



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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## STAFF RECOMMENDATION 222 3<sup>rd</sup> Avenue North April 15, 2015

**Application:** New construction-addition; Alterations  
**District:** Second Avenue Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 09302315900  
**Applicant:** Brent Houck, AIA  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

**Description of Project:** The project includes a rooftop addition, new storefronts, signage and alterations to the historic building. Alterations to the alley itself, such as the outdoor seating area and lighting are not a part of this review at this time, as the Downtown Partnership is working on an overall design for the alley. The applicant may return for a new permit for alley alterations once the design of the alley has been finalized.

**Recommendation Summary:** Staff recommends approval with the conditions that:

- Applicant seeks administrative approval of materials and methods for cleaning and repair of masonry;
- No lighting be integrated into awnings; and
- Applicant seeks administrative approval of materials to replace the materials on the plan shown as EIFS and Krion.

With these conditions, the Staff finds the project meets the design guidelines for additions and alterations in the Second Avenue Historic Preservation Zoning Overlay.

### Attachments

- A:** Photographs
- B:** Site Plan
- C:** Elevations



## **Applicable Design Guidelines:**

### **II. Rehabilitation**

#### **A. Guidelines: Storefronts**

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.
4. Original entrances configuration, plane, recess and other visual qualities should be retained.

#### **B. Guidelines: Doors and Entryways**

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to bulkheads.
4. Ornamental, frosted, or stained glass in front doors are generally not appropriate, except where incorporated into window graphics and/or business identity.
  5. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
  6. Glass used in replacement doors should be clear.
7. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

#### **C. Guidelines: Display Windows**

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

#### **D. Guidelines: Transoms**

1. Original transoms and their component elements should be retained.
2. Deteriorated or damaged transoms should be repaired using historically appropriate materials.
3. If replacement transoms are necessary, replacements should replicate the original. If original transoms do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include single or multi-light clear-glass panes and simple wooded or metal frames.
5. Historic transoms should remain visible and not be covered or enclosed.

### **E. Guidelines: Bulkheads**

1. Original bulkheads and their component elements should be retained.
2. Deteriorated or damaged bulkheads should be repaired using historically appropriate materials.
3. If replacement bulkheads are necessary, replacements should replicate originals. If original bulkheads do not exist, replacements should be appropriate for the building's style and period of construction.
4. Appropriate replacement elements include paneled and painted wood, brick, and metal.
5. Historic bulkhead materials should remain visible, not concealed beneath added materials.

## **Upper Facades**

### **General Principles**

Original appearance and details of upper-story facades should be retained.

If repairs are needed, it should use historically appropriate materials and methods.

Replacements to facades should be in keeping with the style and period of the building.

The use of contemporary materials for the replacement elements of facades may be appropriate if they possess characteristics similar in scale, design finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*.

Interior changes that affect the exterior appearance of upper facades including lowering ceiling heights or raising floor levels should be avoided.

### **H. Guidelines: Windows**

1. Original windows and window openings, including dimensions, sash, (configuration, number and arrangement of panes), materials, and detailing (sills, lintels, and decorative hoods) should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials.
3. If replacement windows or window surrounds are necessary, replacements should replicate originals. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum, or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building. Multi-pane windows should be true or simulated divided lights with a spacer bar between the glass. Snap-on or between the glass muntins are inappropriate.
5. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
6. Window grills, balcony rails, and shutters are not appropriate window treatments.
7. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building.
8. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
  9. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.

### **I. Guidelines: Walls**

1. Original walls, including size and location of openings, recesses, detailing, and ornamentation should be retained. The plane of the exterior wall shall be retained.
2. Balconies should not be added to public facades.
3. Decorative elements such as cornices, brick corbelling, arches, brackets, terra cotta detailing and any other original wall detail shall not be altered.
4. New decorative elements should not be added where none existed.

### **J. Guidelines: Brick, Stone, and Other Masonry**

1. Original brick and brick pattern should be retained..
2. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is

appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.

3. Silicone-based water sealants are not recommended for use on historic masonry.
4. Historic masonry should remain visible and not be concealed or obscured.
5. Where brick is deteriorated, replacement may be appropriate. When replacement is approved, new brick shall be of the same color, textures, and size; new brick shall be laid in the same pattern as the original, with similar joints, tooling and mortar as the original.
6. Repointing with a hard (Portland cement) mortar is destructive to historic brick and masonry. Flexible mortar, made from mixing hydrated lime cement and natural sand, should be used when repointing is necessary.
7. Mortar used in repointing should match the historic mortar in width, depth, color, raking profile, composition, and texture.
8. Brick shall not be sandblasted or cleaned in an abrasive manner. Sandblasting accelerated deterioration of the brick and allows moisture to penetrate the brick.
9. Painting of brick may be appropriate if: brick has previously been painted; or brick is too deteriorated to withstand weather. A red brick stain, approximating the original color of the building's brick should be used.
10. Painting of stone, terra cotta, or glazed brick is not appropriate.

#### **K. Guidelines: Decorative Elements**

1. Original decorative elements such as cornices, brick corbelling, arches, brackets, and detailing should be retained without alteration.
2. Deteriorated, damaged, or missing decorative elements should be repaired using historically appropriate materials. Replacement of decorative elements that are missing or unable to be repaired and located on upper facades may use modern materials if the material matches the original in design, texture and workability.
3. Owners should not add decorative elements to a building, unless there is physical or pictorial evidence.
4. Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

#### **L. Guidelines: Roofs and Chimneys**

1. Original roof configuration, including coping, parapets, and materials should be retained.
2. Appurtenances related to outdoor use of roofs, including elevator shafts, railings, canopies, and any other elements visible from the street, should be compatible with the building and should not obscure character-defining features. Guidelines for brick and mortar should be followed for chimney maintenance.
3. Appropriate roof coverings include standing seam metal, composite asphalt, rolled roofing, and rubber membrane roofing. Most rooflines in the Second Avenue district are flat or sloped. These roof forms should not be altered unless based on historical documentation.
4. Roof mounted mechanical units should be located so as to be inconspicuous from street level.
5. Roof additions if approved, should be located so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

### **PAINT**

#### **General Principle**

The painting of wood and metal surfaces is not reviewed by the MHZC. The painting and staining of masonry (brick and stone) are reviewed by the MHZC. Unless needed to cover mismatched or damaged masonry, or as a preservation measure for pitted brick, masonry not previously painted or stained should remain unpainted and unstained.

### **REAR ELEVATIONS**

#### **General Principle**

Rear elevations are service-oriented, and are an appropriate place for infrastructure elements such as gutters and downspouts, mechanical systems, and fire stairs. Despite their less public nature, original materials and features should be preserved and maintained.

**N. Guidelines: Rear Elevations**

1. Generally, original materials and features on rear elevations should be preserved and maintained.
2. The appearance of rear elevations can be enhanced through the screening of infrastructure elements and the use of signage and awnings.
3. Rear elevations are appropriate locations for mechanical systems, meters and fire stairs.

**O. Guidelines: Gutters and Downspouts**

1. Generally, gutters and downspouts should not be located on the public façades of buildings. Such elements should be installed on the rear elevations of buildings.
2. The installation of gutters and downspouts should not result in the removal or obstruction of historic building elements.

**P. Guidelines: Mechanical Systems**

1. Equipment such as condensers, air conditioners, meters, and conduits should not be visible from the street. Rear elevations and roof locations that are not visible from the public rights-of-way are appropriate locations for this equipment.
2. The installation of mechanical systems should not result in the removal or obstruction of historic building elements.
3. Landscape elements such as fencing or low masonry walls should be used to shield ground-level equipment from view and still allow service access.

**Q. Guidelines: Fire Escapes**

1. Fire escapes should be located on rear elevations, with the exception of First Avenue. Their installation on public facades is not recommended.
2. Fire escapes may be either open or enclosed as required by fire codes.
3. If enclosed, their surfaces should be of wood siding, brick veneer, or stucco.
4. If open, they should be of metal or wood.

**AWNING & CANOPIES**

**General Principle**

Awnings may be appropriate when located within existing window and storefront openings and are consistent with the overall character of the building in terms of type, size, placement, color and material.

Canopies, including marquees, may be appropriate if such design is architecturally compatible with the overall storefront design in terms of size, location, color, and material, and does not detract from the character of the building.

**S. Guidelines: Canopies**

1. Canopies should not obscure windows or architectural details.
2. Canopies should be constructed of materials compatible with the storefront of the building, such as metal and wood.
3. Lighting and signage on canopies shall be consistent with guidelines for signage and awnings.

**LIGHTING**

**General Principle**

Light fixtures should be as simple and unobtrusive as possible.

**T. Guidelines: Lighting**

1. If lighting is installed, it should be concealed or simple and unobtrusive in design, materials, and relationship to other façade or elevation elements.
2. Light should be directed toward the façade instead of outward. Building facades may be illuminated through uplights mounted above the storefront cornice.
3. Dark metals are appropriate materials for light fixtures.
4. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent bulbs are not appropriate.

## **NEW CONSTRUCTION**

### **General Principles**

These guidelines shall apply only to the exteriors of buildings and to areas of lots visible from public rights-of-way.

The public facades – street related elevations – of proposals for new buildings shall be more carefully reviewed than other facades.

New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

Because new buildings usually relate to an established pattern and rhythm of existing buildings, the dominance of that pattern and rhythm must be respected and not disrupted.

In the case of planned new construction between buildings of equal height or varying heights, an individual judgment will be made by the MHZC as to the compatibility of the design.

Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located within the boundaries of the historic district if: the building would have contributed to the historical and architectural integrity of the area; if it will be compatible in terms of style, height, scale, massing and materials with the buildings immediately surround the lot on which the reproduction will be built; and it is accurately based on pictorial documentation.

### **F: Guidelines: Relationship of Materials, Texture, Details, and Material Color**

1. The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.
2. Masonry materials were primarily used in the historic district, and should continue to be predominant. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems (EIFS) and vinyl are not appropriate exterior materials.
3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

### **H: Guidelines: Additions to Existing Buildings**

1. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.
2. Additions should not be made to the public facades of existing buildings.
3. Additions should not contribute to the loss of, or obscure, historic character-defining features or materials.

4. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
5. Rooftop additions should not exceed one story in height (or 15') and should be set back a minimum of 30 feet from the Second Avenue façade of the building, 10 feet from First Avenue, and 20' from a secondary street if it is a corner building

*Rooftop railings should set back from each street facing wall by 8'.*

*Railings should not be used to support additional elements such as speakers, lighting, plants or signage.*

*In locations where railings are visible from the street, the materials should minimize the impact of the railing. Materials such as butt-joint glass or horizontal steel cable, may be appropriate.*

## **IV.SIGNAGE GENERAL STANDARDS**

### **Materials**

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

### **Building Façade and Street Frontage Measurement**

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

### **OTHER SIGN TYPES**

#### **Non Street Facing Signs**

Non street-facing building facades and alley frontages, not otherwise regulated, are allocated 1 square foot of sign area per 1 linear foot of building façade, to a maximum of the sign area permitted for the primary street frontage.

#### **Building Sign: Wall Sign**

##### **Description**

- A wall sign is a building sign that is attached flat to, or mounted away from but parallel to, the building façade.
- A wall sign may be painted on the building façade, in some instances, as a modification.

##### **General Provisions**

- A wall sign shall be located lower than the window sills of the top floor for multi-story buildings.
- No portion of a wall sign may extend above the roof line or above a parapet wall of a building with a flat roof.
- No portion of a wall sign may extend above the lower eave line of a building with a pitched roof.
- A wall sign cannot cover windows or architectural details.
- An exposed raceway shall be finished to match the background wall or be integrated into the overall design of the sign.
- A wall sign can be externally or internally illuminated in accordance with the section on Illumination.

##### **Design Standards**

- A** Overall area allocation (max)--see allocation of sign area
- B** Projection (max)--2 inch OR 13 inches for internally lighted or neon signage
- C** Exposed Raceway height--50% of the letter height, OR if the Raceway is used as the sign background, the Raceway may extend 3 inches beyond the largest part of the sign. Refer to

Illumination section for additional raceway standards and permitted locations.

### **Building Sign: Shingle Sign**

#### **Description**

A single sign is a smaller building sign that projects outward, typically at a ninety degree angle, and hangs from a bracket or support that is located over or near a building entrance.

#### **General Provisions**

- Signs shall be located within 8 feet of an active pedestrian building entrance. This does not include service entries or entries that primarily remain locked.
- An active pedestrian entrance at the corner of a building is allowed signs on both streets.
- A shingle sign shall be located below the window sills of the second story.
- A shingle sign shall not be internally illuminated.
- A shingle sign cannot cover windows or architectural details.

#### **Design Standards**

- A** Area (max)—9 square feet
- B** Height (max)—3 feet
- C** Spacing from façade (min)—6 inches
- D** Width (max)—3 feet
- E** Depth (max)—6 inches

#### **Illumination**

Illumination of signs shall be in accordance with the following requirements:

##### **External Illumination**

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

##### **Internal Illumination**

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

##### **Prohibited Light Sources**

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting.
- Bare bulb illumination.

##### **Raceways and Transformers**

- Visible transformers are prohibited.

Changeable copy signs shall be in accordance with the following requirements:

#### **VI. Demolition**

##### **Demolition is inappropriate:**

1. if a building, or major portion of a building, contributes to the architectural or historical significance or character of the district; or if a building, or a major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

**Demolition is appropriate:**

1. if a building, or a major portion of a building, does not contribute to the historical or architectural character and importance of the district; or
2. if a building, or a major portion of a building, has irretrievably lost its architectural and historical integrity and importance and its removal will not result in a more historically appropriate visual effect on the district; or
3. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended of the historic zoning ordinance.
4. *Demolition is considered the removal of any structure or portion of a structure which affects the visual appearance of the building from the exterior, including removal of floors or sections of the building which are enclosed by the original façade.*

**Background:** 222 3<sup>rd</sup> Avenue North (225 Second Avenue North) is a contributing building in the Second Avenue Commercial District, was listed in the National Register of Historic Places in 1972 and is in the Second Avenue local historic preservation zoning overlay. The existing storefronts are not original.

*Victorian Memories...A Study of Second Avenue North* by Lee Ann Thornton describes the building as a “massive six story structure with entrances on both Second and Third Avenues” that is a “turn-of-the-century example of the style of architecture originating in Chicago.”

Characteristics of this school are the glass-filled façade and the third through fifth story window grouping within tall brick arches. The property upon which this building is situated was purchased in the three large parcels by Gray & Dudley Hardware Co. between 1889 and 1899. The following year Nashville in the 20<sup>th</sup> Century, issued by the Chamber of Commerce, presented the Gray & Dudley Co. Having been incorporated in 1885 the company boasted twenty-five salesmen “on the road” east of the Mississippi and south of the Ohio. The firm’s newly completed Market Street establishment was described as “the largest business house ever built in the city.” Constructed “entirely of steel, pressed brick, and stone” it contained all of the firm’s offices, a retail department, a catalogue department, a wholesale packing room, a sample room, a cutlery room, and four floors of storerooms (Thornton, 57).

The project includes a rooftop addition, new storefronts, signage and alterations to the historic building. Alterations to the alley itself, such as the outdoor seating area and lighting are not a part of this review at this time, as the Downtown Partnership is working on an overall design for the alley. The applicant may return for a new permit for alley alterations once the design of the alley has been finalized.

**Analysis and Findings:**

Demolition: Demolition of the building is primarily interior, and, as so, not reviewed by the Commission. Partial-demolition includes removal of side wall material for new windows and slight alterations of the dimensions of some side-openings. The non-historic store-fronts will also be removed for new storefronts. Staff finds this level of demolition to be appropriate as the storefronts are not original and all other demolition is

of features that do not contribute to the architectural character of the building. Partial demolition meets section VI.1.

**Storefront:** The existing storefronts are not original. On the Third Avenue side the existing transom will be reinstalled and the storefronts on each side will be a simple open design since the original design is not known. The project meets section II.A-E.

**Windows:** The aluminum windows on the upper facades of the Second and Third Avenues will be repaired. New one-over-one windows, similar to the existing windows in material and dimensions will be added to the alley side elevation. Two sets of double doors on the alley, close to the Second Avenue side, will be replaced with windows, matching the replaced windows currently above them. Two windows on the alley, close to the Third Avenue side, will be replaced with a metal overhead door. Altering non-character defining openings to a different type of opening has been approved in the past. The project meets section II.H.

**Walls & Masonry:** All existing details will be repaired, where needed. The masonry will be cleaned and spot-tuckpointed. Staff asks for final review of materials and methods for cleaning and masonry repair. With this condition the project meets section II.I and J.

**Roofs & Chimneys:** Elements currently on the roof are not original and will be removed to accommodate a rooftop addition and new mechanicals. (See the analysis of “addition.”) The project meets section II.L.

**Paint:** The masonry is not proposed to be painted.

**Rear Elevations:** This building extends from Second Avenue to Third Avenue with storefronts on both sides. The true “rear elevation” is Bank Alley, which will include one roll-up door; otherwise the majority of service-oriented elements will be located on the rooftop. The current gutter locations will remain. The project meets sections II.N-Q.

**Awnings & Canopies:** Metal canopies will be added to the rooftop addition (see analysis of addition) and the new entrance on Bank Alley. The awning on Bank Alley will be a flat-metal awning just over the entrance. The plans state that lighting will be integrated; however, the applicant has told staff that is not the case. Without lighting beneath the awning, it meets section II.R.

**Lighting:** Exterior lighting was not proposed.

**Addition/Setbacks:** The rooftop addition meets the minimum thirty-foot (30’) setback from Third Avenue. The majority of the addition meets the minimum thirty-foot (30’) setback from Second Avenue. The stair enclosure, which is approximately twenty-two feet (22’) wide, compared to the overall width of approximately fifty-six feet (56’), is only sixteen feet (16’) from the front wall on Second Avenue. At its tallest point, the stair enclosure is approximately eight feet (8’) taller than the parapet wall on Second

Avenue. Staff finds this to encroachment into the setback area to be appropriate due to the height of the building and the minimal width and height of the stair enclosure.

Including the projecting canopy of the addition, the alley-side setback is fourteen feet (14'). The design guidelines do not specify an alley-side setback but they do require at least twenty-feet (20') from a secondary street. Since this is just an alley, which is narrower than a street and because of the height of the building, staff finds that the setback will result in the addition being minimally visible from the public right-of-way. The railing on the alley-side sits back the eight feet (8') required by the design guidelines.

**Addition/Height:** The height of the addition varies. The bulk of it is approximately twelve feet (12') tall from the parapet wall, which is below the maximum of fifteen feet (15') allowed by the design guidelines. Portions of the addition, primarily mechanicals, extend as much as eighteen feet (18') from the parapet wall. Because these intrusions are small in scale and sit further back from the parapet wall than the primary wall of the addition, and because of the tall height of the building, which will minimize views of the addition, staff finds the additional height to be appropriate.

**Addition/Materials:** The cladding materials for the rooftop addition include part stucco and parged CMU and IPE wood cladding with zinc coping. IPE has only been allowed as an accent material. Since the addition will likely not be visible, Staff finds it is an appropriate material in this situation. Openings will have an aluminum folding glass wall. The rooftop will include aluminum skylights, a metal sunshade and clear glass railing. One elevation mentions EIFS, which is inappropriate and not been allowed on past projects.

New construction includes a white plastic (Krypton paneling) to the right of the main entrance on Second Avenue. Because this material is not similar to the texture and details of historic masonry, the white color is not compatible with historic materials found in the district, and the location of the material is highly visible, staff finds that it should be replaced with a material appropriate for the overlay in order to meet section III.F. of the design guidelines. All the glazing, with the exception of the rooftop addition will be 100% clear, which is in keeping with section III.F.5. With the condition that appropriate materials be administratively approved to replace the EIFS and Krypton, Staff finds the project meets section III.F

**Signage:** The project includes two signs. One is a wall sign located on the pilaster to the right of the primary entrance on Second Avenue. The other is blade sign located at the alley entrance. This entrance also includes a lighted menu board.

The wall sign is back-lit metal that is approximately four square feet (4'), well under the maximum allotment for the building, approximately forty-three square feet (43 sq.ft). The blade sign on the alley elevation is also back-lit metal. Including the menu board, the two signs (approximately 7 square feet total) are well under the maximum allotment for alley frontage of approximately twenty-nine (29 sq.ft.) All locations and materials meet the design guidelines. The project meets section IV. for signage.

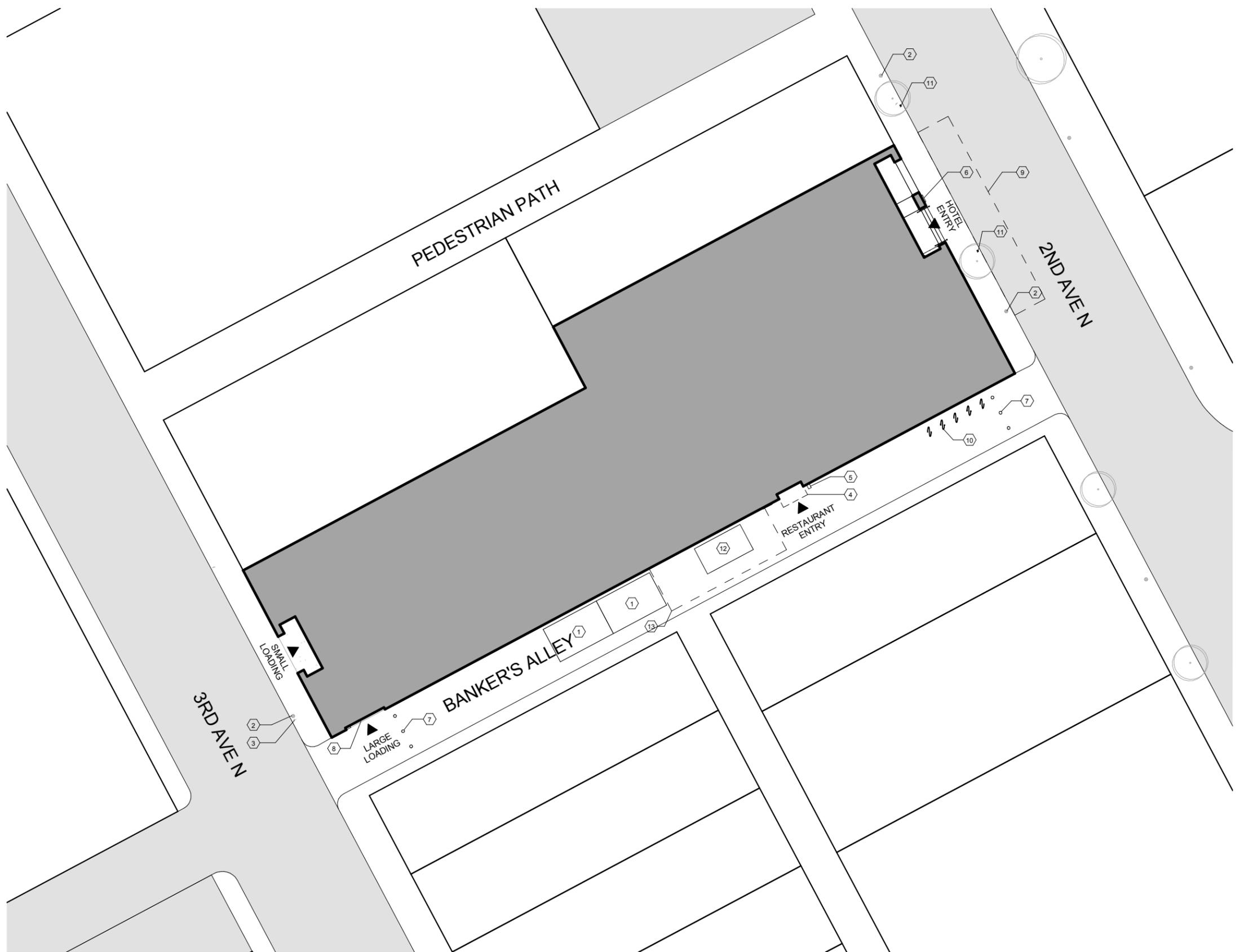
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- Applicant seeks administrative approval of materials and methods for cleaning and repair of masonry;
- No lighting be integrated into awnings;
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With these conditions, the Staff finds the project meets the design guidelines for additions and alterations in the Second Avenue Historic Preservation Zoning Overlay.

**SHEET KEYNOTES - SITE PLAN**

- 1 Existing lid over active utility vaults to remain.
- 1 Existing vault lid to remain.
- 2 Existing street lamp to remain.
- 3 Existing street sign to remain.
- 4 Entry Canopy.
- 5 Illuminated restaurant sign (see elevations).
- 6 Illuminated Hotel sign (see elevations).
- 7 Bollards.
- 8 Overhead coiling door (see elevations).
- 9 Dedicated lane three-car drop off area.
- 10 Bike Rack.
- 11 Remove existing parking meter.
- 12 Existing lid over inactive utility vault to remain.
- 13 Outdoor Restaurant seating area.



3/27/2015 3:52:02 PM

PERFIDO  
WEISKOPF  
WAGSTAFF +  
GOETTEL



**NASHVILLE**  
222 THIRD AVE  
NASHVILLE, TN  
MUSEUM HOTELS 21c NASHVILLE, LLC

ASSOCIATE ARCHITECT:  
**DEBORAH  
BERKE  
PARTNERS**  
220 FIFTH AVENUE  
NEW YORK NY 10001  
212 229 9211

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DATE 03/30/15

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SITE PLAN

1" = 30'-0"

**AS01**

SHEET KEYNOTES - DEMO PLANS

ITEMS TO REMAIN

- 1 EXIST GYP furring at perimeter MAS wall to remain. Disassemble adjacent wall construction to minimize damage to furring. Remove wallpaper from furring, where EXIST.
- 2 EXIST wall construction to remain.
- 3 EXIST CONC pad to remain.
- 4 EXIST CI Column, including decorative base and capital to remain.
- 5 EXIST SBS roofing to remain, UNO.
- 6 EXIST MAS chimney and MTL cap to remain.
- 7 EXIST MTL coping to remain.
- 8 EXIST gutter and RWC to remain.

NON-STRUCTURAL & MEP/FP DEMO

- 10 Remove MTL framing and GYP wall CONST.
- 11 Remove MTL framing and GYP wall CONST to expose WD/CI columns.
- 12 Remove MTL framing and GYP wall CONST as REQ'D to form new OPNG.
- 13 Remove chainlink partitions, gates, and structure completely.
- 14 Remove toilet partitions and mounting hardware completely.
- 15 Remove raised access floor and pedestal system completely.
- 16 Remove door(s), frame(s), and trim.
- 17 Remove interior GL lite.
- 18 Remove stair and associated framing, landings, and handrails.
- 19 Remove built-in casework, cabinets, counters, and shelves completely.
- 20 Remove completely all plumbing components including but not limited to fixtures, sanitary waste, vent, hot and cold water piping and branch pipes back to service entrance main. Remove existing meter and cap remaining service piping at street.
- 21 Remove completely domestic water heater including but not limited to pipes, fittings, connectors, and related equipment.
- 22 Remove completely all HVAC central plant equipment, except Cooling Tower, including but not limited to water source heat pumps, air handling units, condensing units, boilers, pumps, tanks, ductwork and piping, hangers and braces, except specifically noted otherwise. Any existing HVAC split systems must have the refrigerant evacuated for a "make safe" condition prior to demolition.

SHEET KEYNOTES - DEMO PLANS (CONT)

- 23 EXIST cooling tower to remain. Remove associated pipes, electrical circuits, valves, and all related equipment. Remove piping back to and including heat exchanger.
- 23 Salvage EXIST cooling tower. Remove associated pipes, electrical circuits, valves, and all related equipment. Remove piping back to and including heat exchanger.
- 24 Location of EXIST electrical equipment to remain. See ELEC DEMO drawings for scope of work.

STRUCTURAL/EXTERIOR DEMO

- 50 Remove MAS as REQ'D for new linteled OPNG.
- 51 Remove MAS as REQ'D to widen EXIST OPNG.
- 52 Remove WD and CONC floor STRUC to form new OPNG. See Structural Drawings for cutting of WD Joists/Beams where applicable.
- 53 Remove CONC slab-on-grade. Excavate as REQ'D for new elevator shaft construction.
- 54 Remove MTL column. Shore as REQ'D.
- 55 Remove roofing and STRUCT to form new OPNG.
- 56 Remove window.
- 57 Remove ALUM/GL storefront.
- 58 Remove windows and MTL trim to expose vertical MTL framing and lintel.
- 59 Remove elevator INCL cab, rails, and EQUIP.

SHEET KEYNOTES - DEMO ELEVATIONS

ITEMS TO REMAIN

- A Brick MAS to remain.
- B Stone Trim Units to remain.
- C Stone MAS to remain.
- D MTL and WD Cornice to remain.
- E PT Parged CMU to remain.
- F PT Stucco to remain.
- G WD paneled signboard to remain.

STRUCTURAL/EXTERIOR DEMO

- SA Remove door(s), frame(s), and trim.
- SB Remove window.
- SC Remove windows and MTL trim to expose vertical MTL framing and lintel.
- SD Remove ALUM/GL storefront.
- SE Remove ALUM/GL storefront. Salvage leaded GL panels for reinstallation.
- SF Remove louver and frame.
- SG Remove stair and associated framing, landings, and handrails.
- SH Remove MAS as REQ'D for new linteled OPNG.
- SI Remove parking sign and mounting hardware.
- SJ Remove exterior light fixture, including wiring, conduit, and mounting hardware.

GENERAL DEMOLITION NOTES

1. The non-structural demolition phase is to include comprehensive removal of all interior, non-structural construction & systems, UNO, down to the existing building core & shell. This should include, but is not limited to, complete removal of all interior non-structural partitions, ceiling systems (ACP or GYP), floor finishes, wall finishes, mechanical, electrical, plumbing & fire-protection systems, unless otherwise noted to remain.

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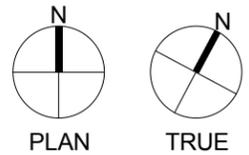
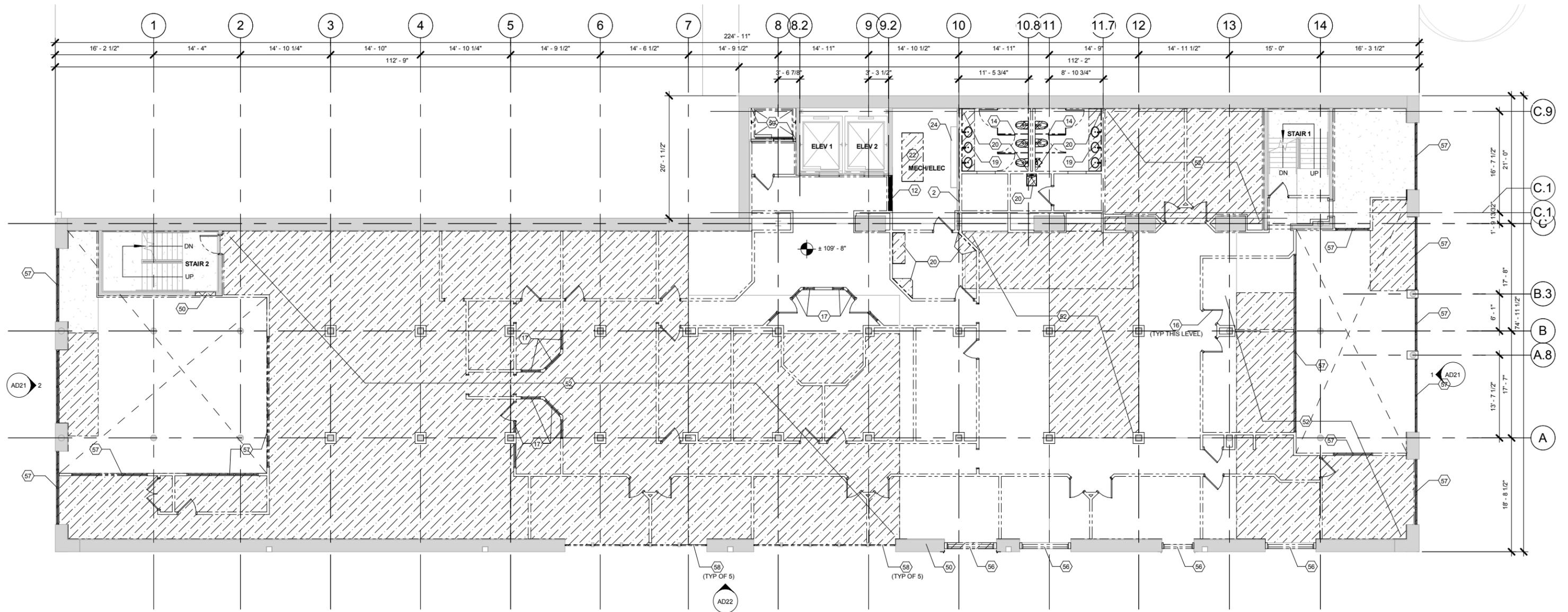


 <p><b>NASHVILLE</b> 222 THIRD AVE NASHVILLE, TN MUSEUM HOTELS 21c NASHVILLE, LLC</p>	<p>ASSOCIATE ARCHITECT: <b>DEBORAH BERKE PARTNERS</b></p>	<p>220 FIFTH AVENUE NEW YORK NY 10001 212 229 9211</p>			
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INTERIOR DEMOLITION  
NOTES  
NTS

**AD00**

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SECOND FLOOR  
DEMOLITION PLAN  
1/16" = 1'-0"

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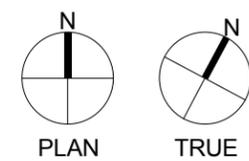
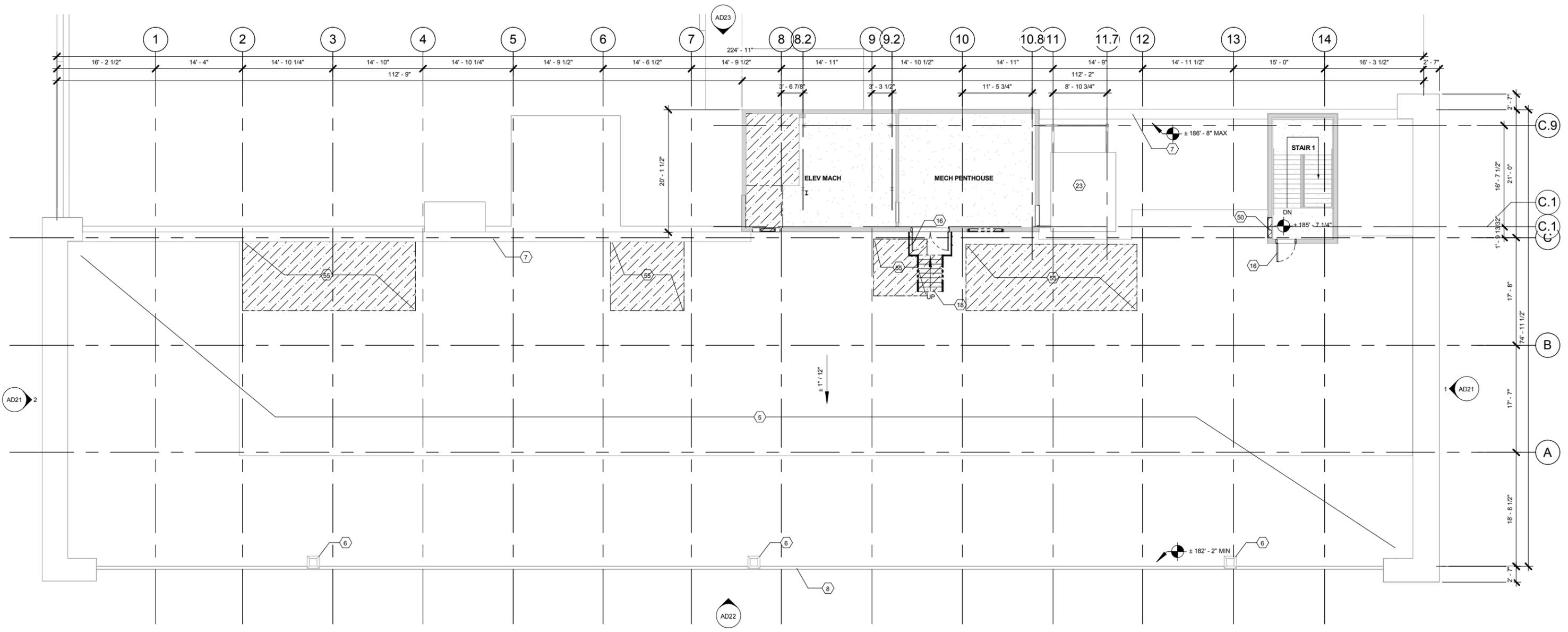
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ROOF DEMOLITION PLAN

1/16" = 1'-0"

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AD09



THIRD AVENUE (WEST) DEMOLITION ELEVATION | 2  
 1/16" = 1'-0" AD21



SECOND AVENUE (EAST) DEMOLITION ELEVATION | 1  
 1/16" = 1'-0" AD21

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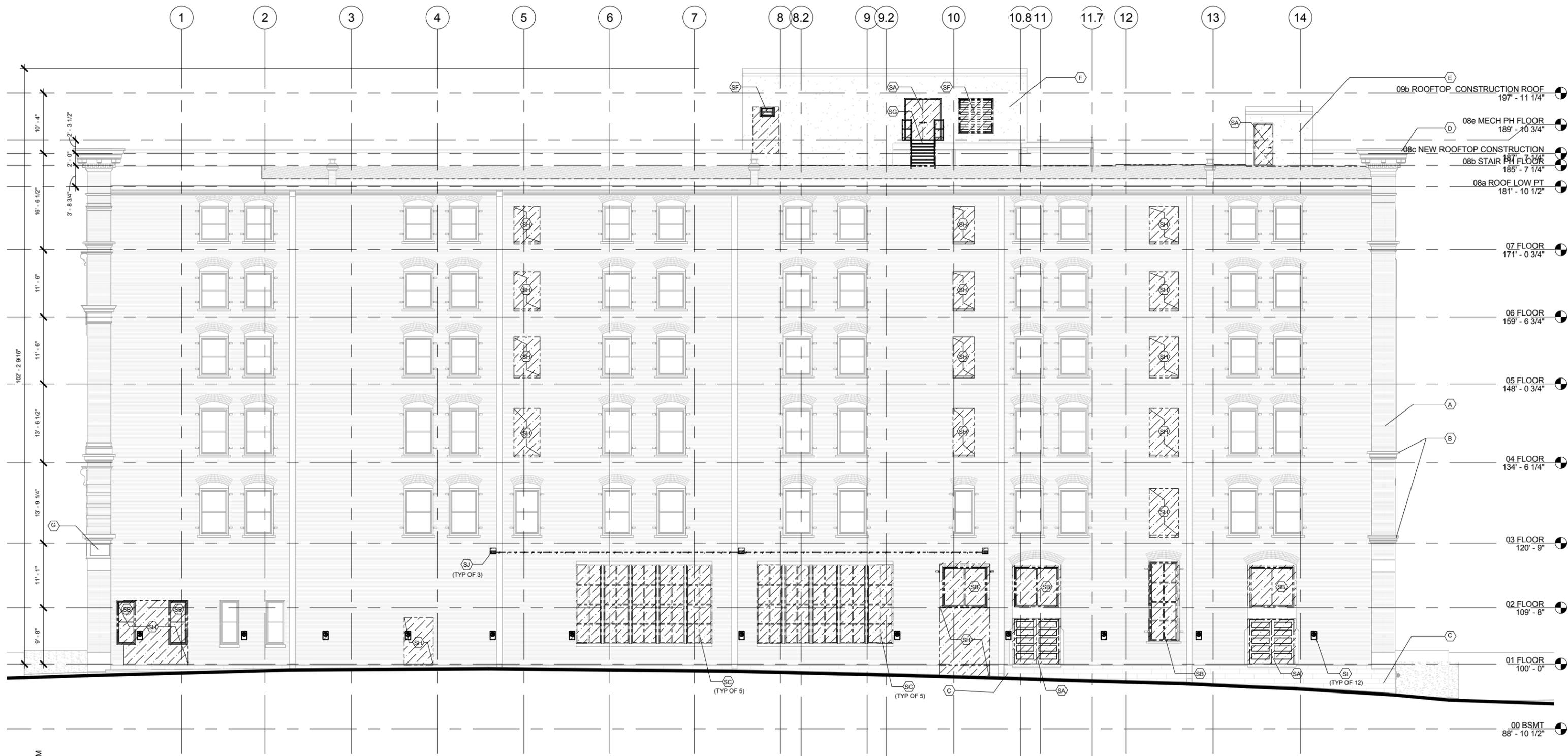
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EXISTING BUILDING  
 ELEVATIONS  
 1/16" = 1'-0"

**AD21**



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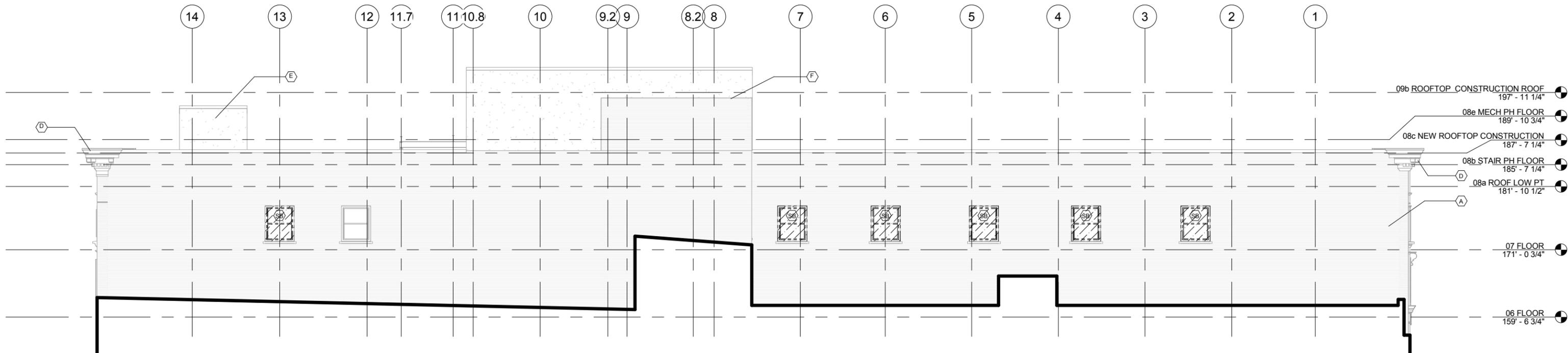
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EXISTING SOUTH  
ELEVATION  
1/16" = 1'-0"

AD22

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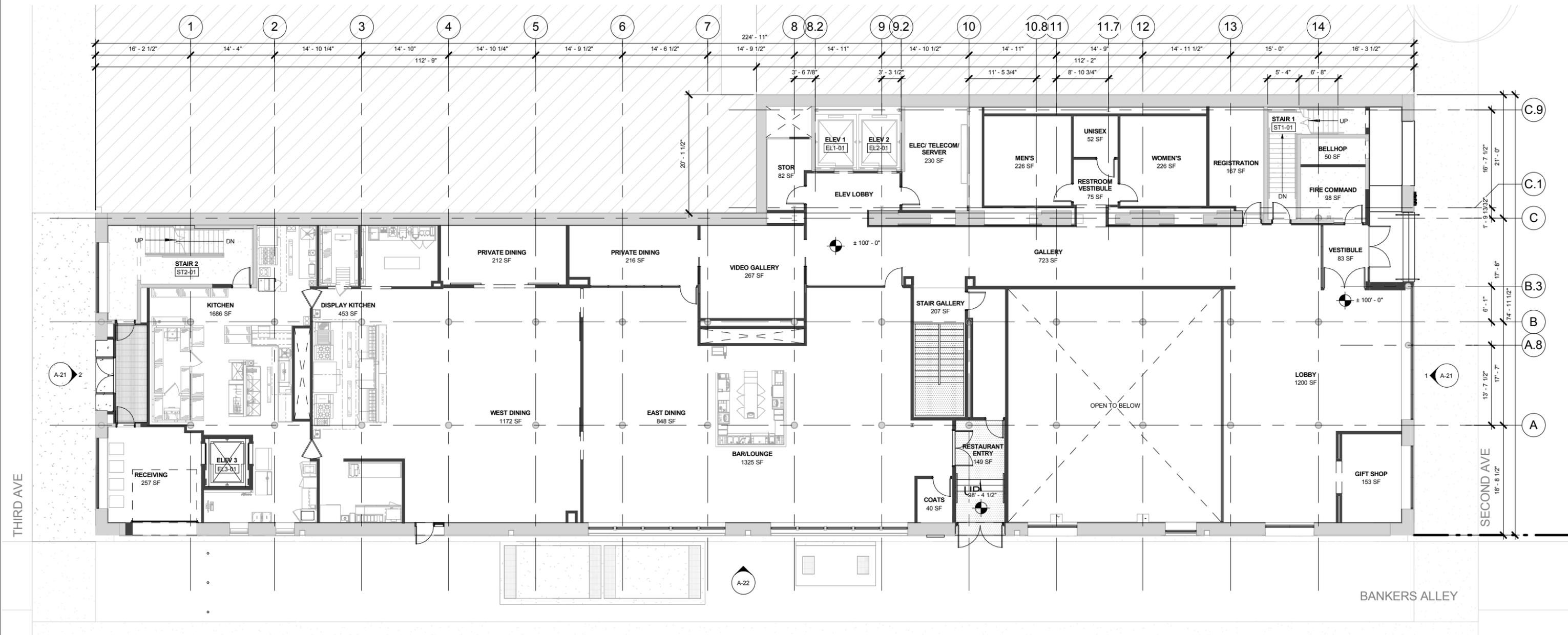
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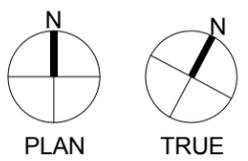
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EXISTING NORTH  
ELEVATION  
1/16" = 1'-0"

**AD23**



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PROPOSED FIRST FLOOR  
PLAN  
1/16" = 1'-0"

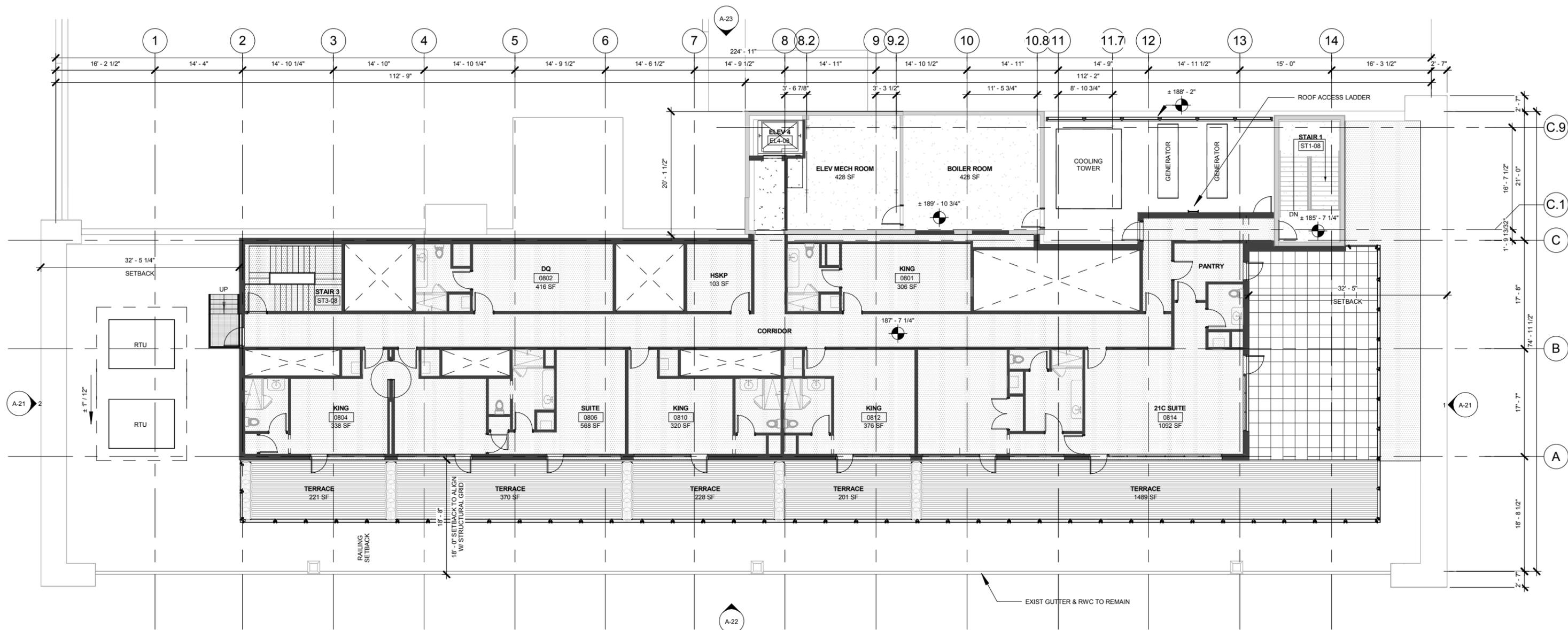
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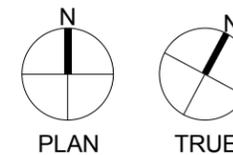
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**A-02**



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PROPOSED EIGHTH FLOOR  
PLAN  
1/16" = 1'-0"

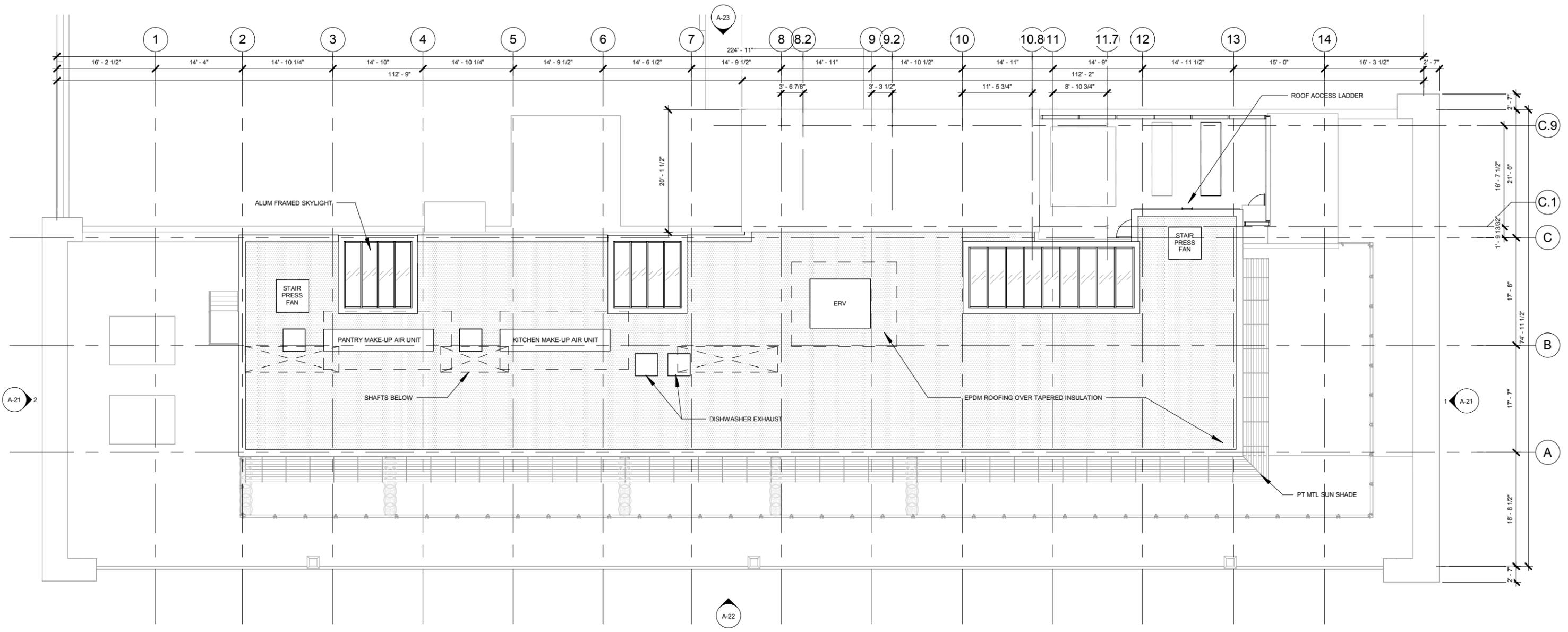
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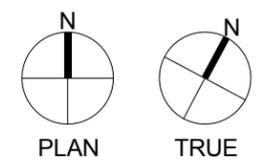
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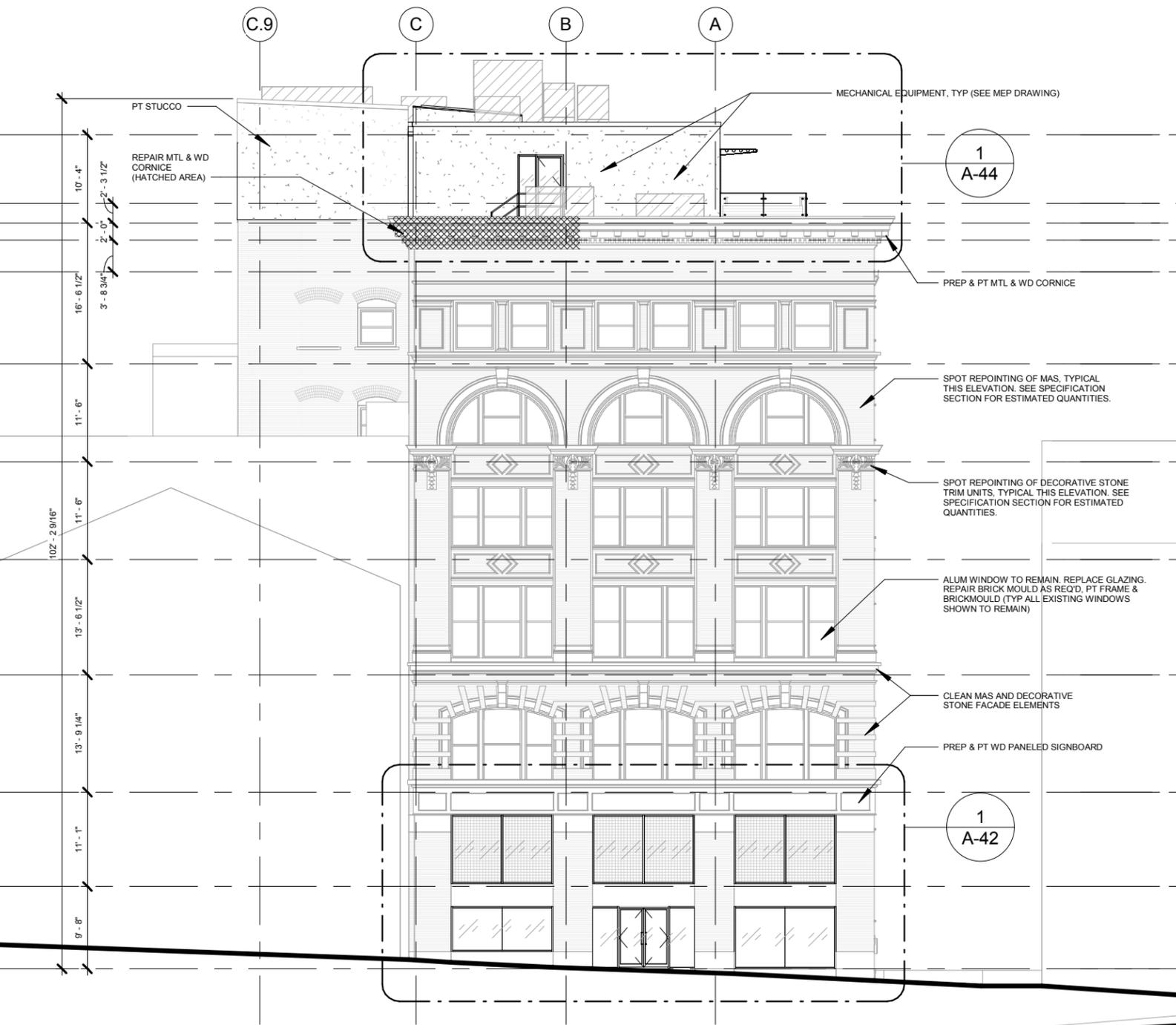
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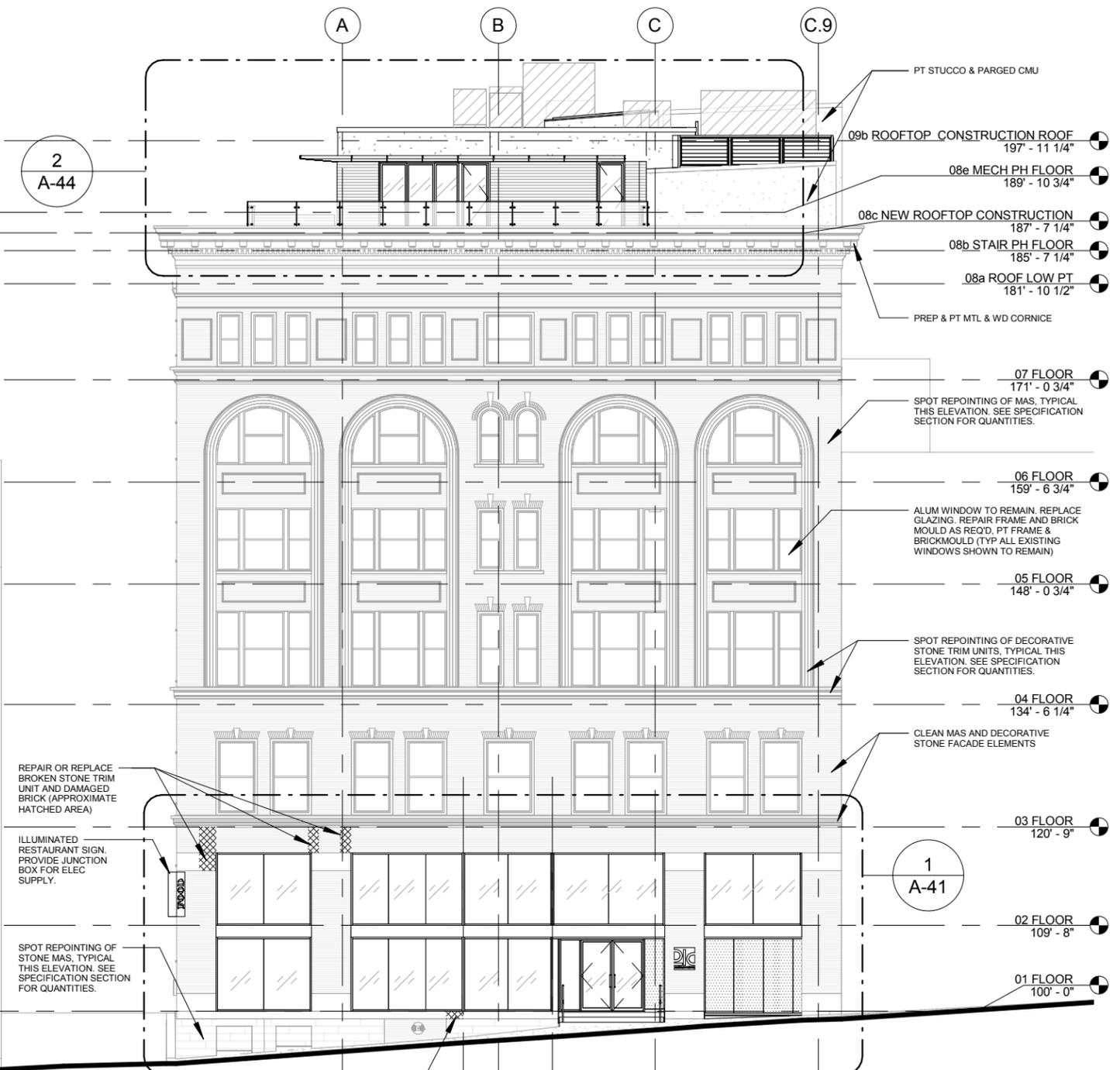
PROPOSED PENTHOUSE  
ROOF PLAN  
1/16" = 1'-0"

**A-10**



THIRD AVENUE (WEST) ELEVATION | 2

1/16" = 1'-0" A-21



SECOND AVENUE (EAST) ELEVATION | 1

1/16" = 1'-0" A-21

BUILDING ELEVATIONS

1/16" = 1'-0"

A-21

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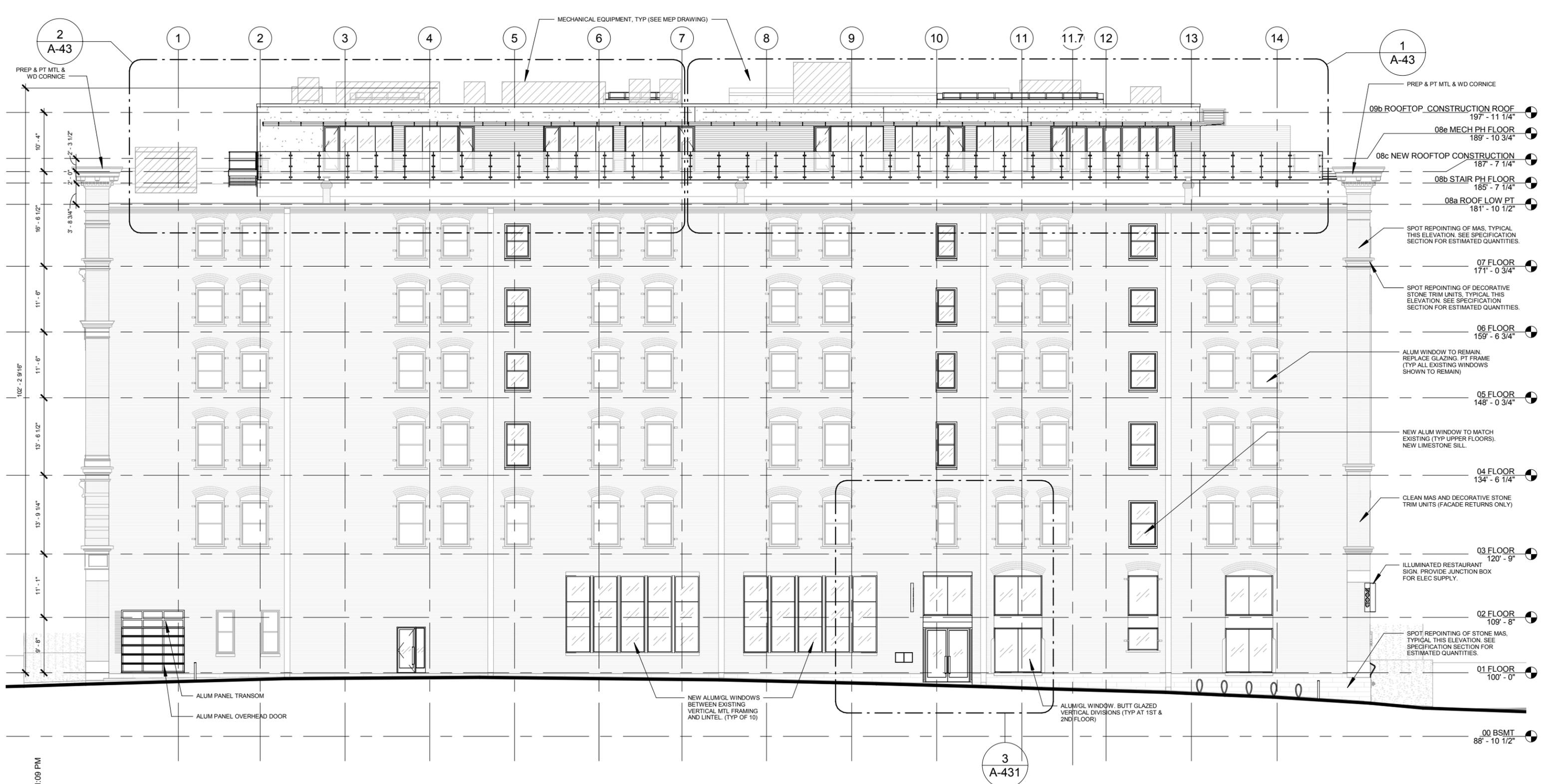


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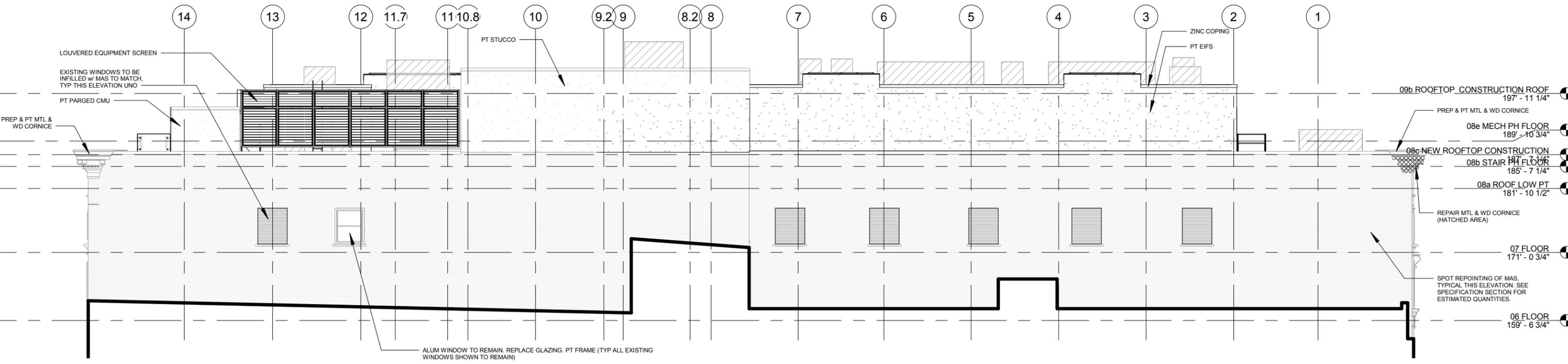
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SOUTH ELEVATION

1/16" = 1'-0"

A-22



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NORTH ELEVATION

1/16" = 1'-0"

A-23

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ENLARGED EAST  
ELEVATION  
1/8" = 1'-0"

A-41



ENLARGED METRO ALLEY (SOUTH) ELEVATION | 2  
1/8" = 1'-0" | A-42



ENLARGED THIRD AVENUE (WEST) ELEVATION | 1  
1/8" = 1'-0" | A-42

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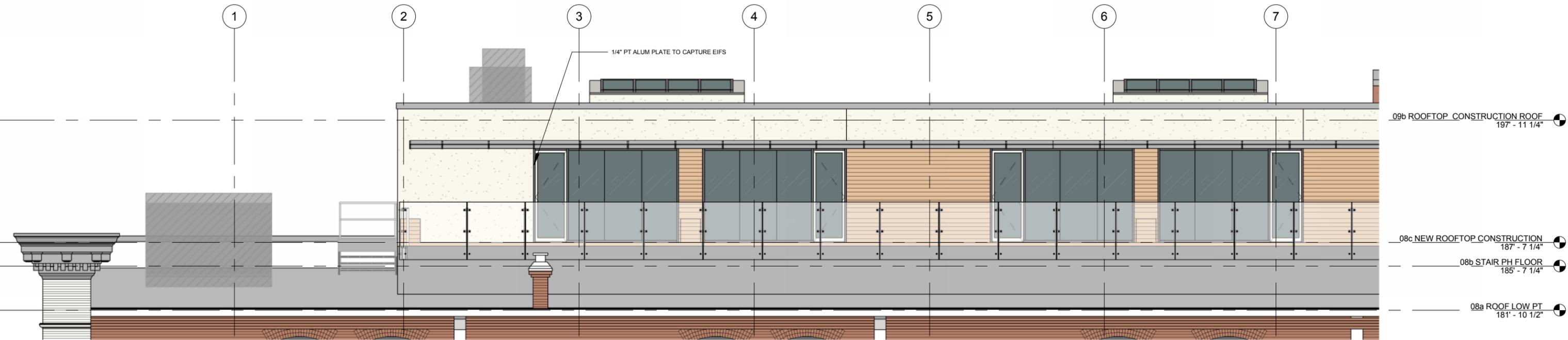
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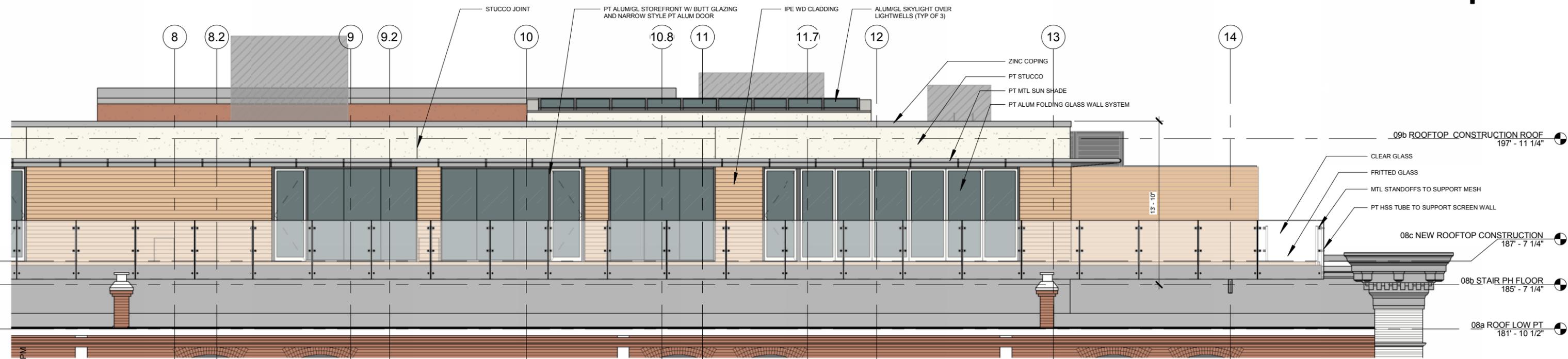
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ENLARGED BUILDING  
ELEVATIONS  
1/8" = 1'-0"

**A-42**



ENLARGED SOUTH ELEVATION (ROOFTOP) - WEST | 2  
 1/8" = 1'-0" | A-43



ENLARGED SOUTH ELEVATION (ROOFTOP) - EAST | 1  
 1/8" = 1'-0" | A-43

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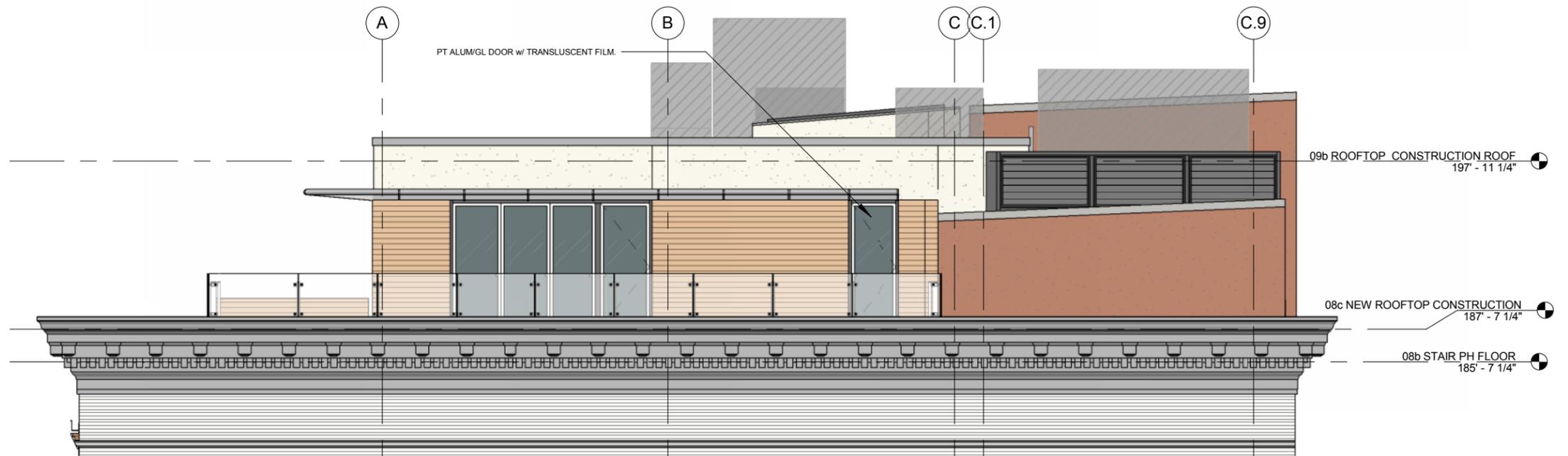
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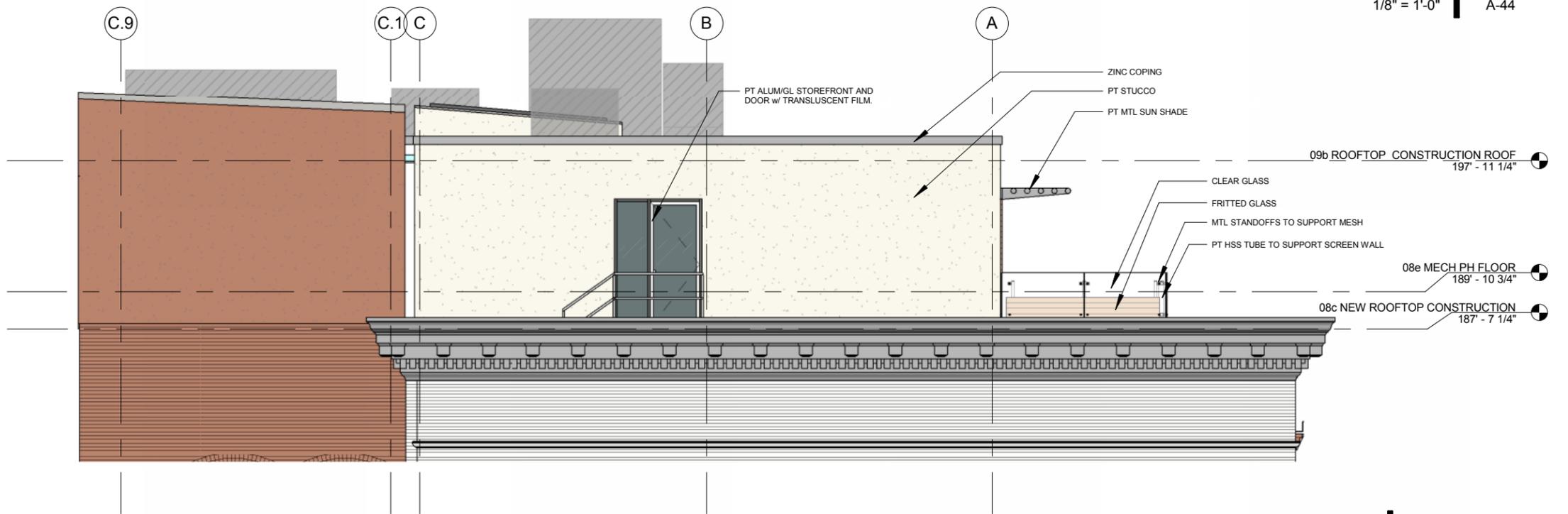
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ENLARGED PENTHOUSE  
 SOUTH ELEVATION  
 1/8" = 1'-0"

A-43



ENLARGED EAST ELEVATION (ROOFTOP) | 2  
1/8" = 1'-0" | A-44



ENLARGED WEST ELEVATION (ROOFTOP) | 1  
1/8" = 1'-0" | A-44

ENLARGED PENTHOUSE ELEVATIONS  
1/8" = 1'-0"

A-44

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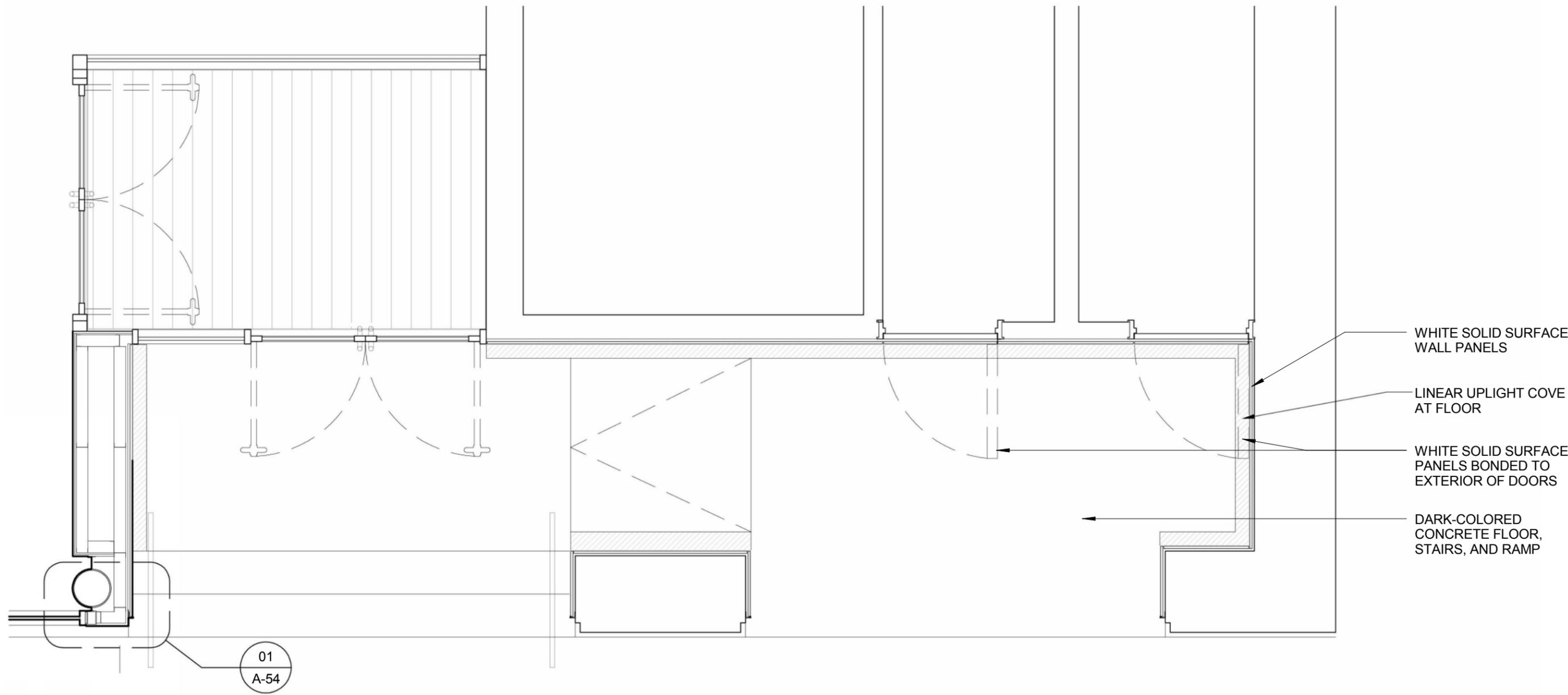
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ENLARGED FIRST FLOOR PLAN AT ENTRY | 1  
 3/8" = 1'-0" | A-51

HOTEL ENTRY DETAILS

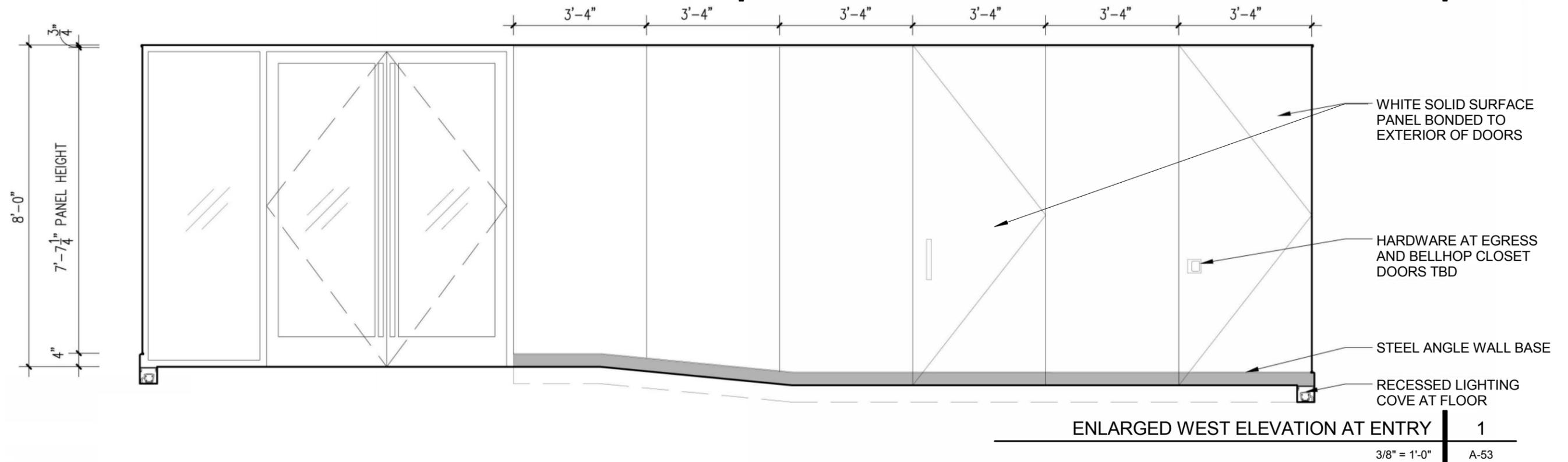
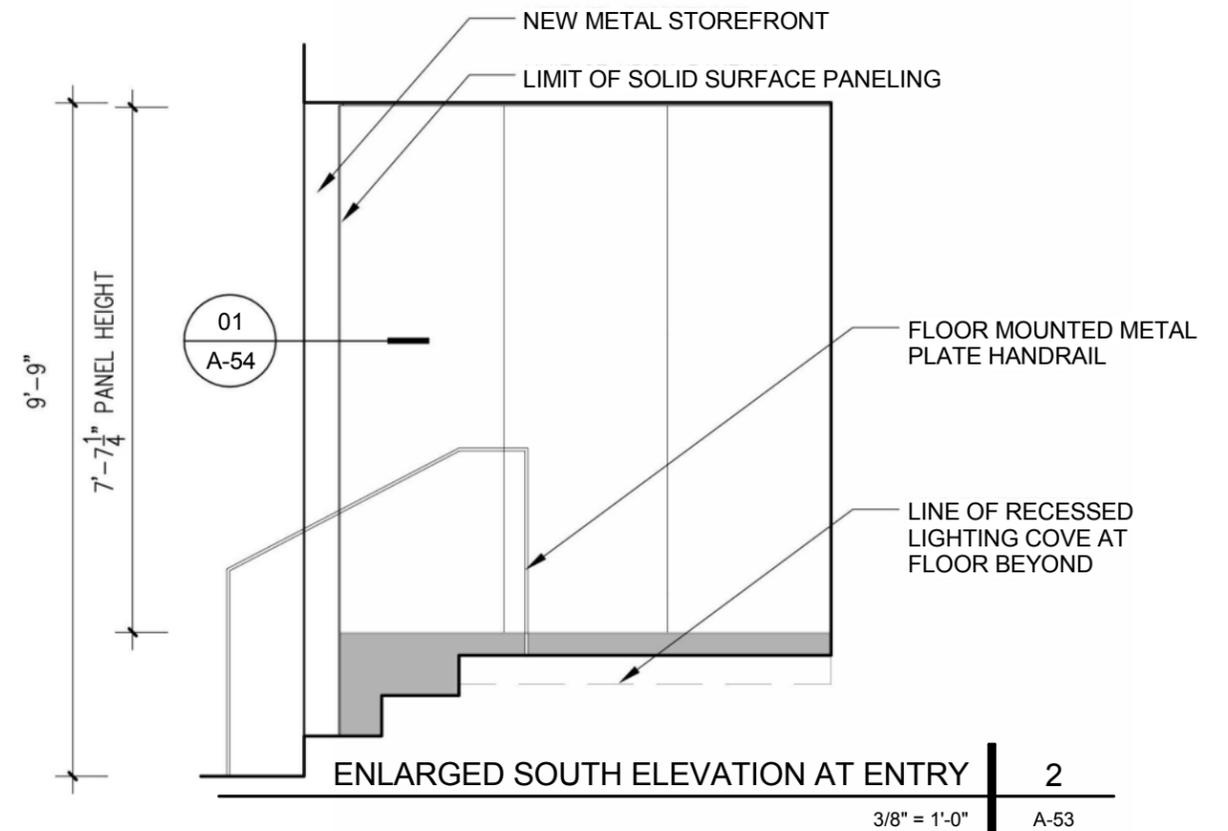
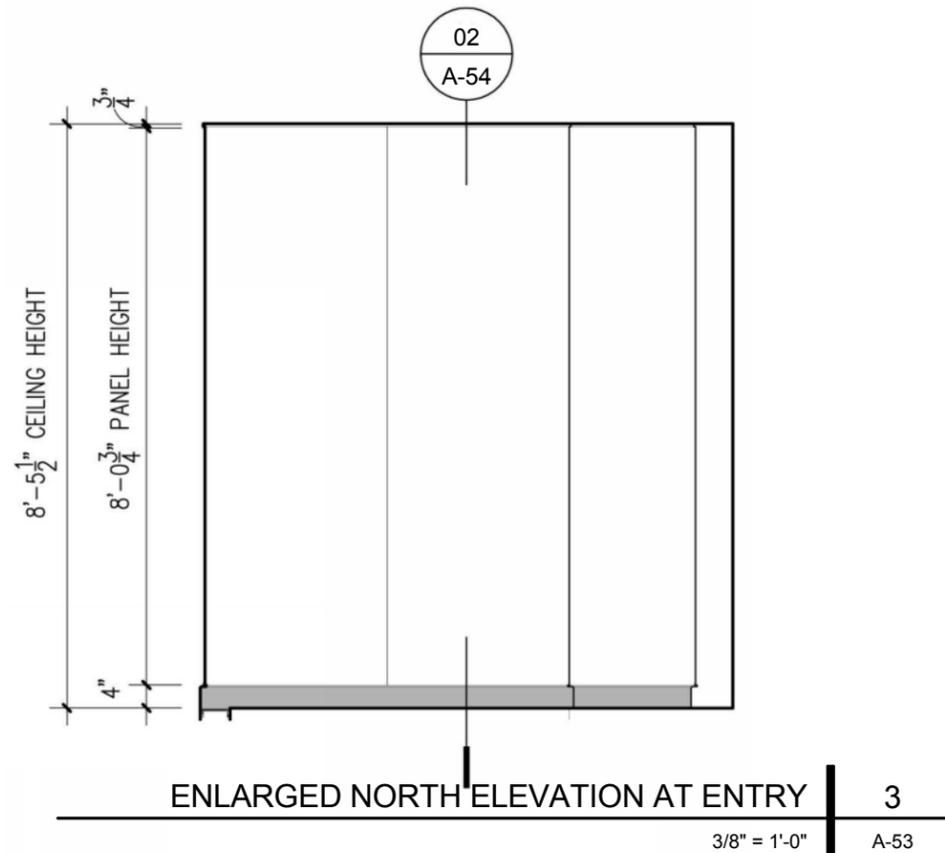
3/8" = 1'-0"

**A-51**

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HOTEL ENTRY  
STOREFRONT DETAILS  
3/8" = 1'-0"

**A-53**

# The Gray & Dudley Hardware Co.

Officers and Traveling Men.



- |                                |                       |                      |                      |                      |
|--------------------------------|-----------------------|----------------------|----------------------|----------------------|
| 1. R. M. DUDLEY, PRES.         | 6. O. L. DORTCH.      | 11. F. L. MARTIN.    | 16. J. S. FISHER.    | 21. W. P. GANNON.    |
| 2. J. M. GRAY, JR., VICE PRES. | 7. JOHN T. MITCHELL.  | 12. N. F. CHRAIR.    | 17. W. E. RIDGWAY.   | 22. S. F. SHANNON.   |
| 3. R. H. DUDLEY, JR., SEC.     | 8. W. F. IRVINE.      | 13. W. H. RICHANAN.  | 18. J. F. CRAIG.     | 23. J. E. MANN, JR.  |
| 4. J. T. JENKINS, TREAS.       | 9. F. M. GRAY.        | 14. W. C. TUCKER.    | 19. WILL C. POLLARD. | 24. GEO. W. EVERETT. |
| 5. JOHN PICKARD.               | 10. E. C. CUNNINGHAM. | 15. JAS. H. SWEENEY. | 20. W. T. OLIVER.    | 25. A. C. BREAST.    |



HISTORIC IMAGE OF 2ND AVE FACADE, CA. 1901

PHOTOS - HISTORIC

NTS

A-82



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WEST CORNICE DETAIL (EAST SIMILAR)



EXISTING EAST STOREFRONT



WEST FACADE & STREETScape



EAST FACADE & STREETScape

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GOETTEL



**NASHVILLE**  
222 THIRD AVE  
NASHVILLE, TN  
21c NASHVILLE, LLC

ASSOCIATE ARCHITECT:  
**DEBORAH  
BERKE  
PARTNERS**

220 FIFTH AVENUE  
NEW YORK NY 10001  
212 229 9211

PWWG PROJECT NO. 21417.00  
DATE 03/30/15

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PHOTOS - EXTERIOR

NTS

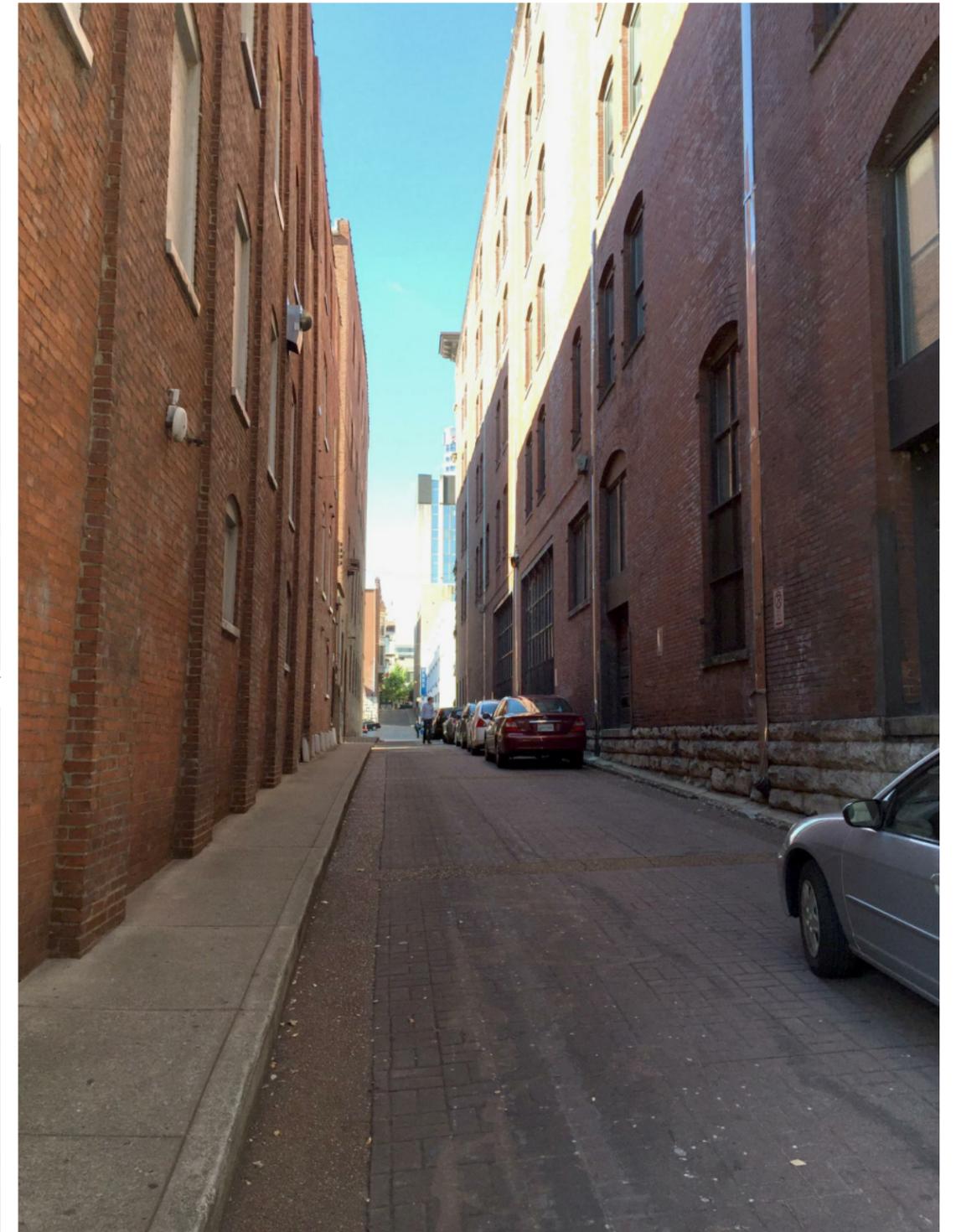
A-83



EXISTING PENTHOUSE & ROOFTOP EQUIPMENT - FROM ROOF



BANKER'S ALLEY - FROM CENTER LOOKING EAST



BANKER'S ALLEY - FROM EAST LOOKING WEST



EXISTING PENTHOUSE & ROOFTOP EQUIPMENT - FROM NORTH



BANKER'S ALLEY - FROM CENTER LOOKING WEST

3/27/2015 3:51:26 PM

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PHOTOS - EXTERIOR

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**A-84**

View from Approximately 100'-0" South of the building and across 2nd Avenue reveals limited visibility of proposed railing and no visibility of new rooftop construction.

2



View from Approximately 100'-0" North of the building and across 2nd Avenue reveals visibility of existing rooftop stair and proposed equipment screen. Equipment screen is proposed to screen new and existing equipment that would otherwise be visible.

1



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3D VIEWS - STREET VIEWS  
FROM 2ND AVE  
NTS

A-91

View from Approximately 100'-0" North of the building and across 3rd Avenue reveals limited visibility of rooftop addition (setback 30'-0" from 3rd Ave) and no visibility of equipment or railings.

4



View from Approximately 100'-0" South of the building and across 3rd Avenue reveals no visibility to rooftop addition, equipment or railings.

3



3/27/2015 3:51:30 PM

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3D VIEWS - STREET VIEWS  
FROM 3RD AVE  
NTS

A-92



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3D VIEWS - HOTEL ENTRY

NTS

**A-93**



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3D VIEWS - RESTAURANT  
ENTRY  
NTS

**A-94**



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MUSEUM HOTELS 21c NASHVILLE, LLC

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3D VIEWS - EMPLOYEE  
ENTRY  
NTS

**A-95**



RESTAURANT BLADE SIGN



ILLUMINATED MENU BOX



RESTAURANT CORNER SIGN AT  
2ND & 3RD AVE



21c HOTEL SIGNAGE

## SIGNAGE & STREETScape

Bershka

