



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION

1200 7<sup>th</sup> Avenue N, 1204 7<sup>th</sup> Avenue N, 1206 7<sup>th</sup> Avenue N 604 Madison Street,  
1201 6<sup>th</sup> Avenue N, 1205 6<sup>th</sup> Avenue N, 1207 6<sup>th</sup> Avenue N  
May 20, 2015

**Application:** New construction-infill

**District:** Germantown Historic Preservation Zoning Overlay

**Council District:** 19

**Map and Parcel Number:** 08213018900, 08213019000, 08213019100, 08213017900,  
08213018000, 08213018100, 08213018800

**Applicant:** Manuel Zeitlin, Architect

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** This is a proposal to construct a mixed-use development on what are currently seven parcels along Sixth and Seventh Avenues North and Madison Street. The project includes two- and three-story buildings which will be twenty-five feet (25') and forty-six feet (46') tall, respectively. The project requires a rezoning to a Specific Purpose Plan (SP), so the current proposal is for approval of the overall massing only. If the SP is approved by the Planning Commission, the project will return to the Commission for final review.

**Recommendation Summary:** Staff recommends approval with the conditions that:

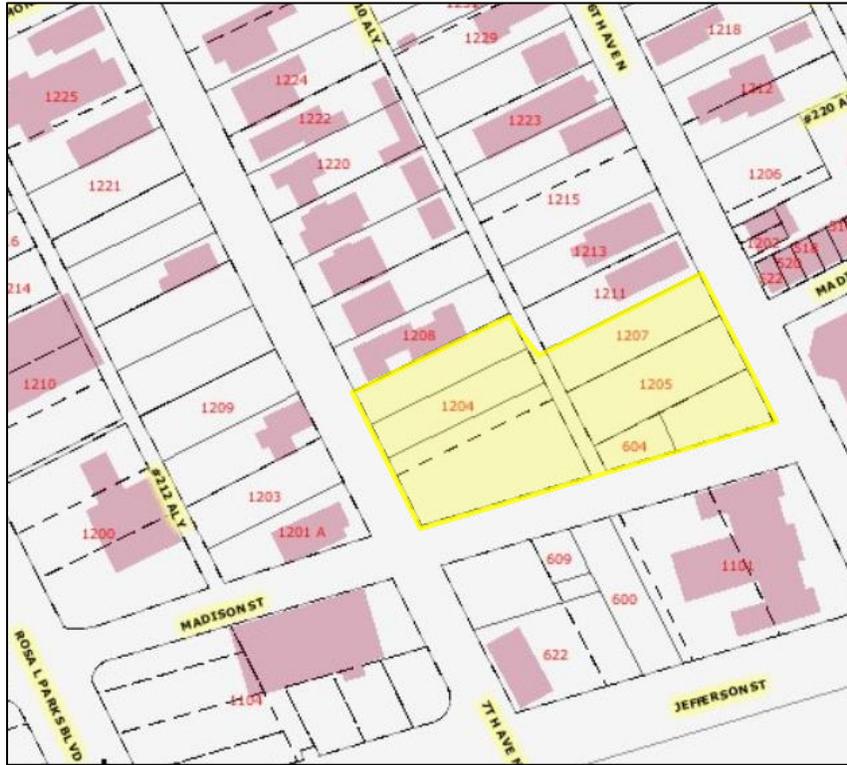
- Walkways be added to connect the stoops to the sidewalk; and,
- If the SP is approved by the Planning Commission, the applicant will return to the Commission with a second application for review of materials; windows and doors; proportion and rhythm of openings; porches and stoops, fences and walls, appurtenances and utility locations; and the overall detailing of the proposal.

With these conditions, Staff finds the massing of the project to meet the design guidelines for new construction in the Germantown Historic Preservation Zoning Overlay.

### Attachments

- A:** Photographs
- B:** Site Plan
- C:** Massing Drawings

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### 2.0 New Construction within historic context

#### 2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.
- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

#### 2.2 Site and Building Planning

##### 2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.
5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

##### 2.2.3 Massing and Scale

1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

##### 2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings. *Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.*  
*Generally, historic single-family residential structures are one or two stories in height.*

*Special features of limited height such as towers or turrets may be acceptable.*

*Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.*

*Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.*

### **2.3 Foundations**

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

### **2.7 Roof**

- 2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. *(Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12).*
- 2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*
- 2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

## **5.0 Site Improvements/ Appurtenances**

*Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.*

*Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.*

### **5.2 Sidewalks**

- 5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.
- 5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.
- 5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.
- 5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.
- 5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

### **5.3. Paving/Driveways/Parking Areas and Parking Lots**

- 5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

- 5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.
- 5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.
- 5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.
- 5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.
- 5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged. Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.
- 5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or inance must comply with these design guidelines.
- 5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

**Background:** This proposal is for a mixed-use development on what are currently seven parcels along Sixth and Seventh Avenues North and Madison Street. There are no buildings on the lots; they are all currently used for surface parking. The project requires a rezoning to a Specific Plan (SP), so the current proposal is for approval of the overall massing only. If the SP is approved by the Planning Commission, the project will return to the Commission for final review. Any details shown in this application are for illustration purposes only and should not be included in the decision about the appropriateness of the massing.

### **Analysis and Findings:**

**Height, Scale:** The project includes two- and three-story buildings which will be twenty-five feet (25') and forty-six feet (46') tall from grade to top of parapet walls, respectively. There are one-story historic houses on the two adjacent lots north of the development site on Sixth and Seventh Avenues North, and a three-story historic institutional building (Elliott School) to the south across Madison Street. The design guidelines state that the height of new infill should be compatible with adjacent historic buildings. Staff finds the forty-six foot (46') tall component on the south half of the development to be appropriate because the adjacent historic Elliott School is also approximately forty-six feet (46') tall from grade. As the project moves into the smaller scale of single-family buildings within the interior of the district, the proposed buildings drops to twenty-five feet (25'), which is compatible with the historic buildings in that northern portion of the district. Staff finds the heights of the proposed buildings to be compatible with the historic context and to meet guidelines 2.1 and 2.2.

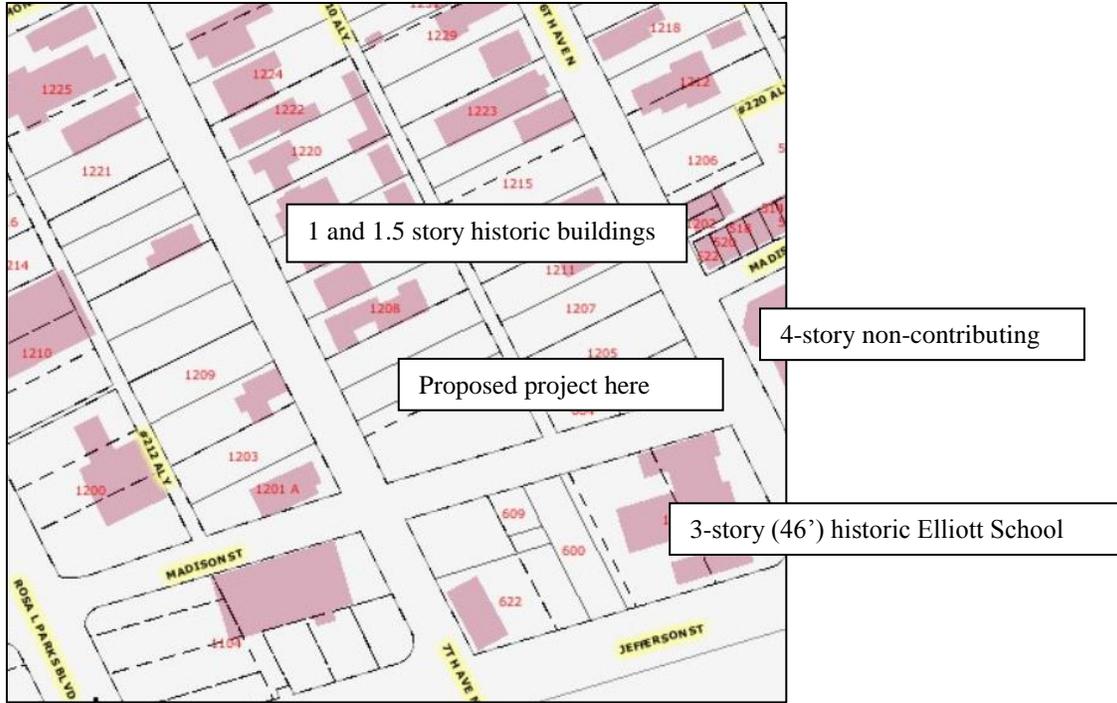
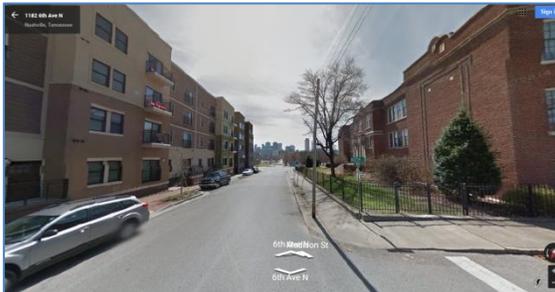


Figure 1: The surrounding historic context shows that the additional height of forty-six feet, in keeping with the Elliott School can be appropriate; however, the building should step down on the north side to meet the smaller historic context found there.



Figures 2 and 3: Across from the proposed development is the three-story historic Elliott School and a four-story infill building (left). On the northern portion of the development is a smaller scale of one and one and one-half story buildings (right).

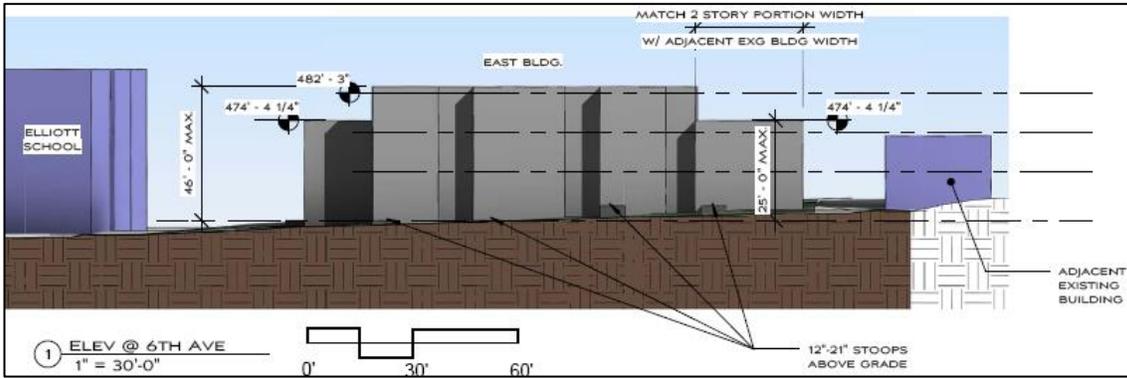


Figure 4: Proposed east elevation in surrounding context. Both adjacent buildings are historic and show how the context varies from the southern end to the northern end of the projects.

**Setback & Rhythm of Spacing, Orientation:** The fronts of the buildings along Sixth and Seventh Avenues North will be aligned with the adjacent historic structures to the north. These facades will continue to the corners at Madison Street, but will be articulated with inset walls and bays so as to break up the wall into components consistent with the rhythm of spacing between most historic houses on the street.

The Madison Street façade will be similarly articulated to match the rhythm of spacing of the surrounding context. This south façade will be angled to the street, with the setbacks increasing to the east. This orientation is in keeping with the historic context, as Madison Street is not perpendicular to the numbered Avenues in Germantown.

Staff finds the proposal to meet guidelines 2.1 and 2.2.

**Roof form:** The roofs of the buildings will be flat with parapets at the perimeter. Flat roofs are common in Germantown on both non-historic and historic buildings, including the three-story historic Elliot School building across Madison Street from the proposed infill. Staff finds the proposal to meet guidelines 2.1 and 2.7.

**Site improvements:** There is an alley cutting down the center of the proposed development. All vehicular access will be from the alley and all parking will be internal to the project. Staff recommends walkways leading from the stoops to the sidewalks.

**Recommendation:** Staff recommends approval with the conditions that:

- Walkways be added to connect the stoops to the sidewalk; and,
- If the SP is approved by the Planning Commission, the applicant will return to the Commission with a second application for review of materials; windows and doors; proportion and rhythm of openings; porches and stoops, fences and walls, appurtenances and utility locations; and the overall detailing of the proposal.

With these conditions, Staff finds the massing of the project to meet the design guidelines for new construction in the Germantown Historic Preservation Zoning Overlay.



1200 7<sup>th</sup> Avenue North, from intersection of 7<sup>th</sup> and Madison Street.



1200 7<sup>th</sup> Avenue North, from intersection of 6<sup>th</sup> and Madison Street.

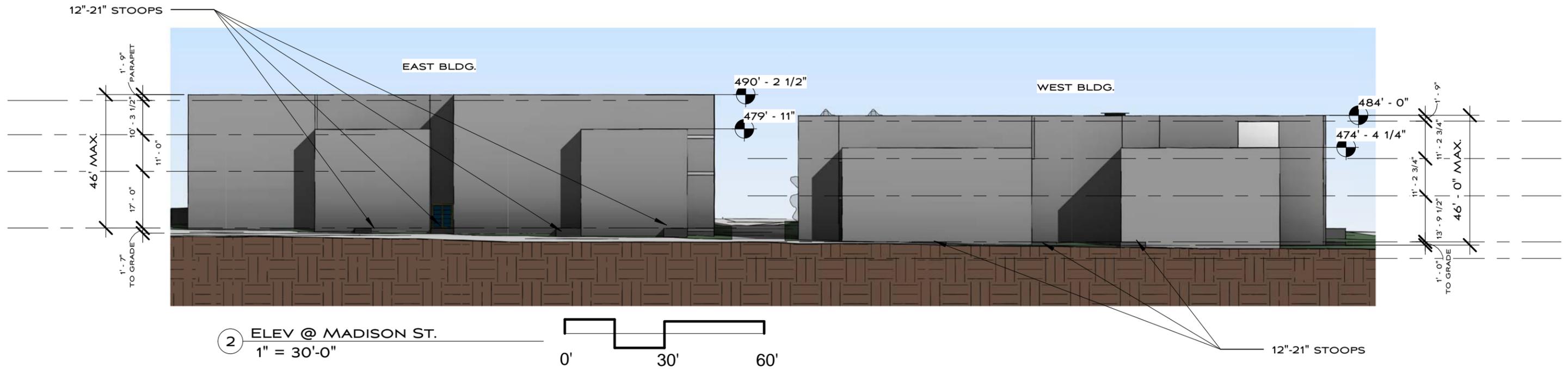


1101 6<sup>th</sup> Avenue North, Elliot School, across Madison Street from forty-six foot (46') tall component of proposed infill.

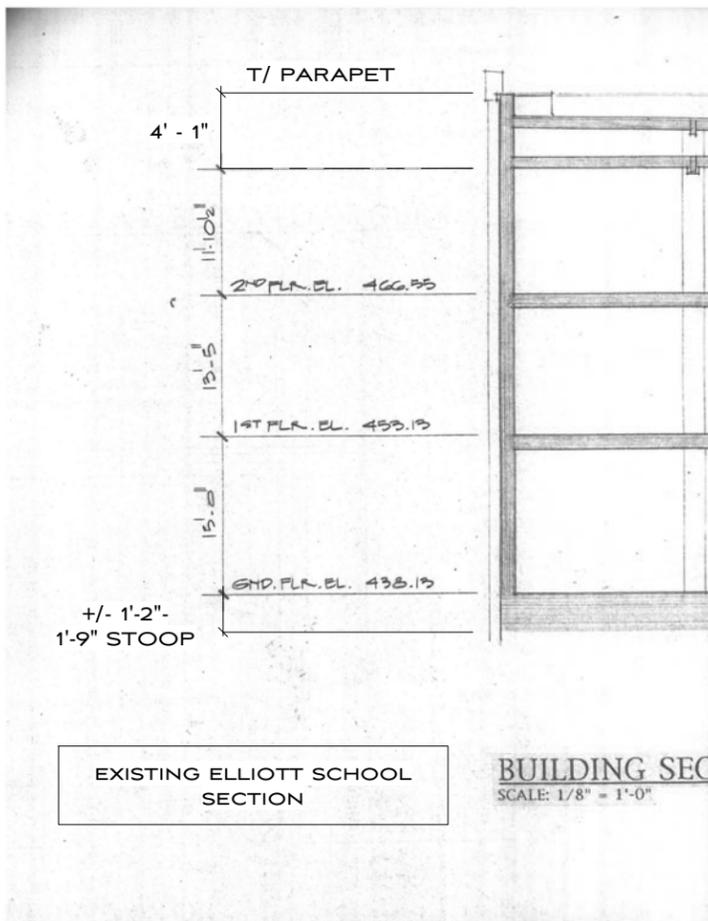
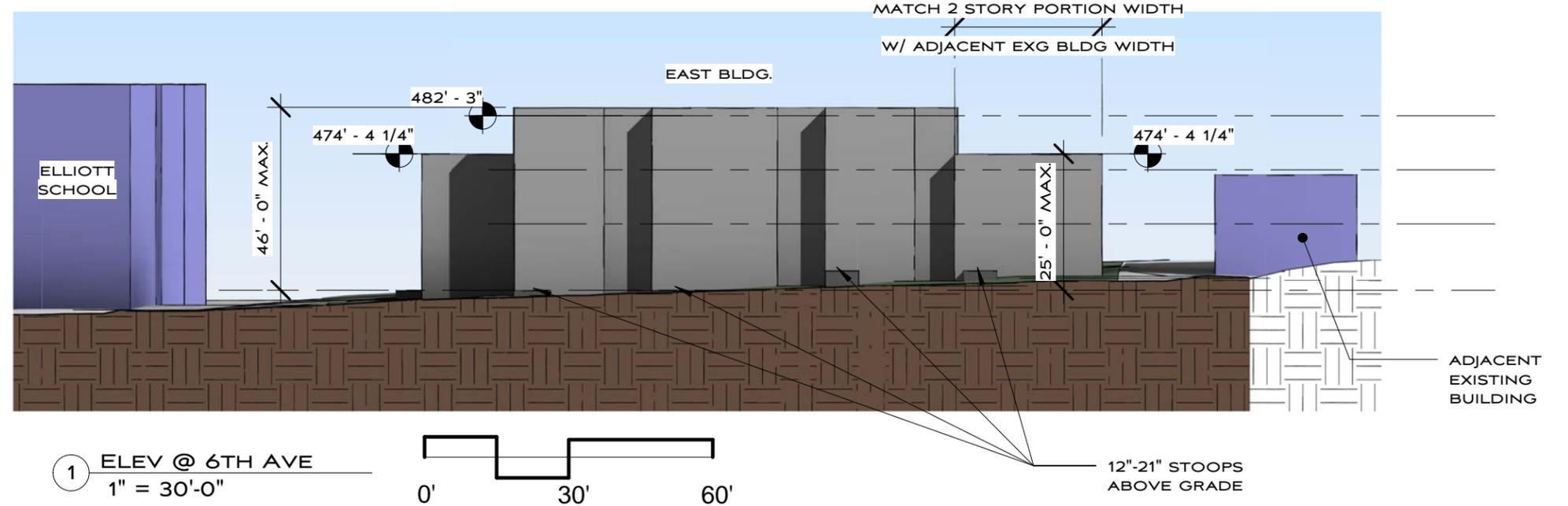


1211 6<sup>th</sup> Avenue North, adjacent to twenty-five foot (25') tall component of proposed infill.





- 46' - 0" MAX. HEIGHT OF 3 STORY BUILDINGS BASED ON:**
- 14' - 21" STOOPS
  - 40' - 2" TO CLNG OF 3RD FLOOR BASED ON ELLIOTT SCHOOL
  - 4' - 1" CLNG OF 3RD FLOOR TO TOP OF PARAPET
- 25' - 0" MAX. HEIGHT OF 2 STORY PORTIONS BASED ON:**
- 14" STOOPS
  - 10' - 0" CLEAR @ 1ST FLOOR & 2ND FLOORS
  - 2' - 6" TO TOP OF PARAPET



EXISTING STREET VIEW IMAGES

1200 7TH AVE. NORTH

ELEVATIONS

HIST. SUBMITTAL

30 APRIL 2015

**A200**

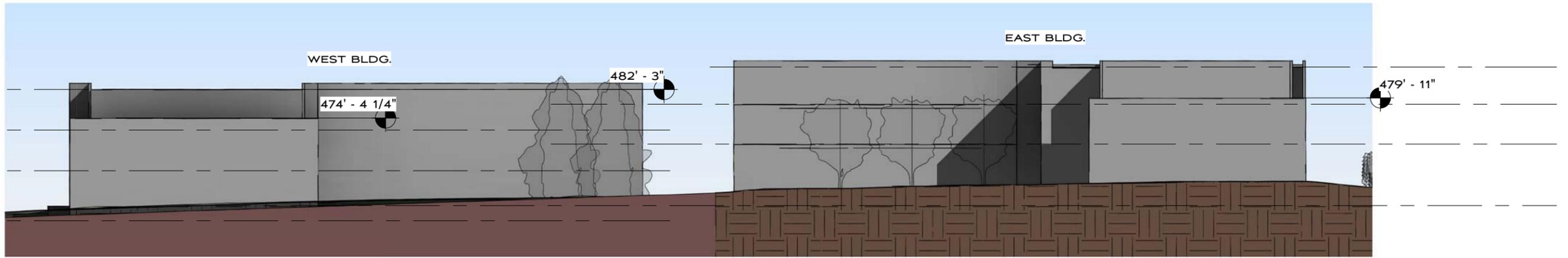
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MANUEL ZEITLIN ARCHITECTS

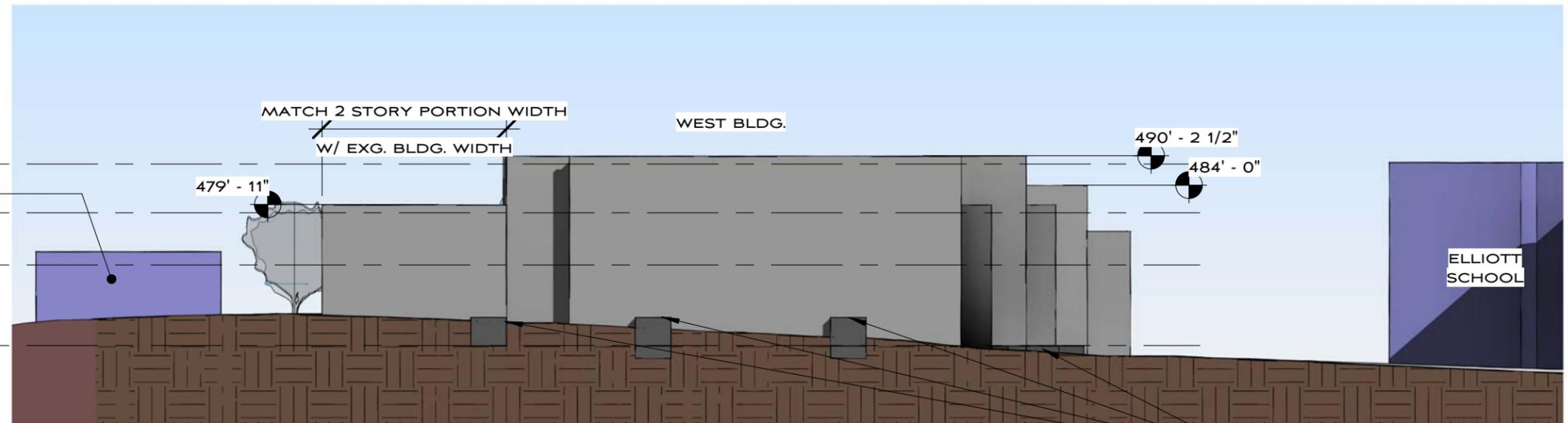
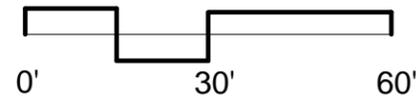


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FAX 615 256.4839

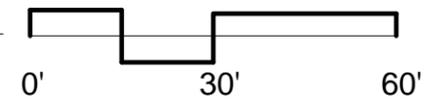
516 HAGAN ST, STE. 100 NASHVILLE, TN 37203



② NORTH ELEV  
1" = 30'-0"



① ELEV @ 7TH AVE  
1" = 30'-0"



③ AXON VIEW



1200 7TH AVE. NORTH

ELEVATIONS

HIST. SUBMITTAL

30 APRIL 2015

**A201**

14104

MANUEL ZEITLIN ARCHITECTS



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