

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

994 McFerrin Avenue

January 20, 2016

Application: New construction—infill

District: Greenwood Neighborhood Conservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08204042200

Applicant: Urban Development Group

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct infill on a vacant lot with a footprint of fourteen hundred and thirty six square square feet (1436 ft²).

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. Staff approve the roof color and masonry color, dimensions and texture;
4. The HVAC shall be located behind the house or on the interior side facade, beyond the mid-point of the house; and
5. The driveway/curb cut for the site be a shared driveway with the site next door at 998 McFerrin, accessed via the "20' access easement" shown on the subdivision plat.

With these conditions, staff finds that the project meets Section II.B. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

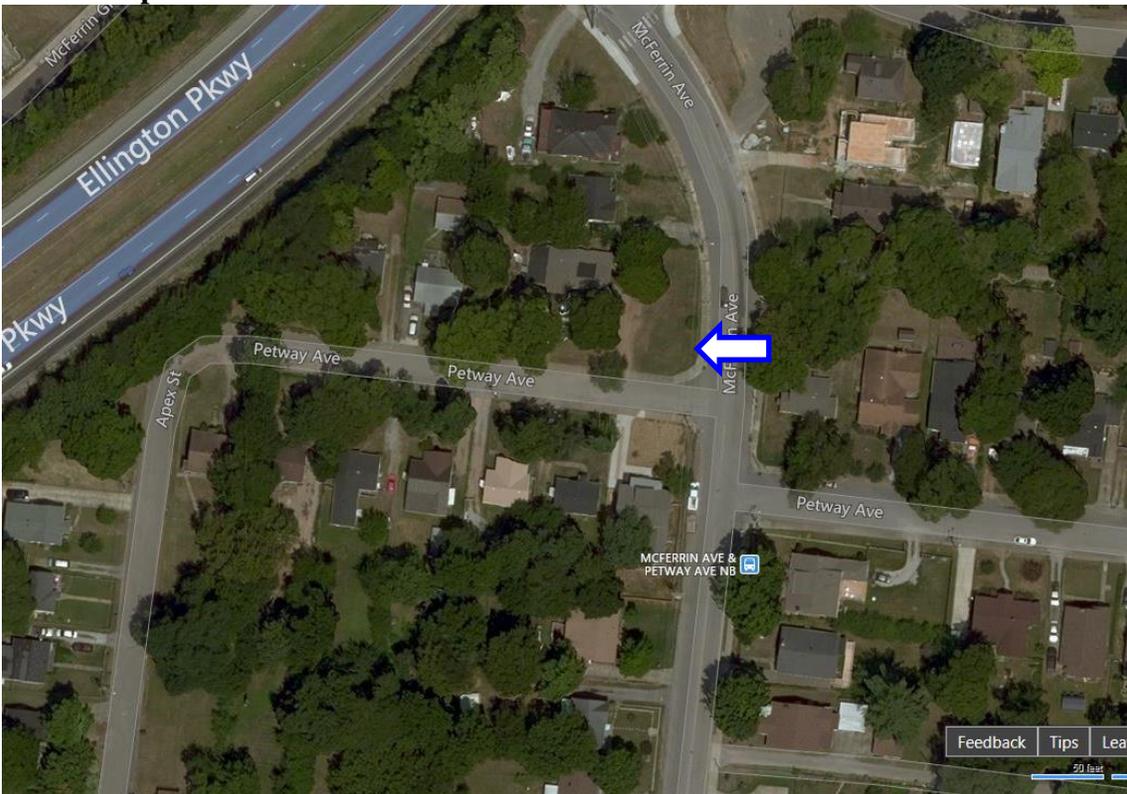
Attachments

- A: Photographs
- B: Subdivision plan
- C: Site Plan
- D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11-type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: In June 2015, 994 McFerrin Avenue was subdivided from the lot at 998 McFerrin Avenue (Figures 1 & 2). The lot is located at the northwest corner of McFerrin and Petway Avenues.



Figure 1. 994 McFerrin Site. To the right of the empty lot is 998 McFerrin Avenue. Until June, this was one lot.

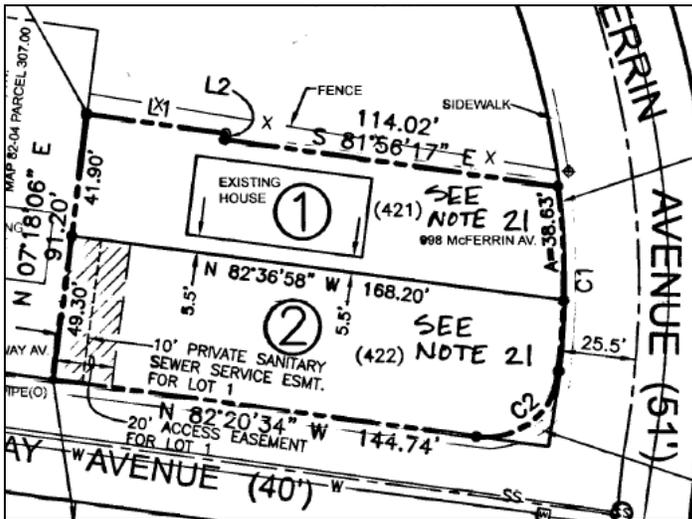


Figure 2. The subdivision plat for 994 and 998 McFerrin Avenue

Analysis and Findings: Application is to construct infill on a vacant lot.

Height & Scale: The proposed infill will be one and a half stories with an eave height of approximately twelve feet (12') from grade and a ridge height of approximately twenty-seven feet (27') from grade. Staff finds that this meets the historic context, where houses are largely one and one-and-a-half stories and range in height from eighteen feet to thirty-one feet (18'-31'). The foundation height is drawn as two to three blocks tall, and staff recommends approval of the foundation height and finished floor system height during construction to ensure that they are compatible with the adjacent historic structure. The infill will be approximately thirty-three feet (33') wide and forty-four feet (44') deep, with a footprint of approximately one thousand, four hundred, and thirty-five square feet (1,435 sq. ft.). Staff finds that the width and depth of the house meets the historic context, where houses range in width from thirty-one feet to forty-two feet (31'-42'). Staff finds that the proposed infill meets Sections II.B.1.a. and b. of the design guidelines.

Setback & Rhythm of Spacing: The proposed infill meets all base zoning setbacks. It will be at least ten feet (10') from the Petway Avenue side property line, and at least five feet (5') from the right/interior side property line. The infill's front setback will match that of the historic house next door at 998 McFerrin Avenue. Staff finds that the infill's setbacks and rhythm of spacing meet Section II.B.1.c. of the design guidelines.

Materials: The infill's primary cladding material will be five inch (5'), smooth face cement fiberboard siding. The front bay and the side gables will be clad in smooth cement fiberboard panels and cement fiberboard board-and-battens. The trim will be wood or cement fiberboard. The foundation will be split face concrete block, and the roof will be dimensional architectural shingles. Staff recommends approval of the shingle color. The porch floor and steps will be concrete, and the porch posts will be cedar. The window and door specifications were not indicated, and staff recommends approval of all windows and doors prior to purchase and installation. With the staff's approval of the shingle color and all windows and doors, staff finds that the project meets Section II.B.1.d. of the design guidelines.

Roof form: The primary roof form will be a side cross gable with a slope of 8/12. The front bay will also have a gable form with a slope of 8/12. The rear dormer will be a shed dormer with a slope of 3/12. Staff finds that the proposed roof forms are compatible with the historic context and meet Section II.B.1.e. of the design guidelines.

Orientation: The infill will be oriented to face McFerrin Avenue, which is appropriate. It will have a six foot (6') deep, partial width front porch. A walkway from McFerrin Avenue to the front porch entry will be added.

The subdivision plat for the lot shows a twenty-foot (20') access easement at the rear of the lot. This is to allow for vehicular access to the adjacent property at 998 McFerrin Avenue (See Figure 2). The site plan for the infill at 994 McFerrin indicates that an additional driveway and parking pad will be created, using an existing curb cut about fifteen feet (15') from the back of the house (Figure 3). Staff recommends that 994 McFerrin Avenue share the vehicular access easement with 998

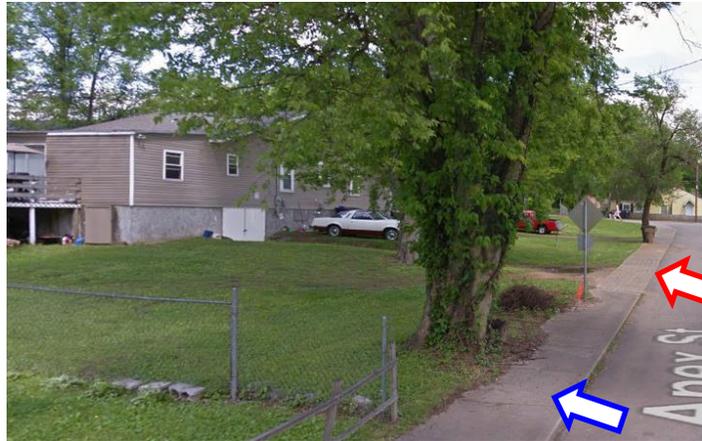


Figure 3. The blue arrow shows the approximate location of the 20' access easement, and the red arrows shows the existing curb cut and proposed area for the new parking pad.

McFerrin, via a shared drive with a parking pad off of that driveway to avoid what would essentially be a forty-foot (40') wide curb cut. With this condition, staff finds that the infill's orientation meets Section II.B.1.f. of the design guidelines.

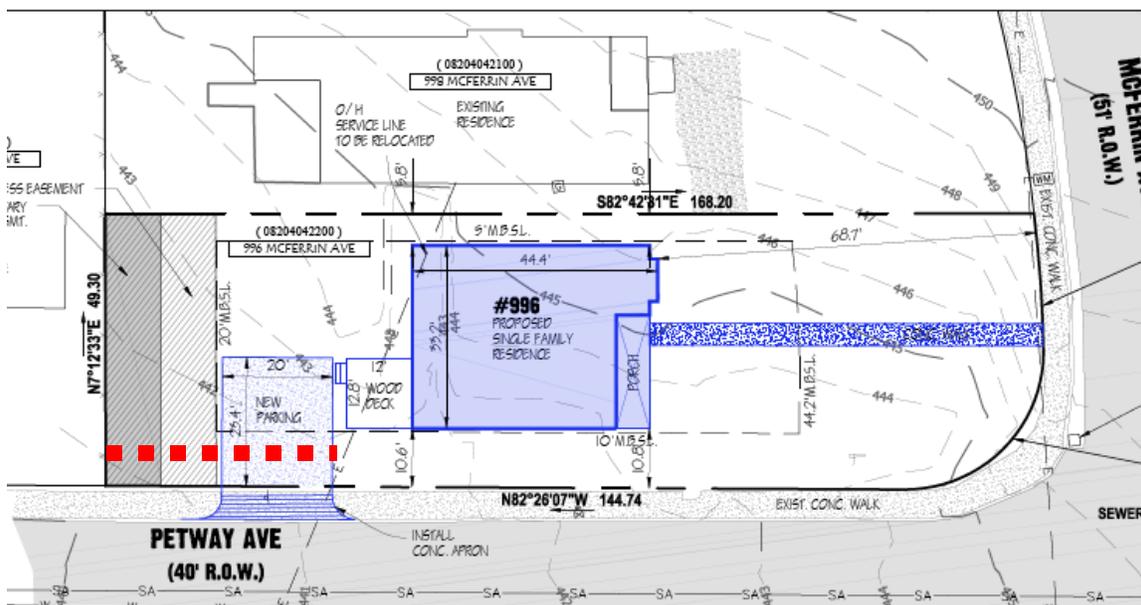


Figure 4: Dashed line represents the 40' proposed curb cut. Generally, curb cuts should be no more than 12'; however, planning has approved a 20' curb cut at this location.

Proportion and Rhythm of Openings: The infill's windows are generally twice as tall as they are wide, and the windows on the ground floor are generally larger than those on the second story. The windows therefore meet the historic proportion of window openings. There are no large expanses of wall space without a door or window opening. Staff finds that the project's proportion and rhythm of openings meet Section II.B.1.g. of the design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities was not indicated on the site plan. Staff asks that the HVAC be located on the rear façade, or on the interior side façade, beyond the midpoint of the house.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. Staff approve the roof color and masonry color, dimensions and texture;
4. The HVAC shall be located behind the house or on the interior side facade, beyond the mid-point of the house; and
5. The driveway/curb cut for the site be a shared driveway with the site next door at 998 McFerrin, accessed via the “20’ access easement” shown on the subdivision plat.

With these conditions, staff finds that the project meets Section II.B. of the *Greenwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Context Photos:



Northwest corner of Petway Avenue and McFerrin Avenue



998 and 1000 McFerrin Avenue, north of the site.



901 Petway Avenue, directly across the street from the site



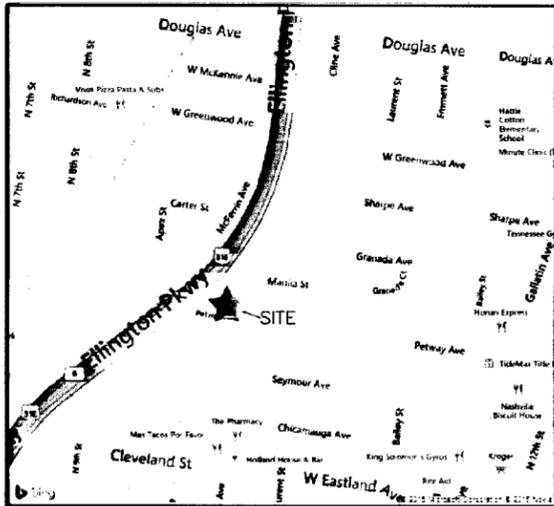
Across McFerrin Avenue from the site, looking north



Across Petway Avenue from the site, Petway Avenue between McFerrin Avenue and Ellington Parkway



Looking south along McFerrin Avenue from Petway Avenue



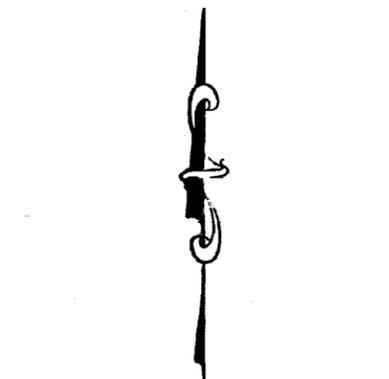
LOCATION MAP

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	290.82'	88.82'	88.48'	N 02°05'12" E	17°29'57"

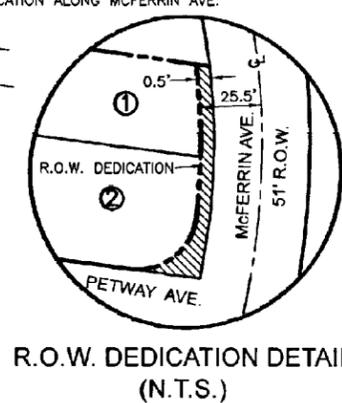
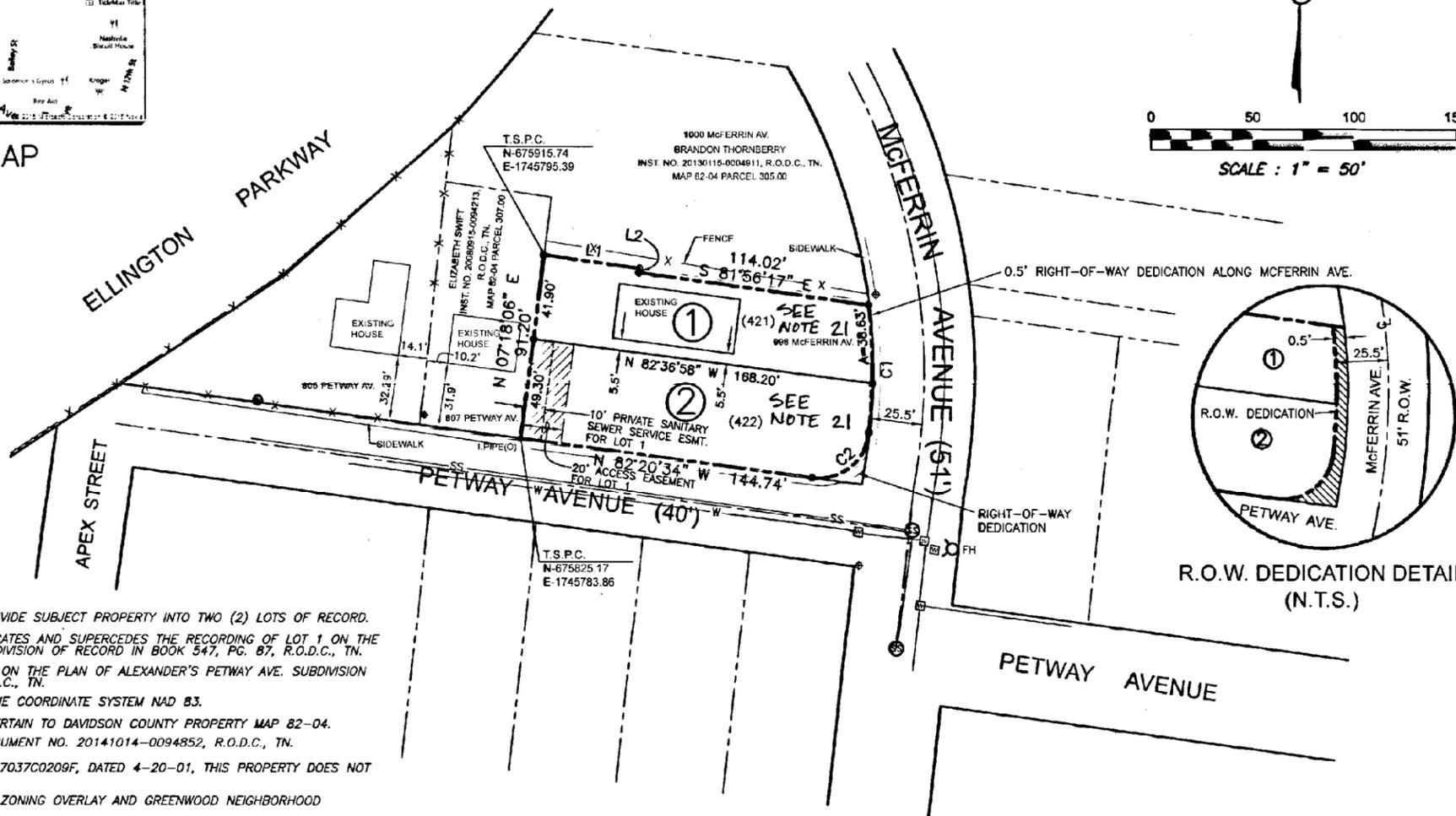
LINE	BEARING	DISTANCE
L1	S 81°56'17" E	47.42'
L2	S 08°03'43" W	2.00'

LOT	AREA S.F.
LOT 1	6526 S.F.
LOT 2	8291 S.F.

PLAT CONTAINS - 14,817 S.F.±



SCALE : 1" = 50'



- NOTES:
1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE SUBJECT PROPERTY INTO TWO (2) LOTS OF RECORD.
 2. THE RECORDING OF THIS PLAT Voids, Vacates and Supercedes the recording of Lot 1 on the Plan of Alexander's Petway Ave. Subdivision of Record in Book 547, Pg. 87, R.O.D.C., TN.
 3. PROPERTY IS SHOWN AS PART OF LOT 1 ON THE PLAN OF ALEXANDER'S PETWAY AVE. SUBDIVISION OF RECORD IN BOOK 547, PG. 87, R.O.D.C., TN.
 4. NORTH BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 5. PARCEL NUMBERS SHOWN THUS (306) PERTAIN TO DAVIDSON COUNTY PROPERTY MAP 82-04.
 6. DEED REFERENCE : AUTUMN KEY - INSTRUMENT NO. 20141014-0094852, R.O.D.C., TN.
 7. ACCORDING TO F.I.R.M. FLOOD MAP NO. 47037C0209F, DATED 4-20-01, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA.
 8. PROPERTY IS ZONED RS5 WITH A URBAN ZONING OVERLAY AND GREENWOOD NEIGHBORHOOD CONSERVATION OVERLAY.
 9. MINIMUM BUILDING SETBACKS TO BE DETERMINED BY METRO ZONING ORDINANCE.
 10. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 11. THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008-328 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
 12. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METROPOLITAN STORMWATER MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" CMP).
 13. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 14. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
 15. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL, VOLUME 1 REGULATIONS.
 16. INDIVIDUAL WATER AND SANITARY SEWER SERVICE LINES WILL BE REQUIRED FOR EACH LOT.
 17. A PRESSURE REDUCING VALVE IS REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN THE PRESSURE EXCEEDS 100 P.S.I. AND A PRESSURE REDUCING VALVE IS REQUIRED ON THE STREET SIDE OF THE METER WHEN THE PRESSURE EXCEEDS 150 P.S.I.
 18. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHALL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 19. RAISED FOUNDATIONS OF 18"-36" ARE REQUIRED FOR RESIDENTIAL BUILDINGS.
 20. THE OWNER OF LOT 1 IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF THE PRIVATE SEWER SERVICE LINE WHICH IS LOCATED IN A 10' PRIVATE SEWER SERVICE LINE EASEMENT CROSSING A PORTION OF LOT 2 AS SHOWN ON THIS PLAT.
 21. ACCESS TO LOTS 1 AND 2 IS RESTRICTED TO THE JOINT USE EASEMENT ON PETWAY AVENUE. NO LOTS SHALL HAVE ACCESS VIA MCFERRIN AVENUE.

LEGEND

	AREA DRAIN
	CATCH BASIN
	LIGHT POLE
	UTILITY POLE
	OVERHEAD POWER LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	CLEAN OUT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	WATER LINE
	GAS LINE
	GAS METER
	GAS VALVE
	PHONE MANHOLE
	CONC. MONUMENT
	IRON PIN (OLD)
	IRON PIN (NEW)
	CONTOUR LINE (EXISTING)
	CONTOUR LINE (PROPOSED)
	FENCE LINE



Subdivision No. 2015S-038-001
FINAL PLAT
RE-SUBDIVISION OF
LOT 1
ALEXANDER'S PETWAY AVE.
SUBDIVISION

PROPERTY LOCATED AT 998 MCFERRIN AVENUE
 IN THE CITY OF NASHVILLE
 5th COUNCILMANIC DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 COUNCILMEMBER - SCOTT DAVIS

DATE : FEBRUARY 5, 2015
 SCALE : 1" = 50'

OWNER :
 AUTUMN KEY
 998 MCFERRIN AVENUE
 NASHVILLE, TN. 37206

OWNERS CERTIFICATE

I (We) hereby certify that I am (we are) the Owner(s) of the property shown hereon as evidenced in Instrument Number 20141014-0094852.

R.O.D.C., Tennessee and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot or lots as shown hereon shall again be subdivided, resubdivided, altered or changed so as to produce less area than hereby established until otherwise approved by the Metropolitan Planning Commission and under no condition shall such lot or lots be made to produce less area than prescribed by the restrictive covenant as of record in Book _____ Page _____, R.O.D.C., Tennessee running with the title to the property.

NAME : Autumn Key DATE : 6-9-15
 NAME : _____ DATE : _____

SURVEYORS CERTIFICATE

I do hereby certify that to the best of my knowledge and belief the hereon shown subdivision plat represents a Category "1" survey having an unadjusted ratio of precision of 1 : 10,000 and is true and correct. Approved monuments have been placed as indicated. All side lot lines are at right angles or radial to a street unless otherwise noted.

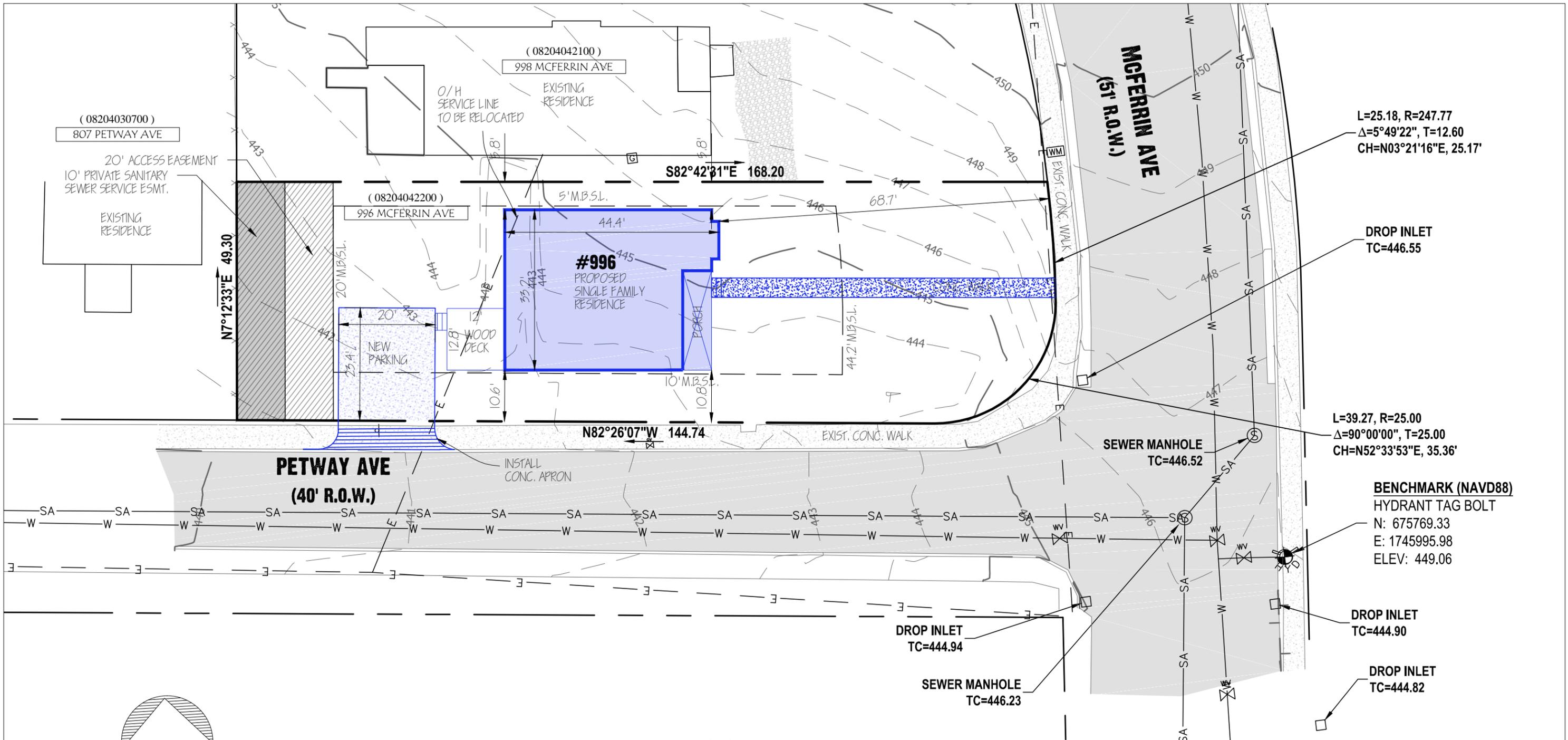
BY : William E. Crenshaw DATE 6-06-15
 William E. Crenshaw

Tenn. Registered Surveyor No. 2395

PREPARED BY :
 C&K SURVEYORS, L.L.C.
 242 WEST MAIN STREET
 PMB 199
 HENDERSONVILLE, TN. 37075
 615-497-6444

COMMISSION'S APPROVAL
 Approved by the Metropolitan Planning Commission of Nashville and Davidson County, Tennessee.
 BY : Scott Davis DATE 6/17/2015
 Secretary
 RECORD

Davidson County PLAT-LG
 Recvd: 08/17/15 15:20 2 pgs
 Fees:20.00 Taxes:0.00
 20150617-0057876



L=25.18, R=247.77
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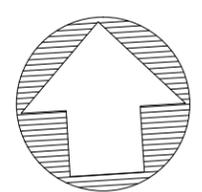
DROP INLET
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 CH=N52°33'53"E, 35.36'

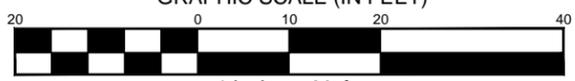
BENCHMARK (NAVD88)
 HYDRANT TAG BOLT
 N: 675769.33
 E: 1745995.98
 ELEV: 449.06

DROP INLET
 TC=444.90

DROP INLET
 TC=444.82



GRAPHIC SCALE (IN FEET)



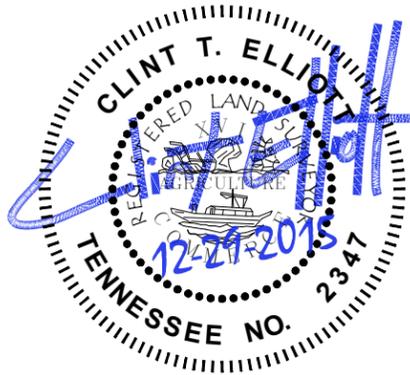
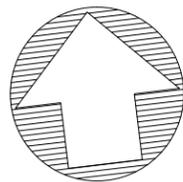
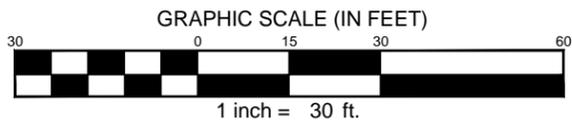
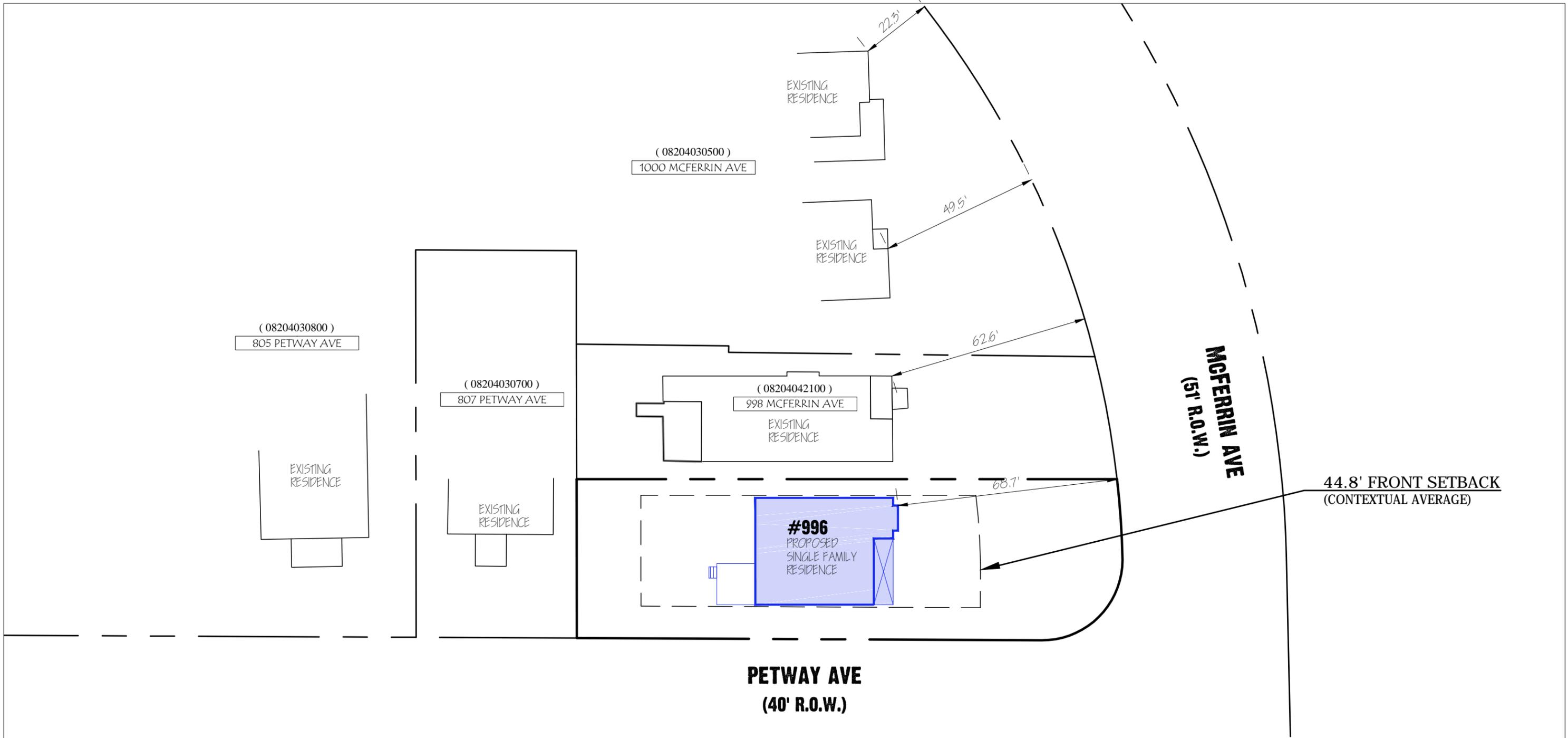
CLINT T. ELLIOTT
 REGISTERED LAND SURVEYOR
 7930 Hwy 70 South, Nashville Tn, 37221
 p| (615) 533-2054
 e| clint@clintelliottsvey.com

Site Plan

996 McFerrin Avenue

Nashville, Davidson County, Tennessee

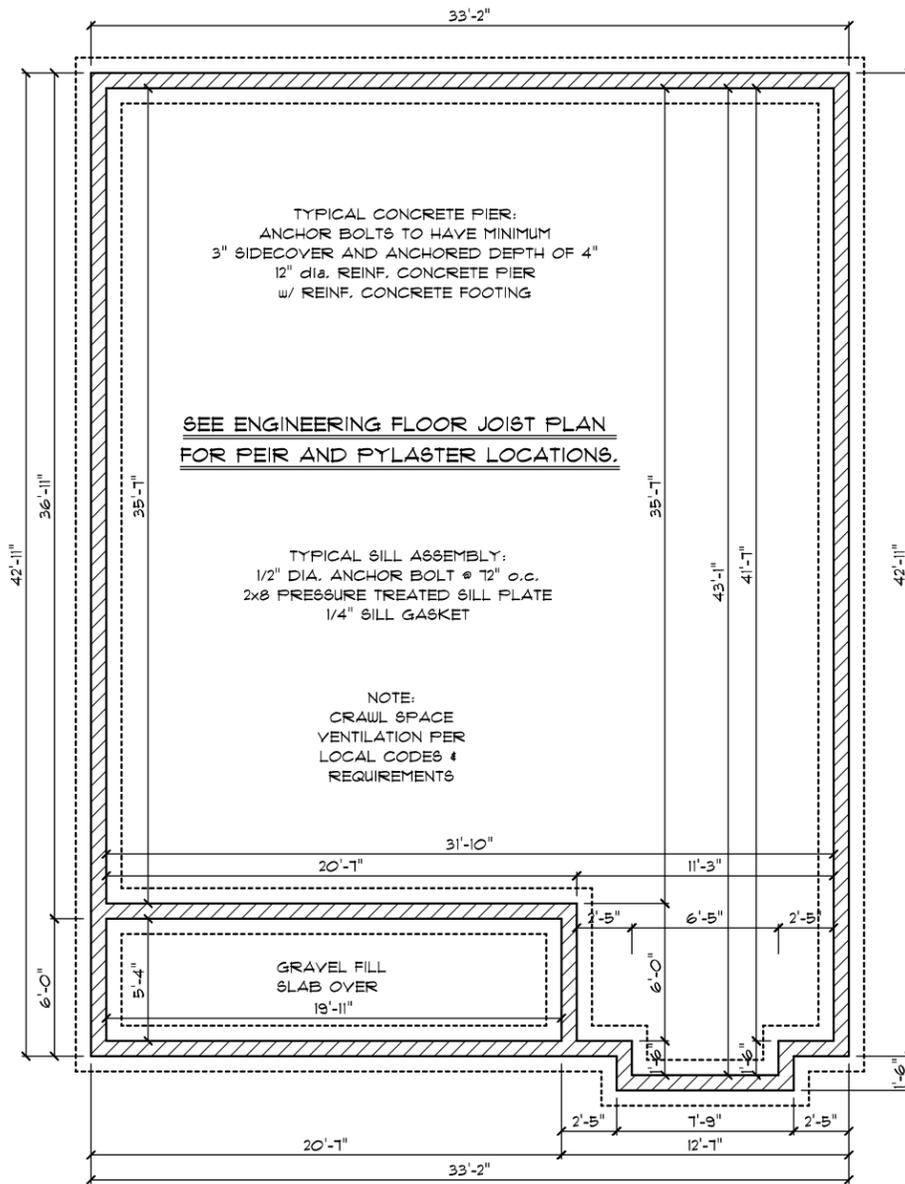
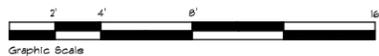
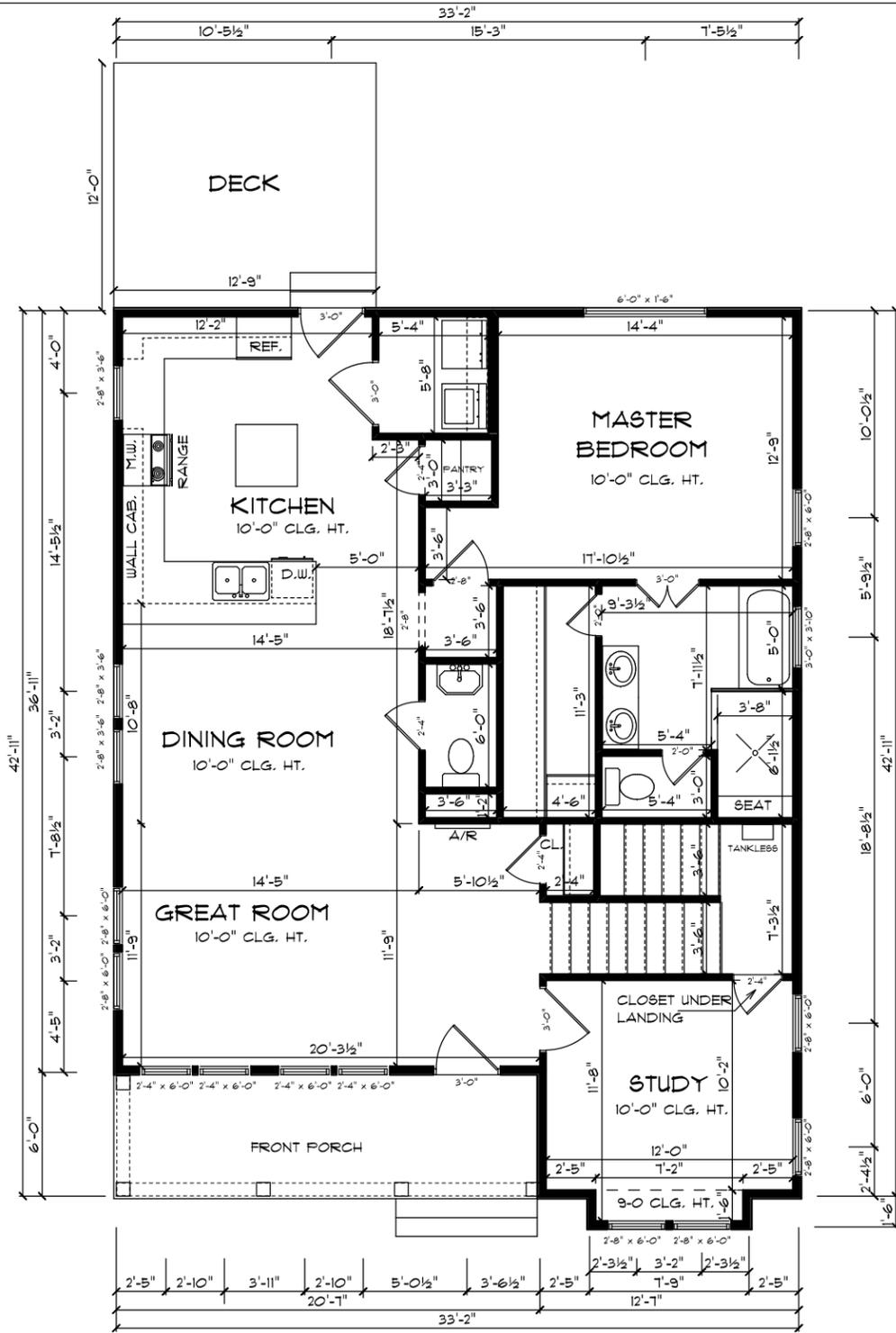
Sheet No.
V-2.1



CLINT T. ELLIOTT
 REGISTERED LAND SURVEYOR
 7930 Hwy 70 South, Nashville Tn, 37221
 p| (615) 533-2054
 e| clint@clintelliottsvey.com

Building Setbacks
996 McFerrin Avenue
Nashville, Davidson County, Tennessee

Sheet No.
V-2.3



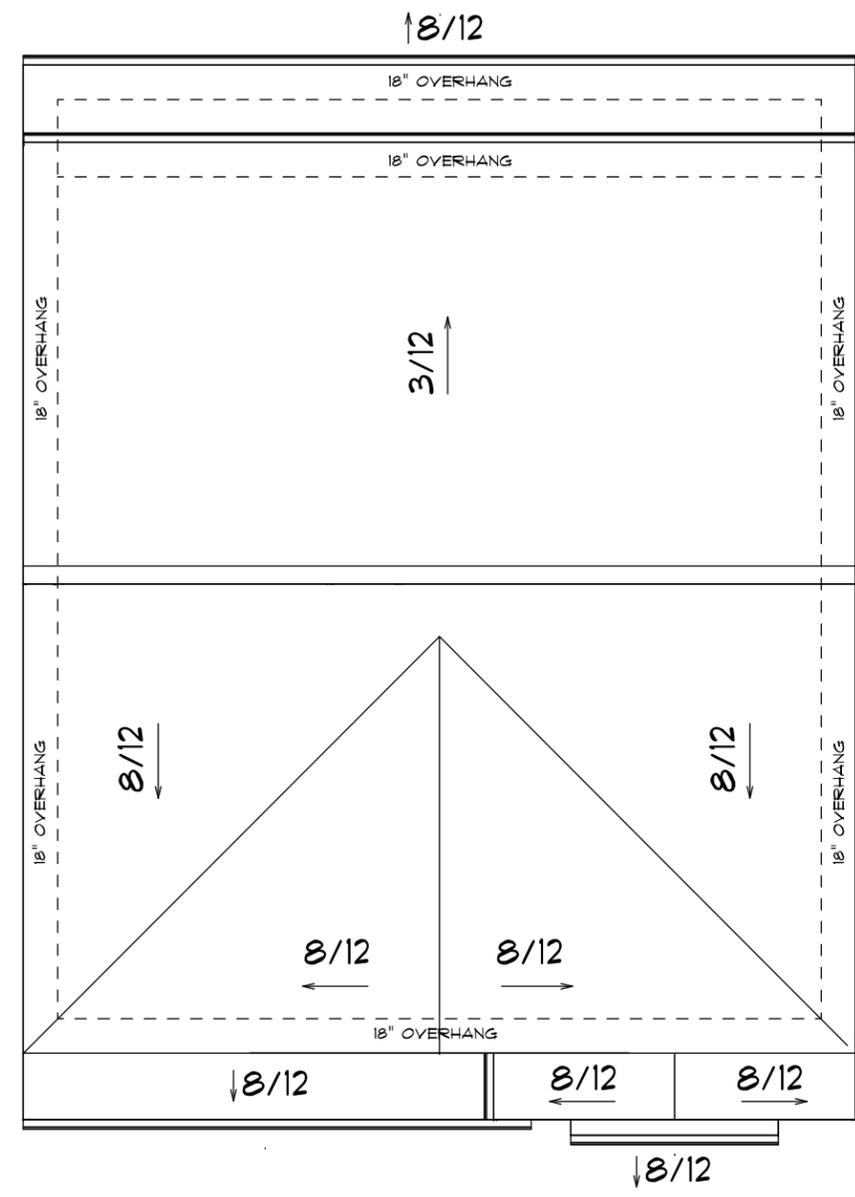
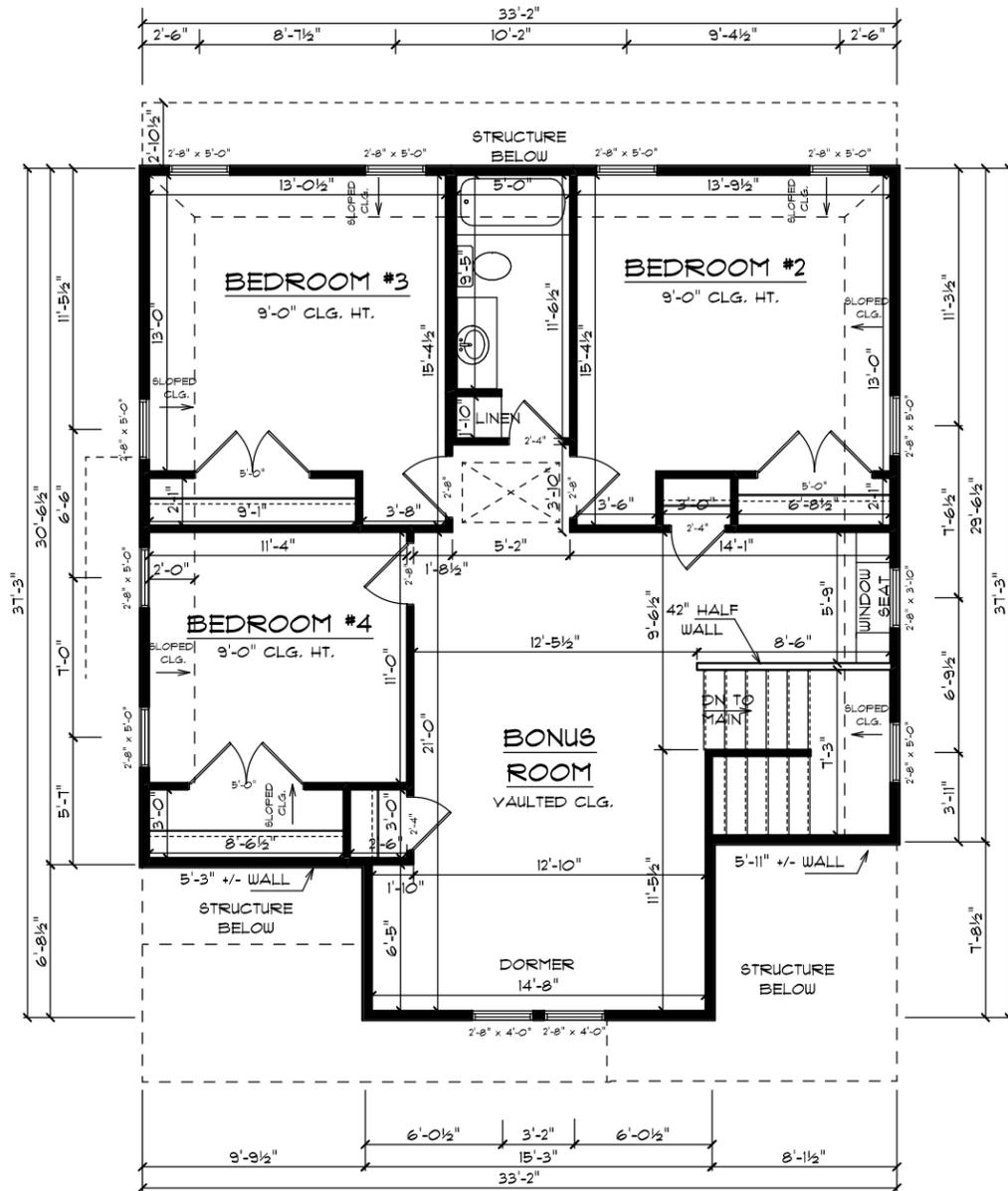
THESE DRAWINGS ARE FOR DESIGN INTENT ONLY.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
CONSTRUCTION MEETS OR EXCEEDS ALL CODES.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE
ALL MECHANICAL, STRUCTURAL, ELECTRICAL, AND SYSTEMS
WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

Exterior Footage		Interior Footage	
Main Floor	1319 SF	Main Floor	1256 SF
Second Floor	1020 SF	Second Floor	963 SF
Total	2339 SF	Total	2219 SF
Front Porch	120 SF	Front Porch	116 SF

996 McFerrin Ave.
NASHVILLE, TN 37206

Urvan Development Group LLC
MAIN FLOOR & FOUNDATION PLAN
Scale: 1/8" = 1' printed on 11"x17" Paper

Date: 12-18-15



THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, STRUCTURAL, ELECTRICAL, AND SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

Interior Footage	
Main Floor	1256 SF
Second Floor	963 SF
Total	2219 SF
Front Porch	
	116 SF

Exterior Footage	
Main Floor	1319 SF
Second Floor	1020 SF
Total	2339 SF
Front Porch	
	120 SF

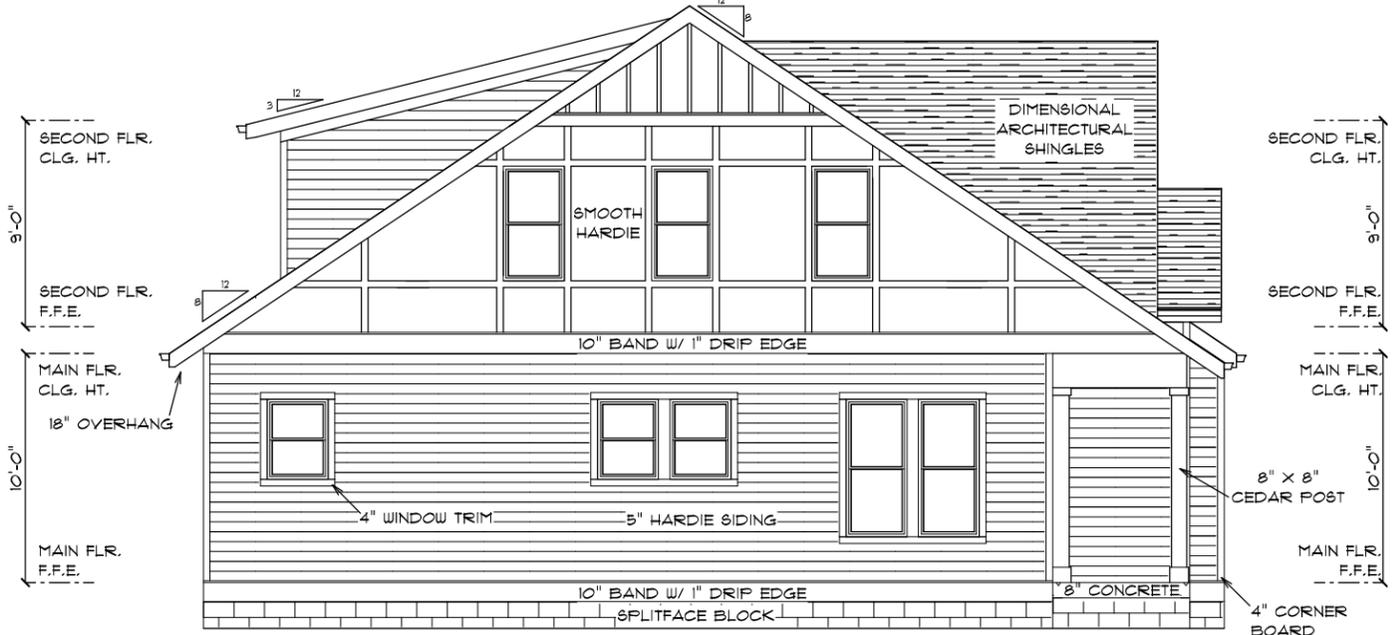
996 McFerrin Ave,
NASHVILLE, TN 37206

Urvan Development Group LLC
SECOND FLOOR & ROOF PLAN
Scale: 1/8" = 1' printed on 11"x17" Paper

Date: 12-18-15



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, STRUCTURAL, ELECTRICAL AND SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

Interior Footage	
Main Floor	1256 SF
Second Floor	963 SF
Total	2219 SF
Exterior Footage	
Main Floor	1319 SF
Second Floor	1020 SF
Total	2339 SF
Front Porch	120 SF
Back Porch	116 SF

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ELEVATION PAGE
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