



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1304 4th Avenue North and 1309 3rd Avenue North
April 15, 2015

Application: New construction-infill
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209019300, 08209019800
Applicant: Price Development Group
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

Description of Project: The project is to construct a multi-family complex with minimal commercial use, within the Germantown Historic Preservation Zoning Overlay and outside of the Germantown National Register of Historic Places district. The massing was approved on November 19, 2014 and the applicant is returning for final review of details and materials.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Recommendation Summary: Staff recommends approval with the conditions that:

- The corner of Monroe Street and Fourth Avenue North not exceed four stories;
- Mechanicals, utilities and service areas be located along the alley or on the rooftop with appropriate screening;
- Applicant seek administrative approval of windows and doors, masonry dimensions and texture, lighting, trim, railings, paving and walkways, awnings/canopies, parking structure, and fences/walls;
- Applicant obtain a Preservation Permit for signage;
- The bike entrance includes stucco rather than lap siding and steel brackets beneath the masonry bay;
- There be a change in materials between the foundation and the upper walls;
- Angled entrances be reoriented to fully face the street; and,
- Any stair wall that exceeds three feet (3') in height be redesigned to prevent a massive wall along the street.

With these conditions, staff finds the project to meet the design guidelines for new construction in an area of little historic context within the Germantown Historic Preservation Zoning Overlay.

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

3.0 New Construction - where there is minimal historic context or historic context no longer exists

Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

3.1 General Principles

Construction in the District has taken place continuously from the mid-19th through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. Because a great variety of building forms exist within Germantown, flexibility in the design of new buildings is possible and encouraged. New buildings should continue this variety while remaining compatible with development patterns consistent with mixed-use urban neighborhood design.

3.1.1 Buildings should be sited on their respective parcels in ways that are appropriate to their context and the context it creates.

3.1.2 The architectural styles and forms of new buildings should be appropriate to their context.

3.1.3 New buildings should relate to a pattern and rhythm of development consistent with a mixed-use urban neighborhood.

3.1.4 New projects have the ability to create place. Proposed projects shall be reviewed both in relationship to its context and the context it creates.

3.1.5 The ground floors of new buildings should be designed to encourage pedestrian activity.

3.1.6 New construction will be reviewed for height, scale, setback, relationship of materials, texture and color; massing; orientation; and proportion and rhythm of openings.

3.2 Site and Building Planning

3.2.1 New development should be sited and designed to encourage pedestrian/human activity on the street. The siting of buildings should acknowledge and reinforce desirable characteristics of the right-of way and streetscape.

Livelier street edges make for safer streets. Ground floor shops and market spaces providing services attract activity on the street. Entrances, porches, balconies, front yards, decks, seating, street lighting, street trees, landscaping and other streetscape elements promote use of the street front and provide places for human interaction. Siting decisions shall consider the importance of these features in a particular context and allow for their incorporation.

3.2.3 Orientation

1. The primary entrances of buildings shall be clearly identifiable and visible from the street. *Generally this means primary entrances are oriented to the public street.*

The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/private domain.

Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.

This does not preclude site developments for residential projects from utilizing courtyards and mews. It is intended to foster siting that recognizes the importance of the public street and the transition from the street to the building.

3.2.4 Mass and Scale

2. Façade Articulation: New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials particularly on public facades. *For multiple story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged.*

Some appropriate techniques for building articulation include but are not limited to:
Modulating the façade by stepping back or extending forward a portion of the façade (articulating a building's façade vertically and/or horizontally in intervals that are informed by existing platting patterns or structures within the District is encouraged)
Pilasters, recesses and or projections
Repeating window patterns at an interval that equals the articulation interval
Providing a balcony, porch, patio, deck, covered entry, bay window (or other special window) or other significant architectural detail for each interval
Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval
Changing materials with a change in building plane (changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone is generally not sufficient to meet the intent of this guideline)

3.3 Walls/Exterior Materials

3.3.1 Exterior materials will be reviewed for characteristics of scale, design, finish, texture, durability and detailing. Materials must demonstrate adherence to The Secretary of Interior's Standards.

3.3.2 Large expanses of featureless wall surface are not appropriate

3.3.3 Material change between the foundation and the first floor is encouraged.

3.3.4 Exterior Insulation Finish System (EFIS) and vinyl siding are not appropriate exterior materials.

3.3.5 The painting of wood and metal surfaces is not reviewed by the MHZC.

3.5 Windows

3.5.1. Window profiles will be reviewed for dimensional depth of rails, stiles, mullions, muntins, divided lites, sills, casing and or trim.

3.6 Roof

3.6.1 Rooftop equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

3.7 Utilities / Mechanical

3.7.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their impact and visibility at the public street. Exterior utilities and mechanical equipment shall be screened from visibility from the building's street facades. Building utilities shall be planned, sited and screened to minimize their impact on the pedestrian environment.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non-compatible use, lot size and/or shape)

Walls of solid masonry construction within the front setback are permitted up to 24" in height.

Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.

The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".

Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).

Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non-conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

5.3. Paving/Driveways/Parking Areas and Parking Lots

5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.

5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.

5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.

5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.

5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged.

Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.

5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or insurance must comply with these design guidelines.

5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

5.4 Exterior Lighting/ Miscellaneous

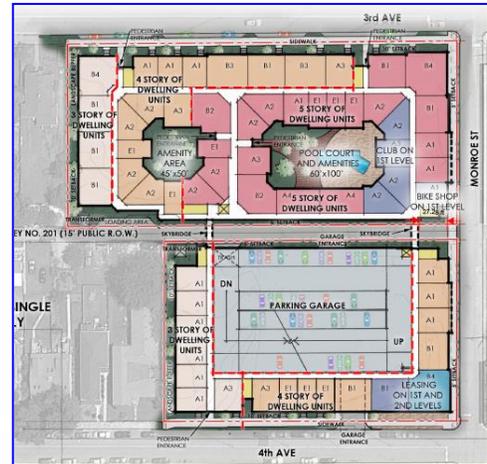
5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.

5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.

5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.

5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

Background: The project is to construct a multi-family complex with minimal commercial use, within the Germantown Historic Preservation Zoning Overlay and outside of the Germantown National Register of Historic Places district. The MHZC approved the massing on November 19, 2014 and the applicant is returning for final review of details and materials.



Analysis and Findings:

Height: The Commission approved a height of four stories for the corner of Monroe Street and Fourth Avenue at the November 2014 meeting. The current drawings show what amounts to a fifth story at the corner of Fourth Avenue North and Monroe Street. The applicant has agreed to lower this height and has added a note on page 13.

Orientation: There are several entrances facing the streets, that with some additional detailing, can create an appropriate orientation for the development. The applicant has agreed to provide awnings, full-light doors and/or side-lights to several entrances so that they appear more as primary entrances and to reorient the angled entrances to fully face the street. (See notes added by the applicant on page 14.) Staff is concerned with the side-oriented steps creating tall walls on the street, which discourage pedestrian activity, and recommends redesigning any wall that exceeds three feet (3') in height. (Applicant currently plans to change the brick color to break up the massing.) With these conditions, the project meets section 3.2.3.

Mass and Scale: The façade is well articulated with a regular rhythm of projecting and recessed bays, a regular rhythm of openings and recessed upper-level porches and changes in materials. The projecting bays are similar in width to the width of historic buildings found in the neighborhood. The roofline is capped with a cornice of an appropriate scale for the overall massing of the building. The bay over the bike entrance on Monroe appears to be too massive because of the brick veneer; however, the applicant has agreed to change the material at the entrance to stucco and will visually support the “floating” masonry bay with steel brackets. With this alteration, the project meets section 3.3.4.2.

Walls/Exterior Materials: Materials include three colors of brick: red sunset, burgundy, saddle tan. These colors are similar to historic masonry. Staff recommends administrative approval of dimensions and texture of brick. Cladding also includes a smooth-faced cement-fiber lap siding of both a five inch and a ten and three-quarters (5” and a 10.75”) reveal. In the past, the Commission has only allowed for more than a five-inch (5”) reveal when the material is used as accent material, which is the case in this project. In addition, the large scale of the project also results in a larger reveal being appropriate.

Staff recommends that administrative approval of all materials not indicated, such as: awnings/canopies, trim, railings, paving, parking structure, fences, and walkways.

Materials primarily change vertically, following the rhythm of recesses and bays. There are also horizontal changes in materials which follows historic examples. Staff recommends a change in materials between the foundation line and the upper level.

Windows: Windows and doors were not indicated so staff recommends administrative review to meet sections 3.6 & 3.7

Roof, Utilities / Mechanical: Not all mechanical and service areas were indicated. Staff recommends that all be located along the alley or on the roof top with appropriate screening.

Lighting: Locations were provided but not design or materials. Staff recommends administrative approval of lighting.

Signage: One signage location is shown but no information is provided for signage materials, dimensions and lighting. Staff recommends the applicant return for a new permit for any signage.

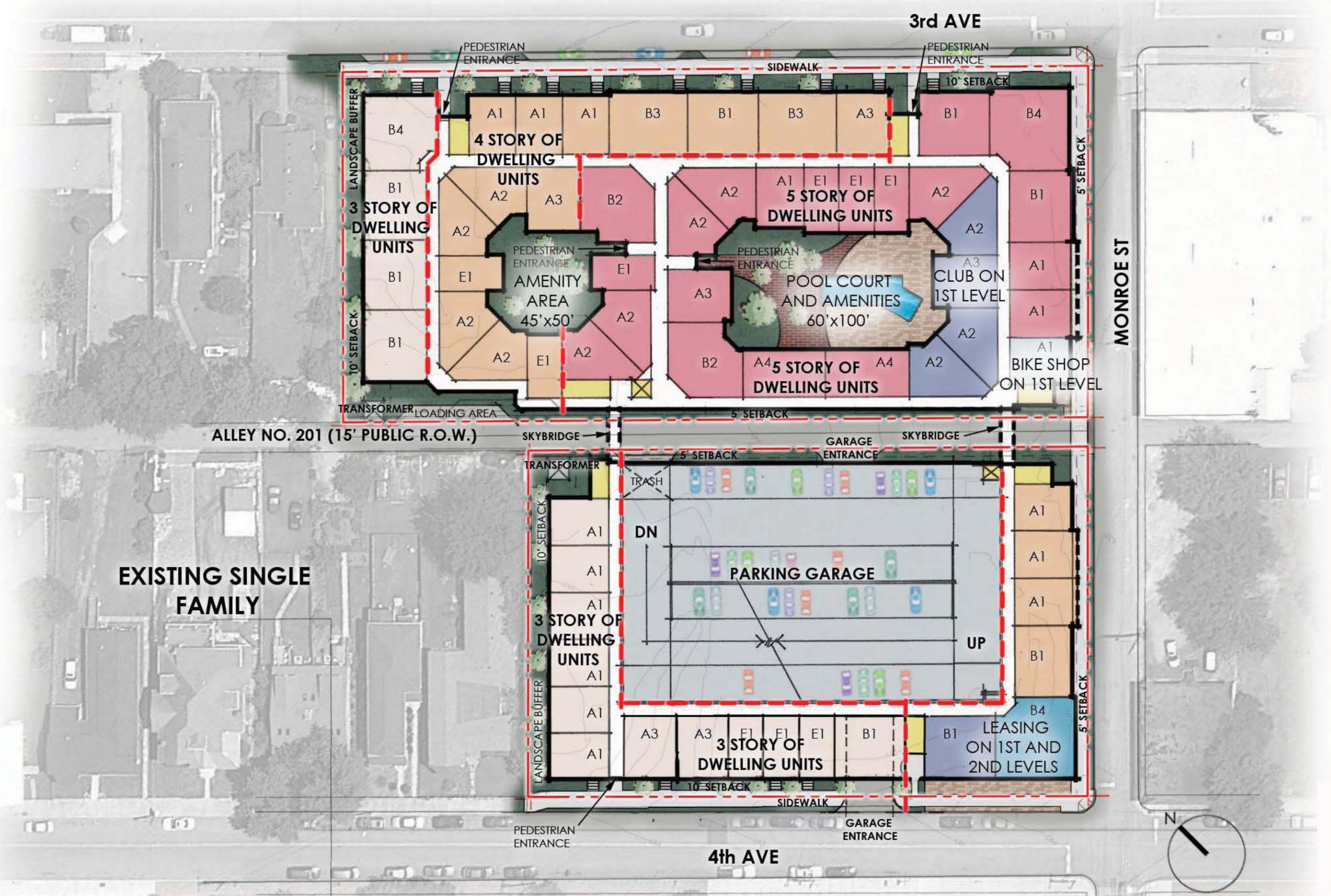
Sidewalks: The public sidewalk surrounding the project will be concrete to match Metro specifications. Materials for walkways and other paving were not indicated. Staff recommends administrative approval.

Recommendation: Staff recommends approval with the conditions that:

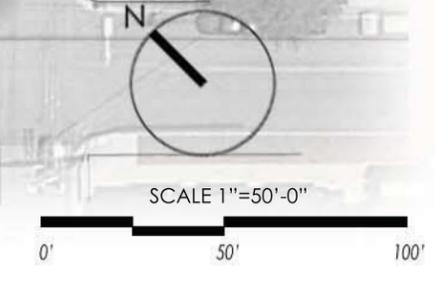
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SCHEMATIC SITE PLAN



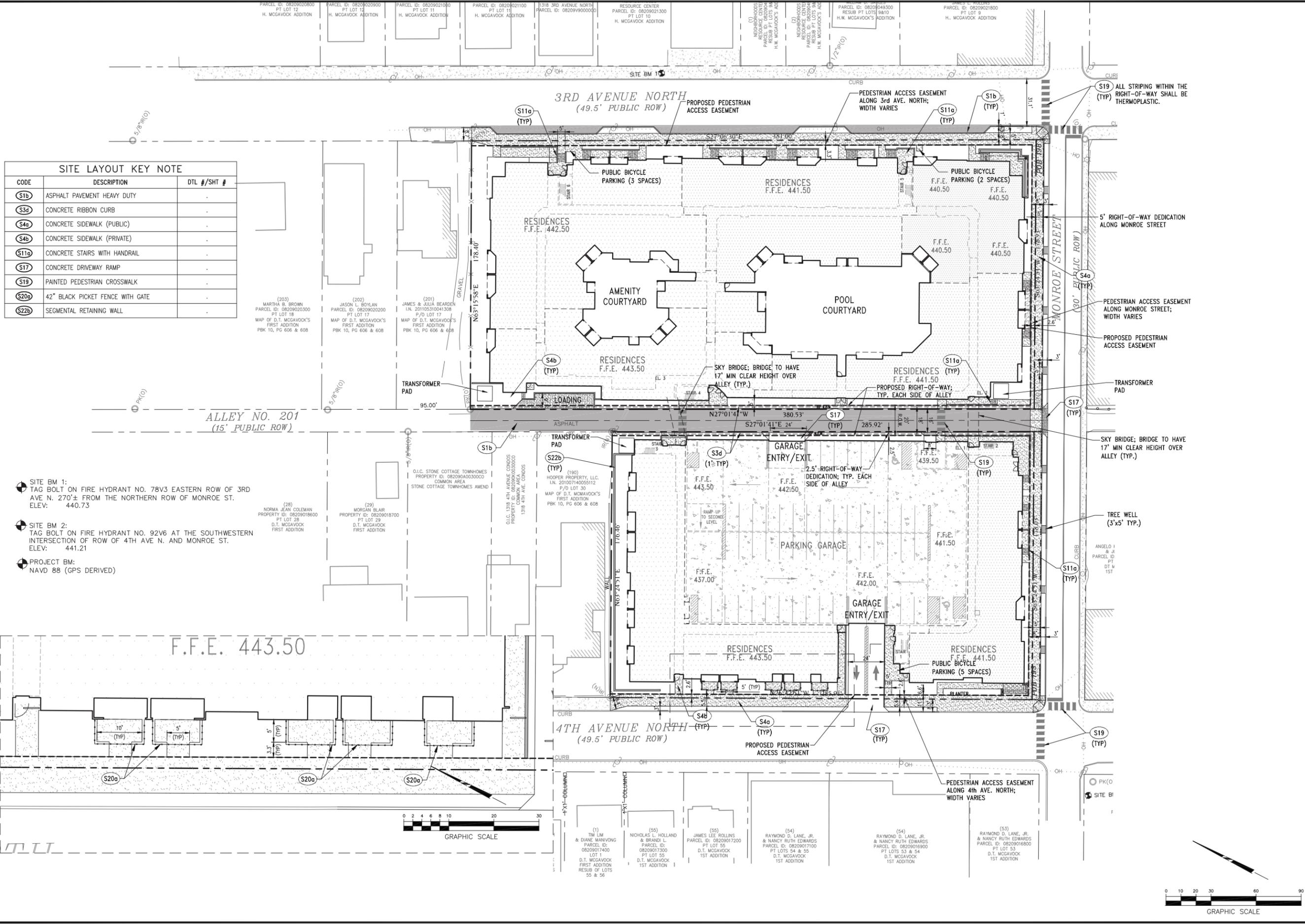
REVISIONS
PDG GERMANTOWN APARTMENTS IN NASHVILLE, TN FOR: PRICE DEVELOPMENT GROUP
MHZC PRESERVATION PERMIT APPLICATION SUBMITTAL 03-30-15
BGO architects 4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com
DATE 03.30.15
PROJECT 14130
SHEET NUMBER 4

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C:\Projects\2014\20140100\dwg\Final_PUD-SP\20140100_SP_C5.0_LAY.dwg - C5.0 SITE LAYOUT PLAN_22x34_Mar_30_2015 - 2:27pm - pwilliams

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1b	ASPHALT PAVEMENT HEAVY DUTY	
S3d	CONCRETE RIBBON CURB	
S4c	CONCRETE SIDEWALK (PUBLIC)	
S4b	CONCRETE SIDEWALK (PRIVATE)	
S11a	CONCRETE STAIRS WITH HANDRAIL	
S17	CONCRETE DRIVEWAY RAMP	
S19	PAINTED PEDESTRIAN CROSSWALK	
S20c	42" BLACK PICKET FENCE WITH GATE	
S22b	SEGMENTAL RETAINING WALL	

- SITE BM 1:**
 TAG BOLT ON FIRE HYDRANT NO. 78V3 EASTERN ROW OF 3RD AVE N. 270'± FROM THE NORTHERN ROW OF MONROE ST.
 ELEV: 440.73
- SITE BM 2:**
 TAG BOLT ON FIRE HYDRANT NO. 92V6 AT THE SOUTHWESTERN INTERSECTION OF ROW OF 4TH AVE N. AND MONROE ST.
 ELEV: 441.21
- PROJECT BM:**
 NAVD 88 (GPS DERIVED)



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 Nashville | Chattanooga | Decatur | Huntsville | Knoxville
 Orlando | Phoenix | Tampa Bay | Tri-Cities

SPECIFIC PLAN
 CASE NO. 2014SP-065-001
Germantown
PDG Multi Family
 Nashville, Davidson County, Tennessee

PRICE DEVELOPMENT GROUP
 104 W. 9th Street, Suite 205
 Kansas City, MO 64105
 816.268.5880



DATE	REVISIONS
03.30.2015	20140100

C5.0
 OVERALL SITE LAYOUT

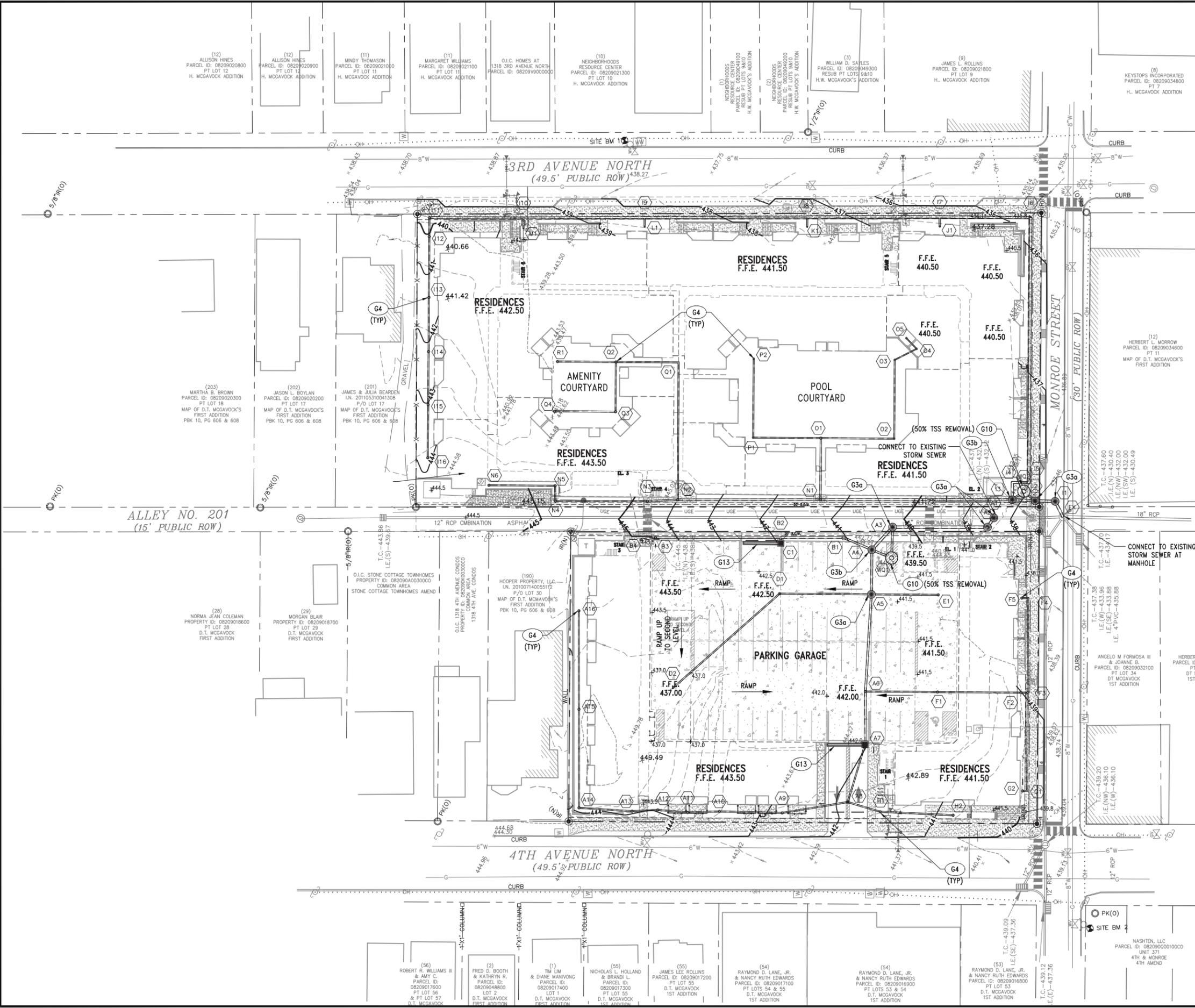
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GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G3a	JUNCTION MANHOLE	
G3b	BYPASS MANHOLE	
G4	NDS DRAIN INLET	
G10	WATER QUALITY STRUCTURE	
G13	TRENCH DRAIN	

NOTE:

- * THIS PARCEL DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBER 470370216F, DATED APRIL 20, 2001.
- * ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- * THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- * METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- * SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).

- SITE BM 1:
TAG BOLT ON FIRE HYDRANT NO. 78V3 EASTERN ROW OF 3RD AVE N. 270'± FROM THE NORTHERN ROW OF MONROE ST.
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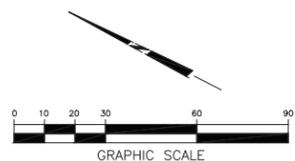
SPECIFIC PLAN
 CASE NO. 2014SP-065-001
Germantown
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 Nashville, Davidson County, Tennessee

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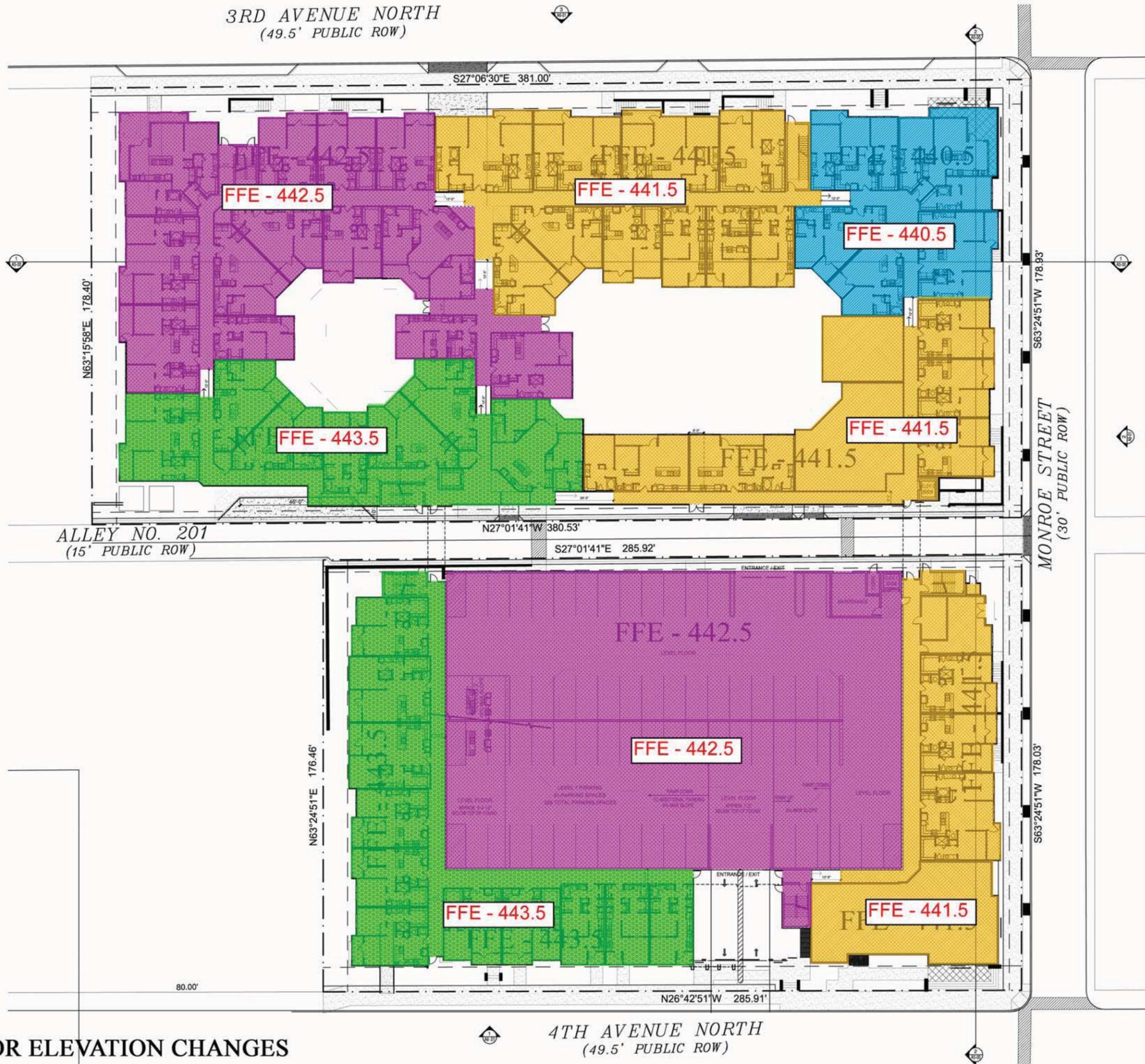


DATE	REVISIONS
03.30.2015	20140100

6
 OVERALL SITE GRADING & DRAINAGE



3RD AVENUE NORTH
(49.5' PUBLIC ROW)



REVISIONS

PDG GERMANTOWN

APARTMENTS IN NASHVILLE, TN FOR:
PRICE DEVELOPMENT GROUP

MHZO PRESERVATION PERMIT
APPLICATION SUBMITTAL 03-30-15

BGO
architects

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Addison, TX 75001
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bgoarchitects.com

DATE
03.30.15

PROJECT
14130

SHEET NUMBER

7

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FINISH FLOOR ELEVATION CHANGES

4TH AVENUE NORTH
(49.5' PUBLIC ROW)



B3 B1 B2 P2 P4 B1 B2 P4 B3



B1 - BRICK
 MANUFACTURER:
 ACME
 COLOR:
 RED SUNSET
 SIZE: MODULAR
 MORTAR:
 PLAIN GRAY



B2 - BRICK
 MANUFACTURER:
 ACME
 COLOR:
 BURGUNDY
 SIZE: MODULAR
 MORTAR:
 PLAIN GRAY



**B3 - BURNISHED
 BLOCK**
 MANUFACTURER:
 FEATHERLITE
 COLOR:
 SADDLE TAN
 SIZE: 8"X16"
 MORTAR:
 PLAIN GRAY



P1 - PAINT
 MANUFACTURER:
 SHERWIN
 WILLIAMS
 COLOR:
 MINDFUL
 GRAY
 SW7016



P2 - PAINT
 MANUFACTURER:
 SHERWIN
 WILLIAMS
 COLOR:
 BUNGALOW
 BIEGE
 SW7511



P3 - PAINT
 MANUFACTURER:
 SHERWIN
 WILLIAMS
 COLOR:
 OYSTER
 WHITE
 SW7637



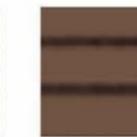
P4 - PAINT
 MANUFACTURER:
 SHERWIN
 WILLIAMS
 COLOR:
 TURKISH
 COFFEE
 SW6076



P5 - PAINT
 MANUFACTURER:
 SHERWIN
 WILLIAMS
 COLOR:
 BREVITY
 BROWN
 SW6068



**SMOOTH FACE
 HARDIE LAP
 SIDING:**
 5" REVEAL



**SMOOTH FACE
 HARDIE LAP
 SIDING:**
 10.75" REVEAL

GERMANTOWN PDG MULTI FAMILY SCHEMATIC ELEVATION - MONROE ST.

NASHVILLE, TN



MATERIALS LEGEND

B1- BRICK
 MANUFACTURER: ACME
 COLOR: RED SUNSET
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B2- BRICK
 MANUFACTURER: ACME
 COLOR: BURGUNDY
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B3- BURNISHED BLOCK
 MANUFACTURER: FEATHERLITE
 COLOR: SADDLE TAN
 SIZE: 8"x16"
 MORTAR: PLAIN GRAY

P1- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'MINDFUL GRAY' - SW7016

P2- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BUNGALOW BIEGE' - SW7511

P3- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'OYSTER WHITE' - SW7637

P4- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'TURKISH COFFEE' - SW6076

P5- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BREVITY BROWN' - SW6068

C1- STAINED CONCRETE

G1- GLASS GAURDRAIL

SMOOTH FACED
 HARDIE SIDING
 5" REVEAL

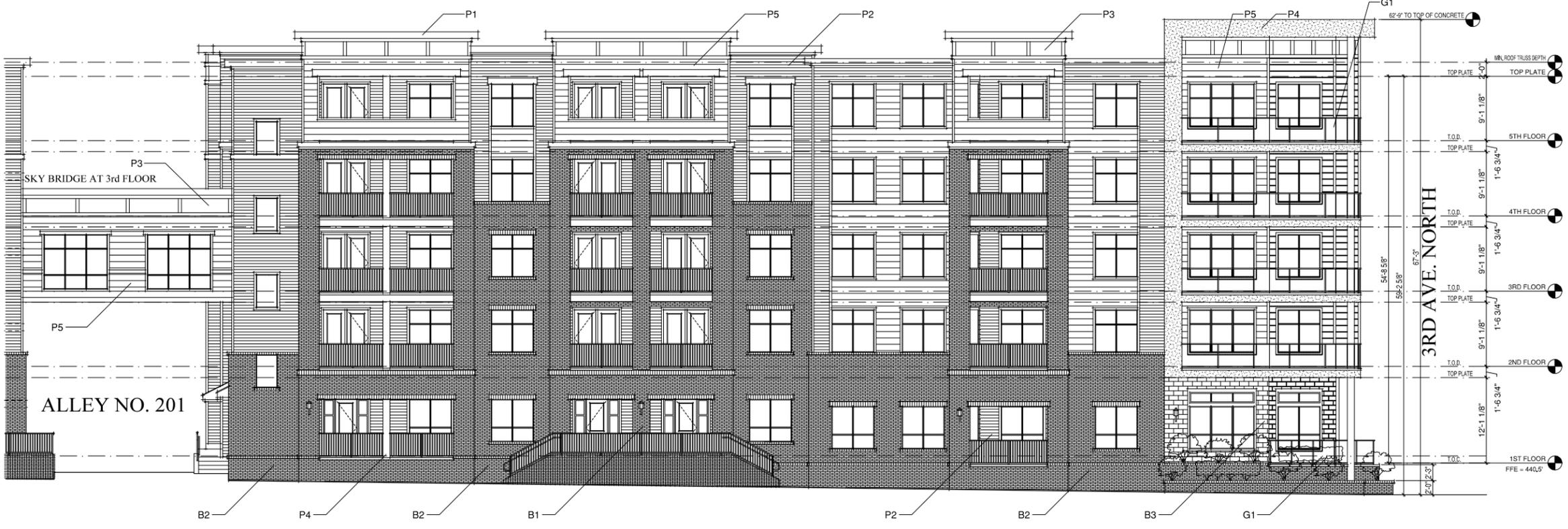
SMOOTH FACED
 HARDIE SIDING
 10 3/4" REVEAL

this will be dropped to be
 in line with the roof-line to
 north and east



2 SOUTH (MONROE ST.) ELEVATION
 SCALE 1/8" = 1'-0"

stucco



1 SOUTH (MONROE ST.) ELEVATION
 SCALE 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

PDG GERMANTOWN
 APARTMENTS IN NASHVILLE, TN FOR:
 PRICE DEVELOPMENT GROUP

MHZC PRESERVATION PERMIT
 APPLICATION SUBMITTAL 03-30-15

BGO
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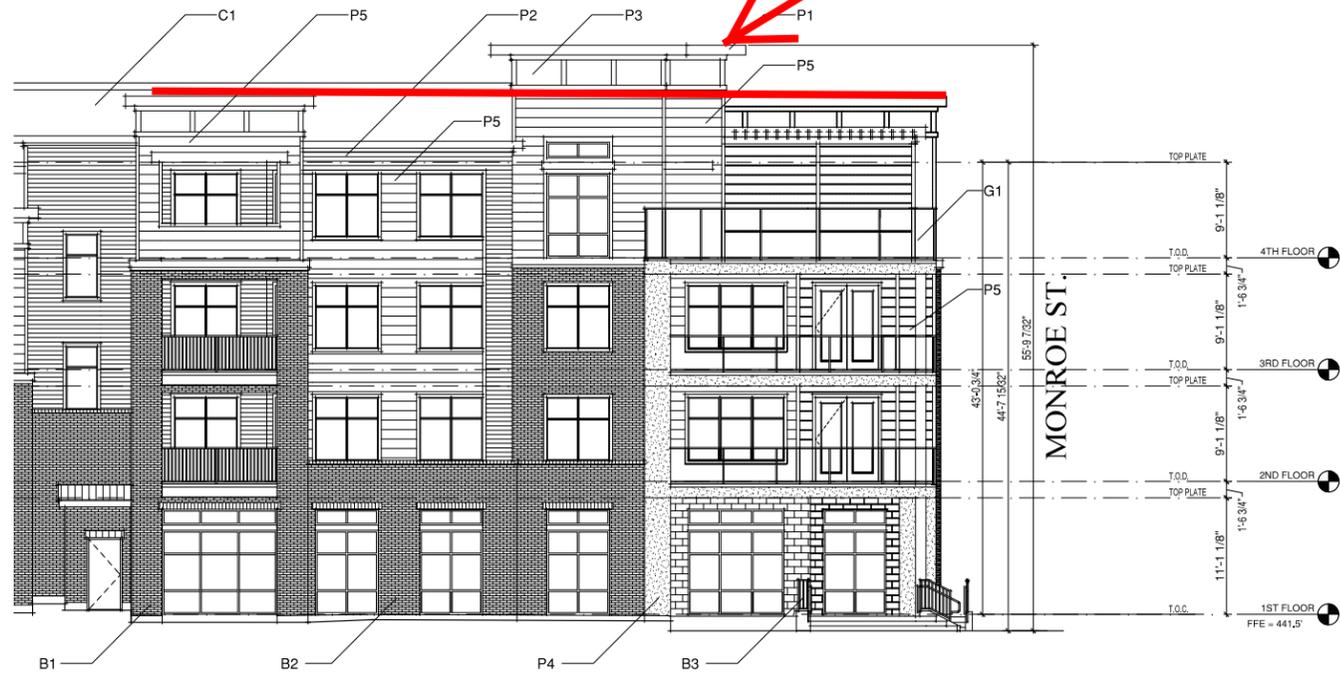
12
 BLDG. ENLARGED
 ELEVATIONS

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2 WEST (4TH AVE.) ELEVATION
SCALE 1/8" = 1'-0"

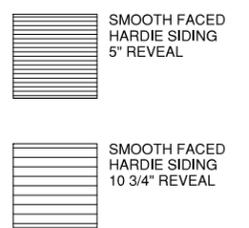
this will be dropped to be in line with the roof-line to north and east



1 WEST (4TH AVE.) ELEVATION
SCALE 1/8" = 1'-0"

MATERIALS LEGEND

- B1- BRICK
MANUFACTURER: ACME
COLOR: RED SUNSET
SIZE: MODULAR
MORTAR: PLAIN GRAY
- B2- BRICK
MANUFACTURER: ACME
COLOR: BURGUNDY
SIZE: MODULAR
MORTAR: PLAIN GRAY
- B3- BURNISHED BLOCK
MANUFACTURER: FEATHERLITE
COLOR: SADDLE TAN
SIZE: 8"x16"
MORTAR: PLAIN GRAY
- P1- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'MINDFUL GRAY' - SW7016
- P2- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'BUNGALOW BIEGE' - SW7511
- P3- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'OYSTER WHITE' - SW7637
- P4- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'TURKISH COFFEE' - SW6076
- P5- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'BREVITY BROWN' - SW6068
- C1- STAINED CONCRETE
- G1- GLASS GUARDRAIL



REVISIONS

NO.	DATE	DESCRIPTION

PDG GERMANTOWN

APARTMENTS IN NASHVILLE, TN FOR:
PRICE DEVELOPMENT GROUP

MHZC PRESERVATION PERMIT
APPLICATION SUBMITTAL 03-30-15

BGO
architects

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
03.30.15

PROJECT
14130

SHEET NUMBER

13

BLDG. ENLARGED
ELEVATIONS

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MATERIALS LEGEND

B1- BRICK
 MANUFACTURER: ACME
 COLOR: RED SUNSET
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B2- BRICK
 MANUFACTURER: ACME
 COLOR: BURGUNDY
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B3- BURNISHED BLOCK
 MANUFACTURER: FEATHERLITE
 COLOR: SADDLE TAN
 SIZE: 8"x16"
 MORTAR: PLAIN GRAY

P1- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'MINDFUL GRAY' - SW7016

P2- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BUNGALOW BIEGE' - SW7511

P3- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'OYSTER WHITE' - SW7637

P4- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'TURKISH COFFEE' - SW6076

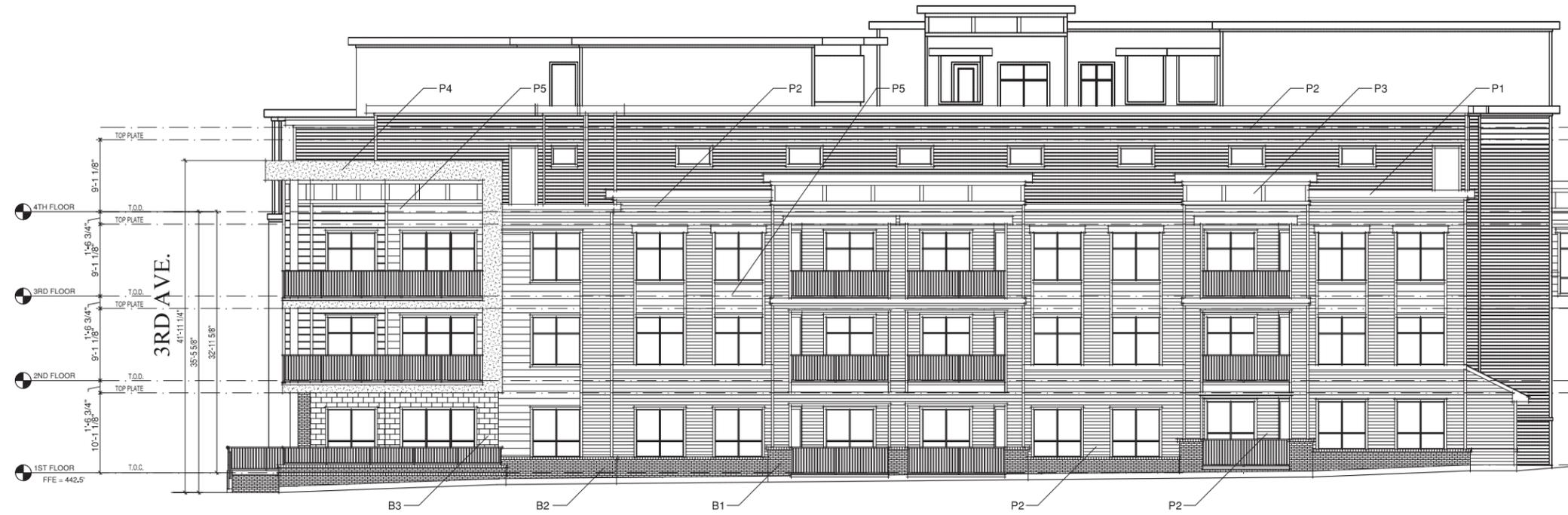
P5- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BREVITY BROWN' - SW6068

C1- STAINED CONCRETE

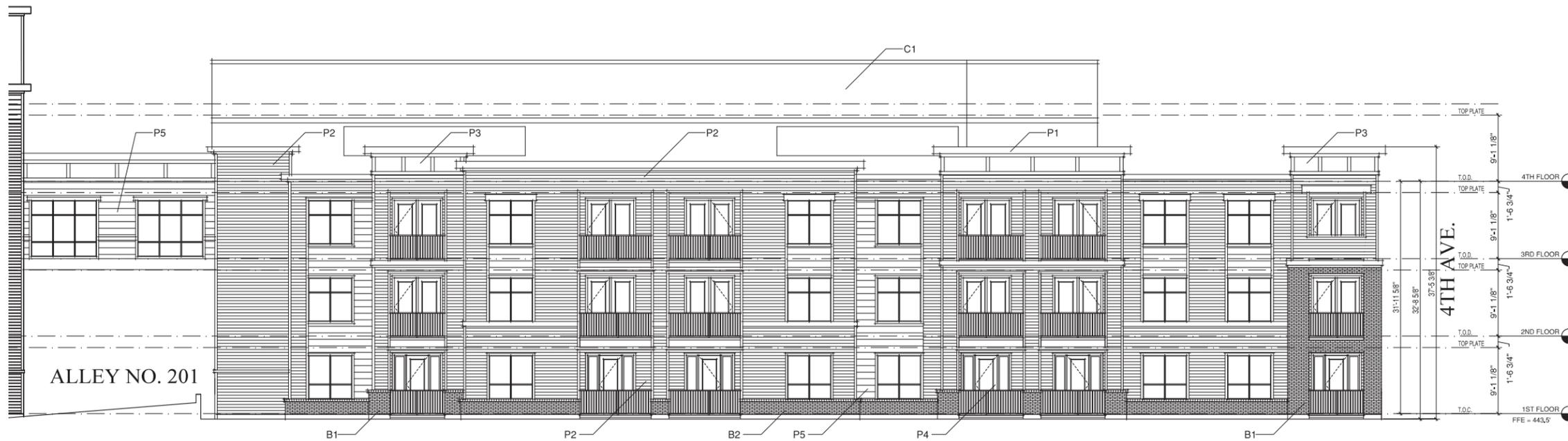
G1- GLASS GUARDRAIL

SMOOTH FACED
 HARDIE SIDING
 5" REVEAL

SMOOTH FACED
 HARDIE SIDING
 10 3/4" REVEAL



2 NORTH ELEVATION
 SCALE 1/8" = 1'-0"



1 NORTH ELEVATION
 SCALE 1/8" = 1'-0"

REVISIONS

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 BLDG. ENLARGED
 ELEVATIONS

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MATERIALS LEGEND

B1- BRICK
 MANUFACTURER: ACME
 COLOR: RED SUNSET
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B2- BRICK
 MANUFACTURER: ACME
 COLOR: BURGUNDY
 SIZE: MODULAR
 MORTAR: PLAIN GRAY

B3- BURNISHED BLOCK
 MANUFACTURER: FEATHERLITE
 COLOR: SADDLE TAN
 SIZE: 8"x16"
 MORTAR: PLAIN GRAY

P1- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'MINDFUL GRAY' - SW7016

P2- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BUNGALOW BIEGE' - SW7511

P3- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'OYSTER WHITE' - SW7637

P4- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'TURKISH COFFEE' - SW6076

P5- PAINT
 MANUFACTURER: SHERWIN WILLIAMS
 COLOR: 'BREVITY BROWN' - SW6068

C1- STAINED CONCRETE

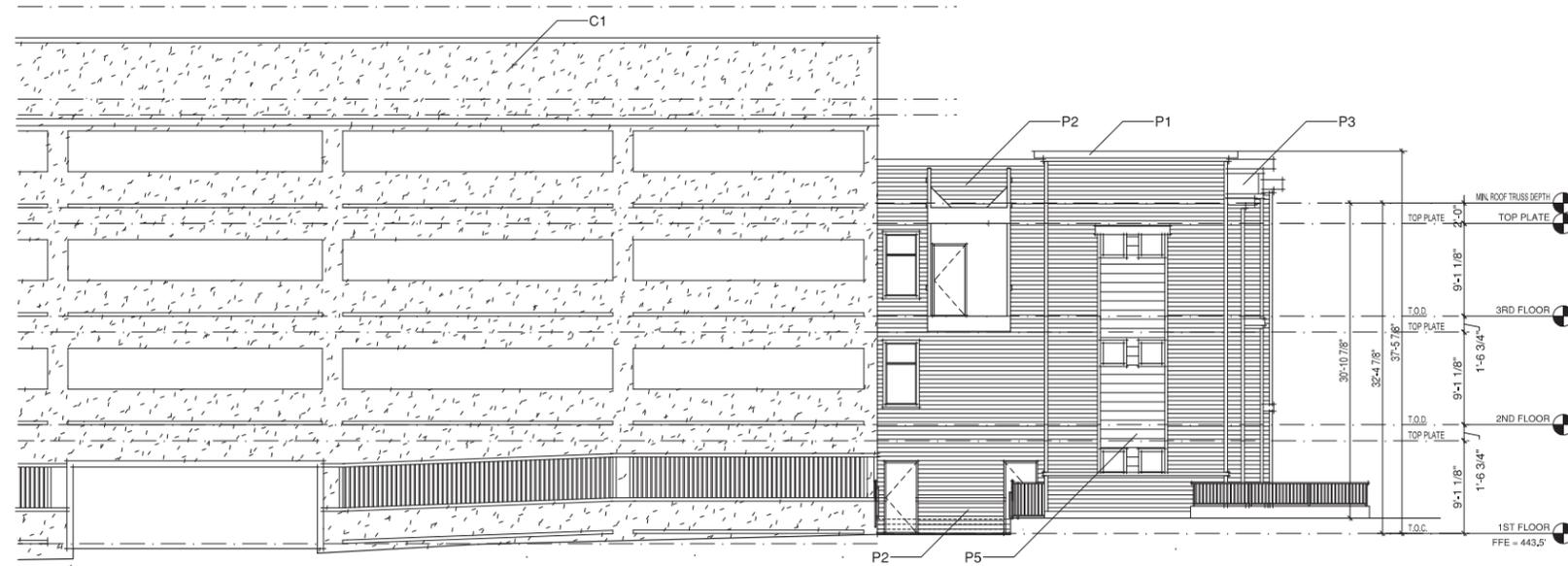
G1- GLASS GUARDRAIL

SMOOTH FACED
 HARDIE SIDING
 5" REVEAL

SMOOTH FACED
 HARDIE SIDING
 10 3/4" REVEAL



2 WEST BUILDING ALLEY ELEVATION
 SCALE 1/8" = 1'-0"



1 WEST BUILDING ALLEY ELEVATION
 SCALE 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

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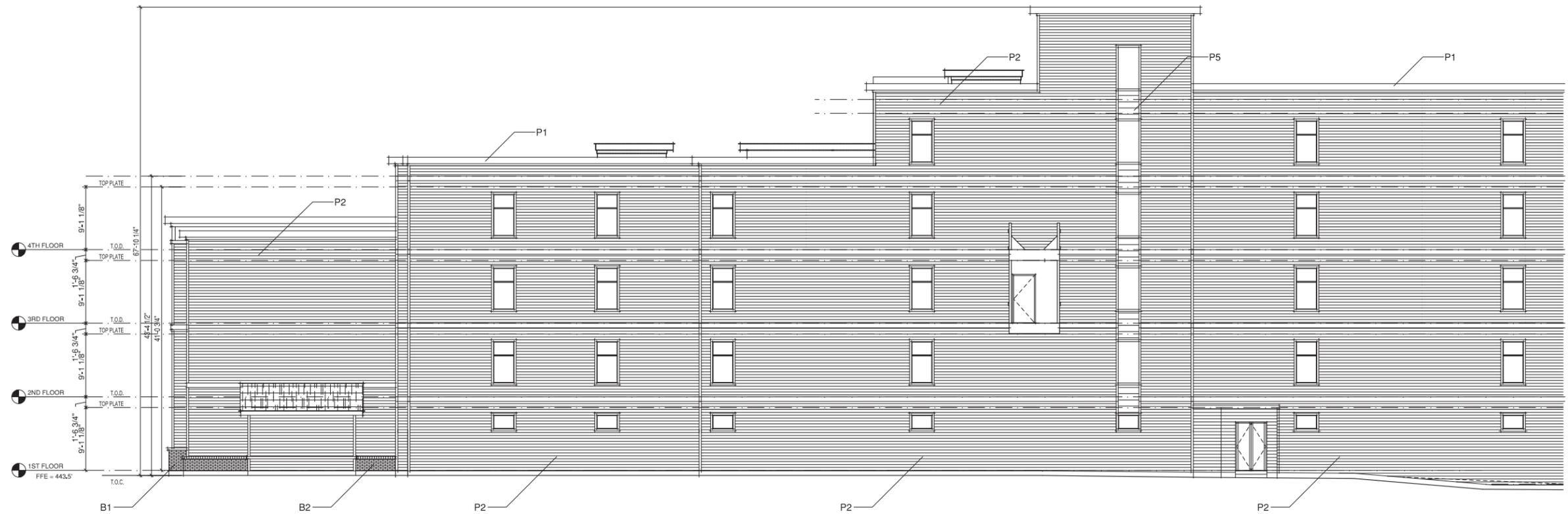
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16
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 ELEVATIONS

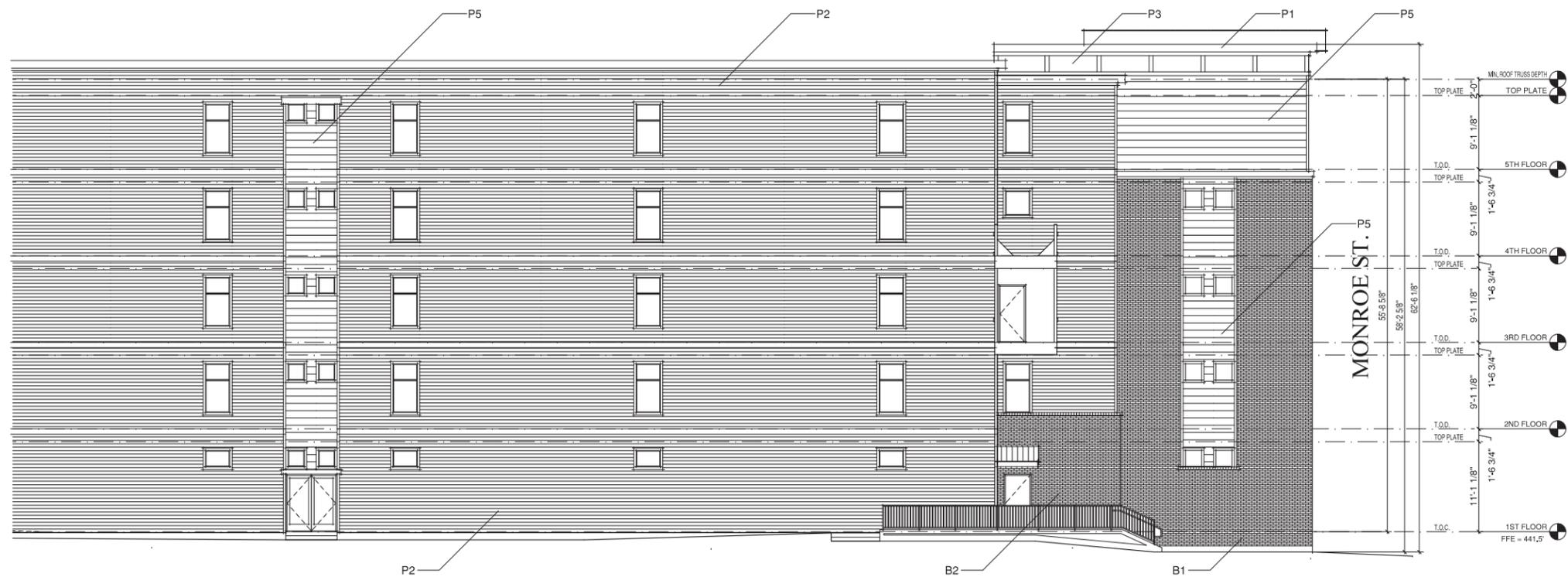
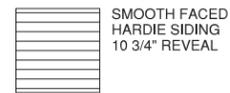
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2 EAST BUILDING ALLEY ELEVATION
SCALE 1/8" = 1'-0"

MATERIALS LEGEND

- B1- BRICK
MANUFACTURER: ACME
COLOR: RED SUNSET
SIZE: MODULAR
MORTAR: PLAIN GRAY
- B2- BRICK
MANUFACTURER: ACME
COLOR: BURGUNDY
SIZE: MODULAR
MORTAR: PLAIN GRAY
- B3- BURNISHED BLOCK
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COLOR: 'MINDFUL GRAY' - SW7016
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COLOR: 'BUNGALOW BIEGE' - SW7511
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MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'OYSTER WHITE' - SW7637
- P4- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'TURKISH COFFEE' - SW6076
- P5- PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: 'BREVITY BROWN' - SW6068
- C1- STAINED CONCRETE
- G1- GLASS GUARDRAIL



1 EAST BUILDING ALLEY ELEVATION
SCALE 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

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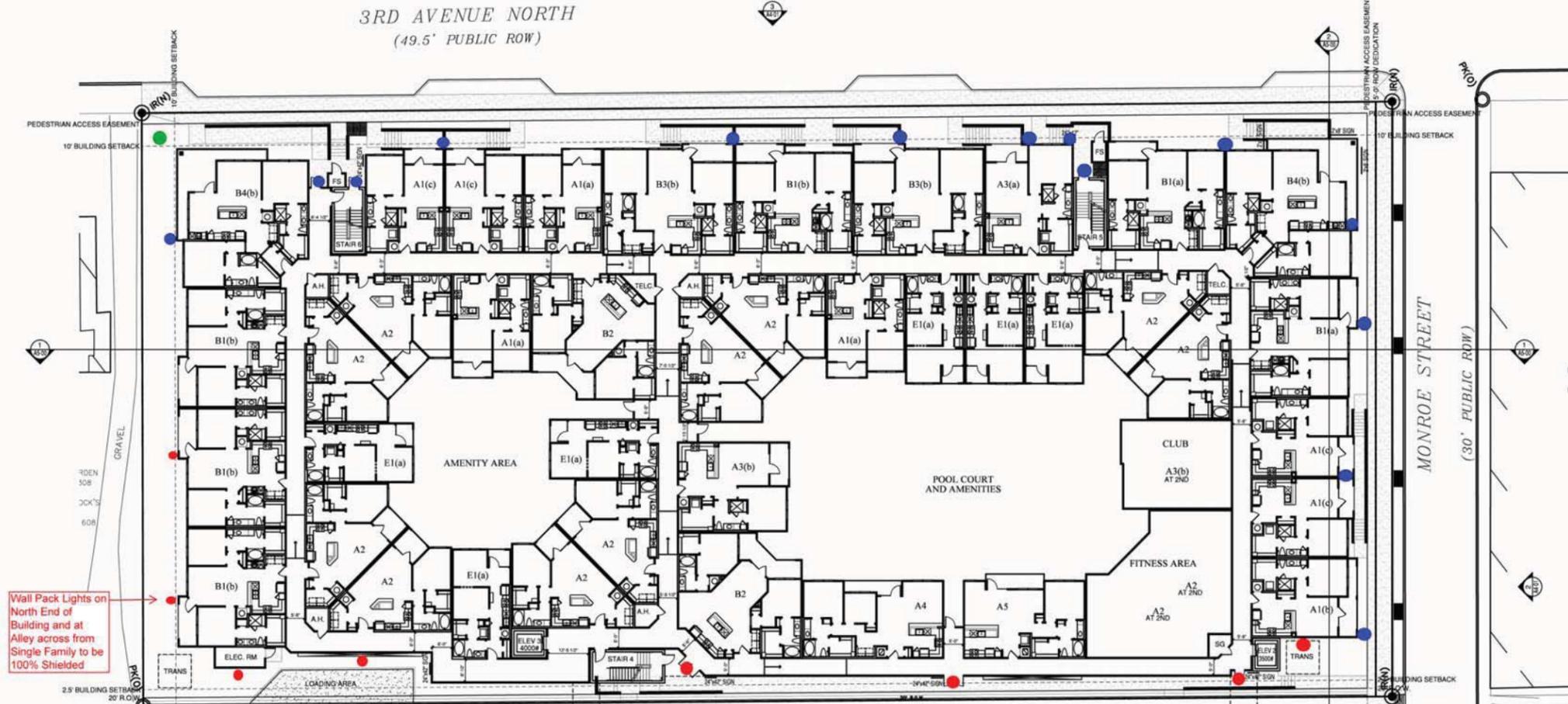
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ELEVATIONS

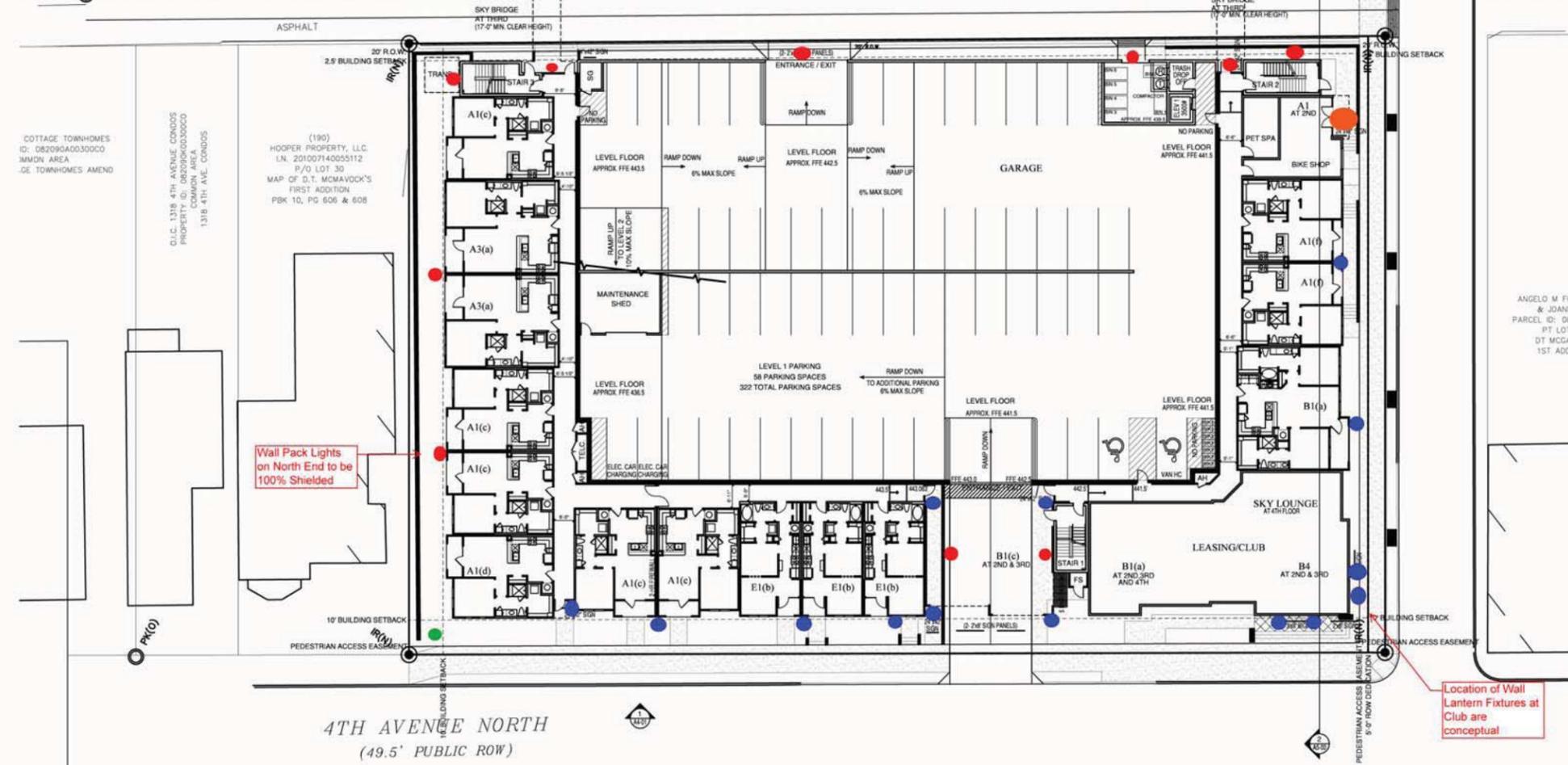
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3RD AVENUE NORTH
(49.5' PUBLIC ROW)

- Light Fixture at Bike Shop Entrance
 - Wall Pack Light
 - Bollard Lighting
 - Wall Lantern Lighting
- Lighting at Unit Decks/Patios to be Recessed Ceiling Mount Light Fixture



Wall Pack Lights on North End of Building and at Alley across from Single Family to be 100% Shielded



Wall Pack Lights on North End to be 100% Shielded

Location of Wall Lantern Fixtures at Club are conceptual

SITE LIGHTING PLAN

4TH AVENUE NORTH
(49.5' PUBLIC ROW)

REVISIONS

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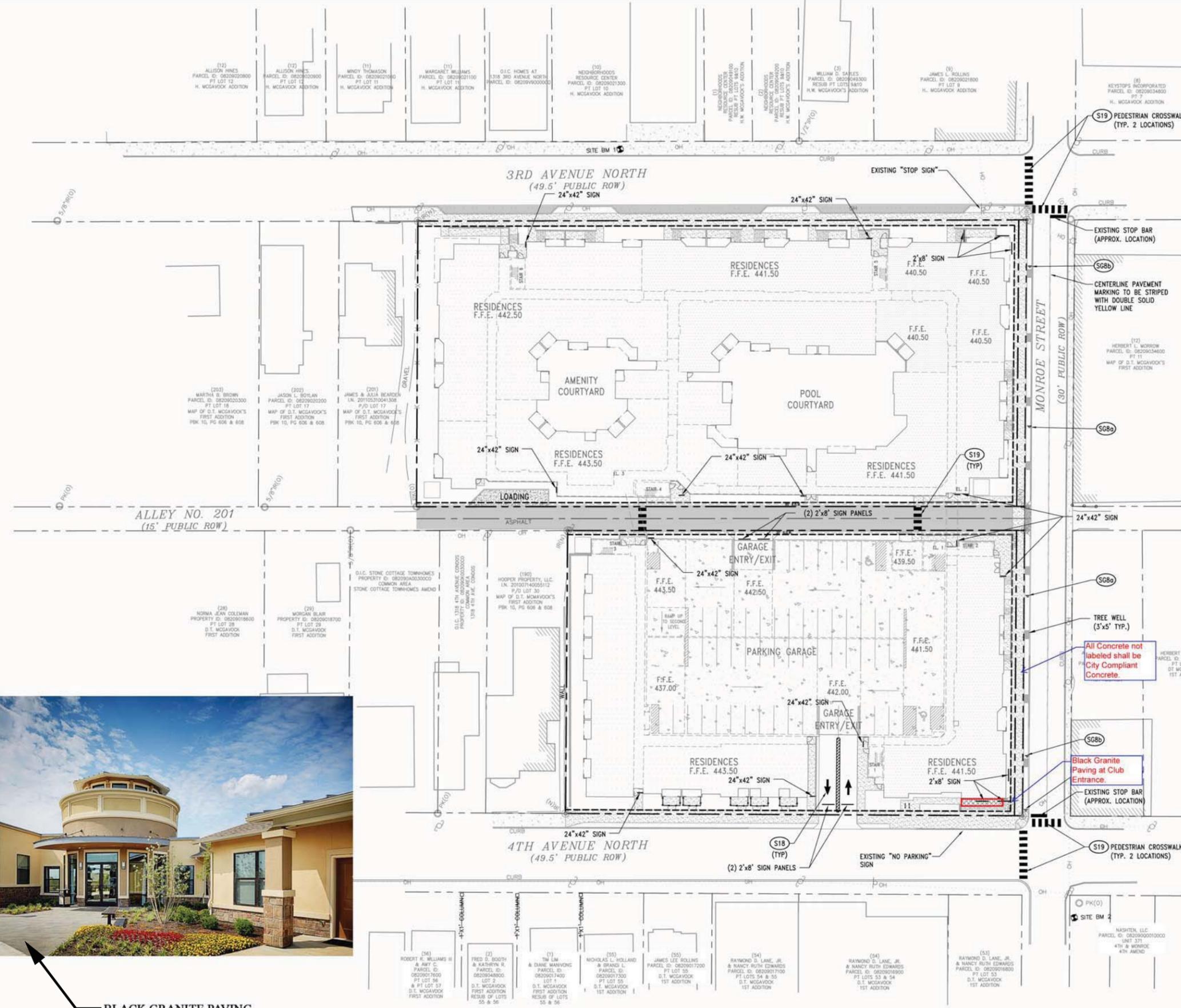
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SHEET NUMBER

18

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SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
(S17)	DRIVEWAY RAMP	.
(S18)	DIRECTIONAL ARROW	.
(S19)	PEDESTRIAN CROSSWALK	.
(S23)	24" PAINTED STOP BAR	.



SIGNAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
(S03)	"STOP" SIGN	.
(S68a)	"NO PARKING" SIGN	.
(S68b)	"NO PARKING TO CORNER" SIGN	.

- NOTE
ALL STRIPING WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
- SITE BM 1:
TAG BOLT ON FIRE HYDRANT NO. 78V3 EASTERN ROW OF 3RD AVE N. 270'± FROM THE NORTHERN ROW OF MONROE ST.
ELEV: 440.73
 - SITE BM 2:
TAG BOLT ON FIRE HYDRANT NO. 92V6 AT THE SOUTHWESTERN INTERSECTION OF ROW OF 4TH AVE N. AND MONROE ST.
ELEV: 441.21
 - PROJECT BM:
NAVD 88 (GPS DERIVED)



BLACK GRANITE PAVING

SPECIALTY PAVING PLAN

REVISIONS

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SHEET NUMBER

19

EXTERIOR SIGNAGE

- ① 24"x42" WALL HUNG PANEL SIGN (WALL MOUNTED LIGHT)
- ② 24"x42" BACKLIT SIGN
- ③ 24"x96" BLADE SIGN (WALL MOUNTED LIGHT)
- ④ 24"x96" GARAGE HUNG PANEL SIGN
- ⑤ 24"x96" WALL/STOOP HUNG PANEL SIGN (WALL MOUNTED LIGHT)

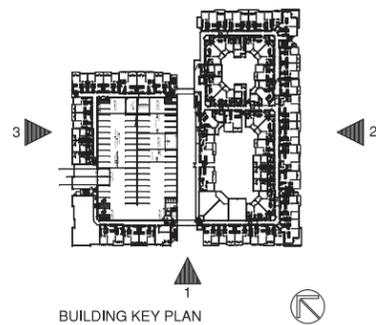
NOTE: SIGNAGE SHOWN FOR DESIGN INTENT OF SQUARE FOOTAGE, PROPORTIONS, AND GENERAL LOCATIONS ONLY. FINAL SIGNAGE WILL COMPLY WITH REZONING APPROVAL CONDITIONS, BUT FINAL DIMENSIONS AND LOCATIONS TO BE DETERMINED.



3 WEST (4TH AVE.) ELEVATION
(SEE SHEET 13)



2 EAST (3RD AVE.) ELEVATION
(SEE SHEET 14)



1 SOUTH (MONROE ST.) ELEVATION
(SEE SHEET 12)

REVISIONS

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20
SIGNAGE
PLAN

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