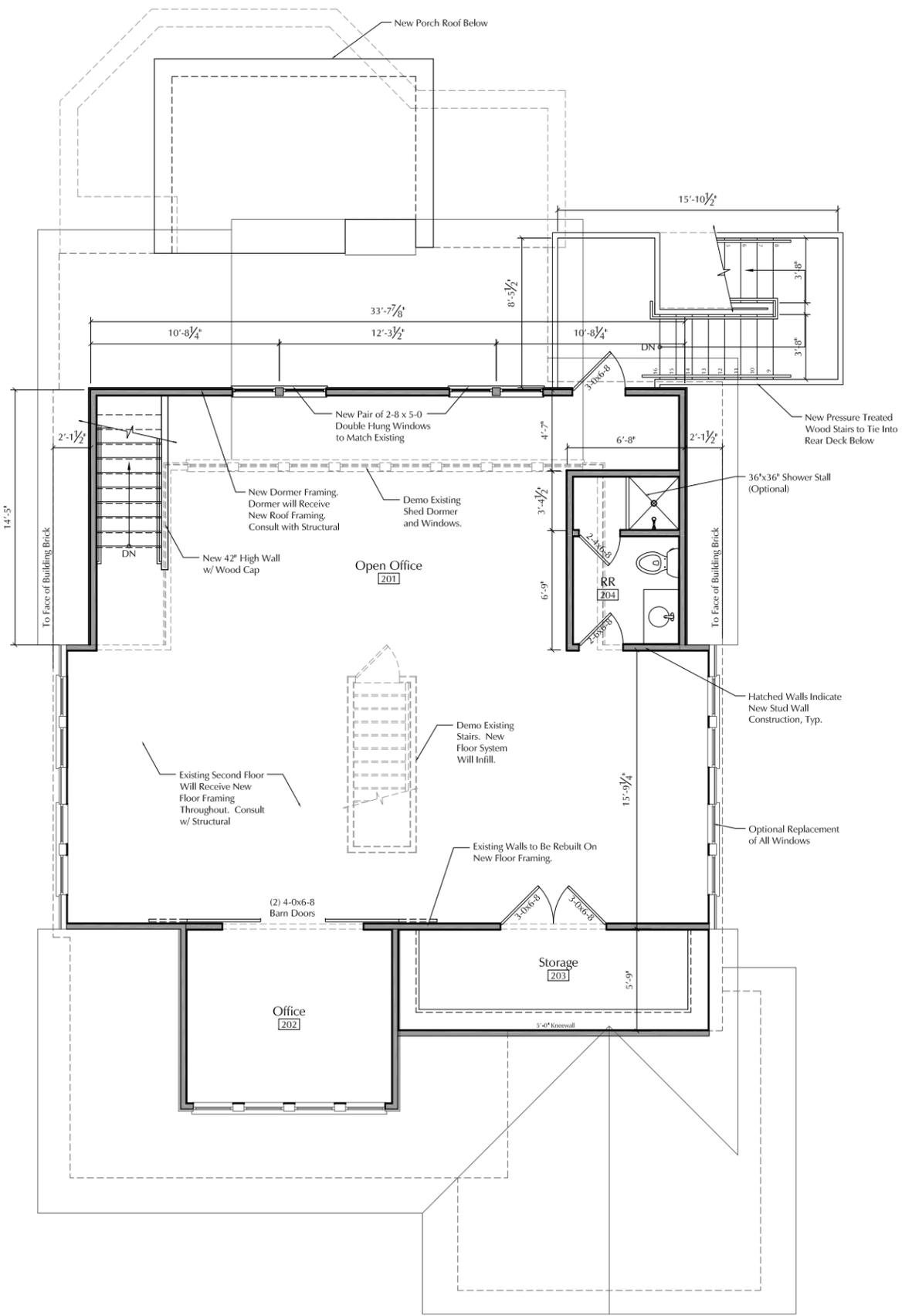
Addition and Renovations to:
YoungLife
 1515 16th Avenue South
 Nashville, Tennessee 37212

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 First Floor Plan and Site Plan
 Date: 03.30.15

A1.1

MHZC PRESERVATION PERMIT APPLICATION





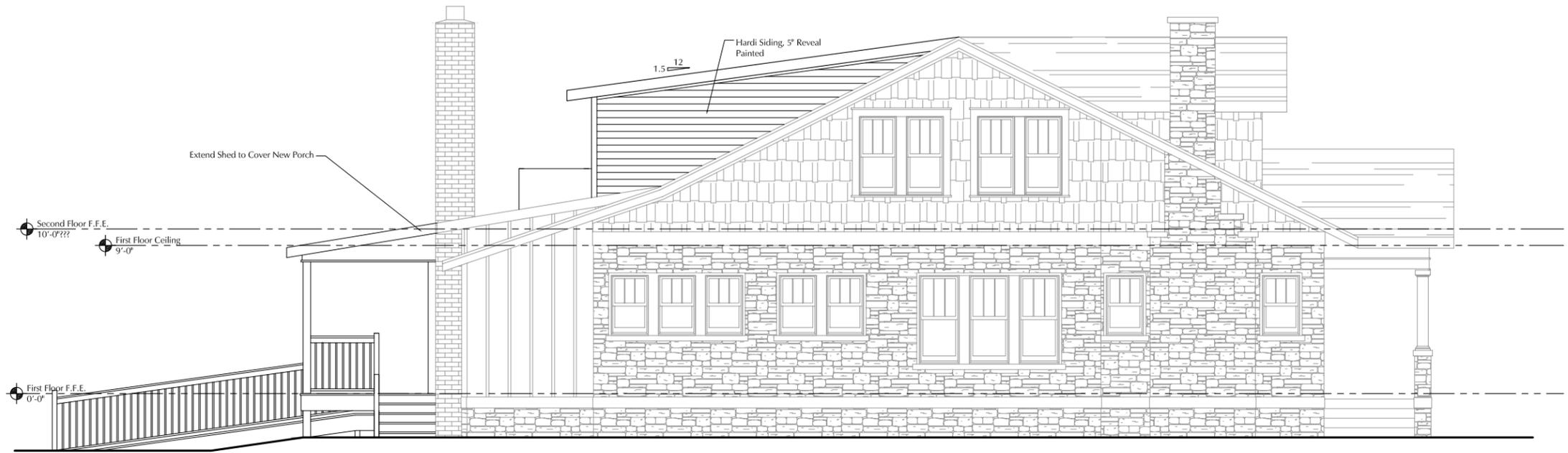
Second Floor Plan
 Scale: 1/8"=1'-0"

Addition and Renovations to:
YoungLife
 1515 16th Avenue South
 Nashville, Tennessee 37212


ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011
 allardward.com

Drawings:
 Second Floor Plan
 Date:
 03.30.15





2 South Elevation
 Scale: 1/8" = 1'-0"



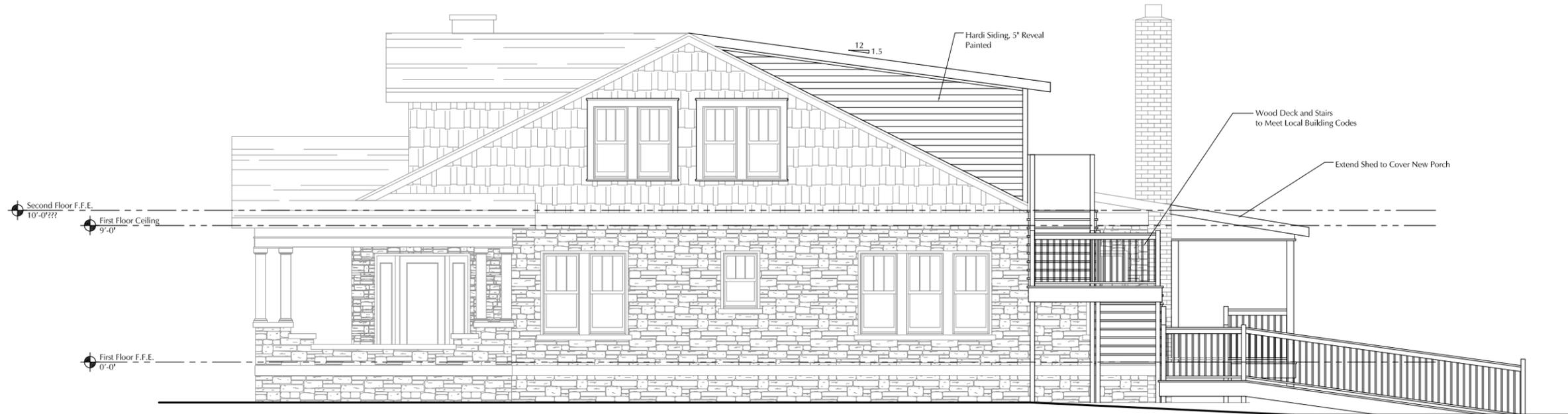
1 East Elevation
 Scale: 1/8" = 1'-0"

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 Nashville, Tennessee 37212

ALLARD WARD
 ARCHITECTS
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 Fax: 615.345.1011
 allardward.com

Drawings:
 Elevations
 Date:
 03.30.15

A2.0



② North Elevation
 Scale: 1/8"=1'-0"



① West Elevation
 Scale: 1/8"=1'-0"

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