

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1229 Sixth Avenue North February 17, 2016

Application: Partial demolition; New construction—Addition; Setback determination
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209026400
Applicant: Michael Emrick
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to demolish an existing addition and construct a new addition that is taller than the historic house. The addition requires a setback determination. Base zoning requires a three foot side setback, but the addition will be one foot (1') or less from the side property line.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The applicant seek approval from staff for any changes to the historic house, including but not limited to brick work, altering or replacing of windows, re-roofing, etc.;
2. Staff approve the metal roof color and texture;
3. Staff approve a brick sample;
4. Staff approve all window and door selections prior to purchase and installation;
5. Staff approve the location of the HVAC unit; and
6. Staff approve all permanent landscape features, included but not limited to fences, pathways, pavers, parking pads, pools, etc.

With these conditions, staff finds that the proposed demolition and addition meet Sections 2.0, 4.0, and 7.0 of the *Germantown Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.
- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.
5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

2.2.3 Massing and Scale

1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings. *Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.*

Generally, historic single-family residential structures are one or two stories in height.

Special features of limited height such as towers or turrets may be acceptable.

Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.

Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).
- 2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

- 2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).
- 2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*
- 2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

- 2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.
- 2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

4.0 Additions

An ADDITION consists of an extension to an existing structure that increases the floor area or height of that structure.

4.1 General Principles

- 4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets – Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*
- 4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

- 4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.
- 4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.
- 4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding.
- 4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- 4.2.5 contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such

design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)

Walls of solid masonry construction within the front setback are permitted up to 24" in height.

Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.

The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".

Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).

Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

5.3. Paving/Driveways/Parking Areas and Parking Lots

5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

- 5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.
- 5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.
- 5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.
- 5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.
- 5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged. Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.
- 5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or inance must comply with these design guidelines.
- 5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

7.0 Demolition

7.1 General Principles

- 7.1.1 Since the purpose of historic zoning is to protect historic properties, the demolition of a building that contributes historically and architecturally to the character and significance of the district is not appropriate and should be avoided.
- 7.1.2 Demolition is considered the removal of any structure or portion of a structure that affects the visual appearance of the building from the exterior. It includes the removal of floors or sections of the building that are enclosed by the original façade.

7.2 Guidelines

- 7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
- 7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
- 7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
- 7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.
- 7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

Background: The National Register report for 1229 Sixth Avenue North dates the building to the 1870s (Figure 1). It is a one story brick cottage. However, it is possible that portions of the house may be earlier. The house is shifted on the lot, so that it sits one foot (1') or less from the side property line.



Figure 1. 1229 Sixth Avenue North.

Analysis and Findings: Application is to demolish an existing addition and construct a new addition that is taller than the historic house. The addition requires a setback determination. Base zoning requires a three foot side setback, but the addition will be one foot (1') or less from the side property line.

Changes to the Historic House. No changes to the historic house were indicated on the submitted plans. Staff reminds the applicant that any changes to the exterior of the historic house, including but not limited to altering or changing windows and doors, brick repair or painting, re-roofing, removal of architectural details, etc., requires the review and approval of the Metro Historic Zoning Commission.

Partial Demolition. The applicant proposes to demolish an existing addition at the rear of the house (Figures 2 – 7). The date of construction of the addition is not known. The 1897 Sanborn Map shows an addition in the location of the existing addition, but that addition does not cover the entire width of the rear of the house and its dotted line indicates that it was a porch (Figure 8). The 1914 Map seems to show that the addition existed at that time (Figure 9). Although the addition does likely date to the early 20th century, it is located at the rear of the house, and is barely visible from the street. It lacks the architectural detail of the rest of the house. Staff finds that it does not contribute to the historic character of the house and to the Germantown Historic Zoning Overlay as a whole. Staff therefore finds that its demolition meets Section 7.2.2. for appropriate demolition and does not meet Section 7.2.1. for inappropriate demolition.



Figure 2 (left) shows the addition that is to be removed. Figure 3 (right) is the left/south view of the house, from the street, where the existing addition is barely visible.



Figures 4 & 5 show the left/south side of the addition from inside the side yard.



Figures 6 & 7 show the right/north side of the house where the addition is not at all visible.

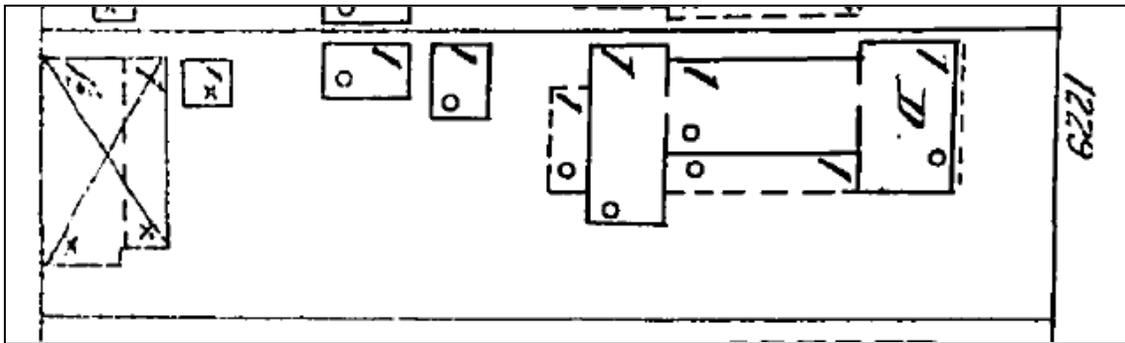


Figure 8. The 1897 Sanborn map shows a different addition and possibly a porch at the location of the existing addition.

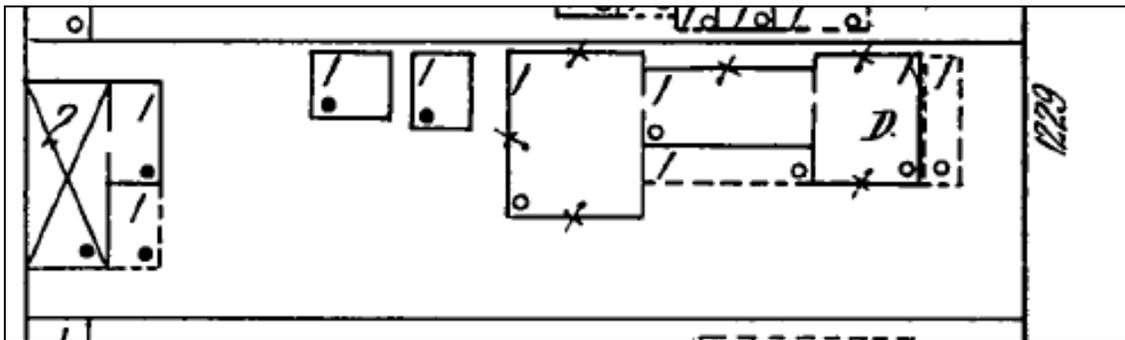


Figure 9. The 1914 Sanborn map shows a larger rear portion of the house, indicating that the addition that is to be removed was existing at that time.

Height and Scale. The applicant is proposing a two-story rear addition to the historic house. The addition will be four feet (4') taller than the historic house. However, it will be over seventy feet (70') from the front of the house, and will have a side gabled roof, both of which will minimize the visibility of the extra height from the street and its impact on the historic house.

The addition will match the width of the historic house, and it will increase the depth of the house by approximately twenty-three feet (23'). It will add approximately seven hundred square feet (700 sq. ft.) in footprint to the existing house (which is currently approximately two, thousand and eighty square feet (2,080 sq. ft.)). It will inset appropriately. On the right/north façade, the addition will be set in two feet (2') from the back of the house for a depth of four feet (4'). On the left/south façade, the wall of the addition will be inset approximately nine feet (9') from the back corner of the house for a depth of fourteen feet (14'), although the area in front of the wall will be a screen porch.

Staff finds that the project meets Sections 2.2.3., 2.2.4., 4.2.2., and 4.2.5. of the design guidelines for height and scale.

Roof. The front and rear portions of the historic house have side gabled roof forms with slopes of approximately 7/12. They are tied together with a gabled connector. The proposed addition will also have a gabled connector between the back of the historic house and the taller portion of the addition. The taller portion of the addition will have a

side gabled roof form with a slope of 8/12. This will help reduce the visibility of the extra height of the addition. Staff finds that the proposed roof forms are appropriate to the historic house and meet Sections 2.7, 4.2.2., 4.2.5. of the design guidelines.

Location and Removability. The addition is located behind the historic house, and is inset appropriately from each of the back side walls. This will help reduce the visibility of the taller portion of the house, and will help differentiate the old and the new. The roof of the addition ties into the rear of the historic house in a manner that preserves the roof form and the majority of the back slope of the gable. The addition is constructed so that if it were to be removed in the future, the historic house would not be harmed. Staff finds that the structure's location and removability meet Sections 4.2.2. and 4.2.3. of the design guidelines.

Addition Design. The design guidelines state, "contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment." In this instance, the design does not destroy any significant architectural features of the historic house. In addition, staff finds that the addition's size, scale, and roof form are appropriate to the historic structure. Staff therefore finds that the addition meets Section 4.2.5. of the design guidelines.

Setback. The addition requires a setback determination for the right/north side. The site is zoned MUN. Base zoning requires that for a single family residence, the side setbacks be three feet (3'). The existing house is shifted towards the right/north side of the lot. It is situated approximately one foot (1') from the right/north side property line. The addition lines up with the historic house, and is therefore also approximately one foot (1') from the property line on the right/north side. Staff finds the proposed one foot (1') setback to be appropriate because the addition will not encroach any further into the setback than the historic house. In addition in the Germantown neighborhood, historically houses were located on or very close to side property lines. Lastly, in MUN zones, base zoning allows for a zero setback if the structure is multifamily. Staff therefore finds that the proposed setback determination meets Sections 2.2.1. and 4.2. of the design guidelines.

Materials The historic house is brick. The proposed addition will also be brick, and staff recommends approval of a brick sample prior to purchase and installation. The foundation will also be brick. Although the Commission typically requires a differentiation in material from the foundation to the wall above, the rear portion of the house is also brick to grade. In addition, the addition is located so far back from the street, its foundation will likely not be visible. A brick foundation is therefore appropriate. The materials for the windows were not specified, and staff recommends approval of all windows and doors prior to purchase and installation. The roof will be standing seam metal to match the roof of the historic house. Staff recommends approval

of the roof metal color. With the aforementioned staff approvals, staff finds that the proposed addition meets Sections 2.4 and 4.2.2.

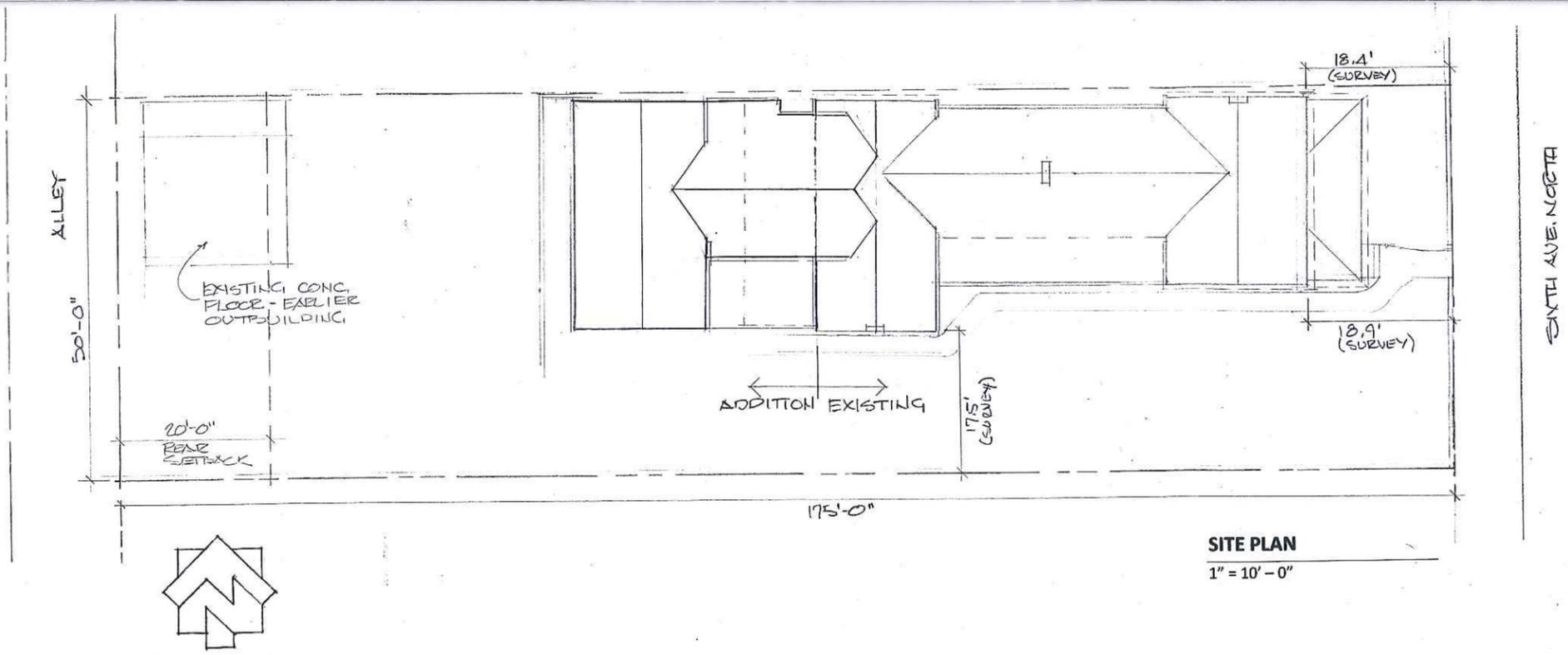
Windows and Doors. The drawings do not indicate any changes to the existing window or door pattern. The addition's windows are generally twice as tall as they are wide, thereby meeting the historic proportion of window openings. The right/north façade of the addition does not have any window openings. Staff finds this to be appropriate in this instance because this façade is located over seventy-feet (70') from the front of the house and will likely not be visible. Staff finds that the proposed windows and doors meet Sections 2.5, 2.6, and 4.0. of the design guidelines.

Appurtenances and Site Features. No proposed changes to the appurtenances or site features were indicated on the site plan. All changes to the site features, including fencing, pathways, driveways, must be approved by MHZC. Staff also recommends approval of the HVAC location.

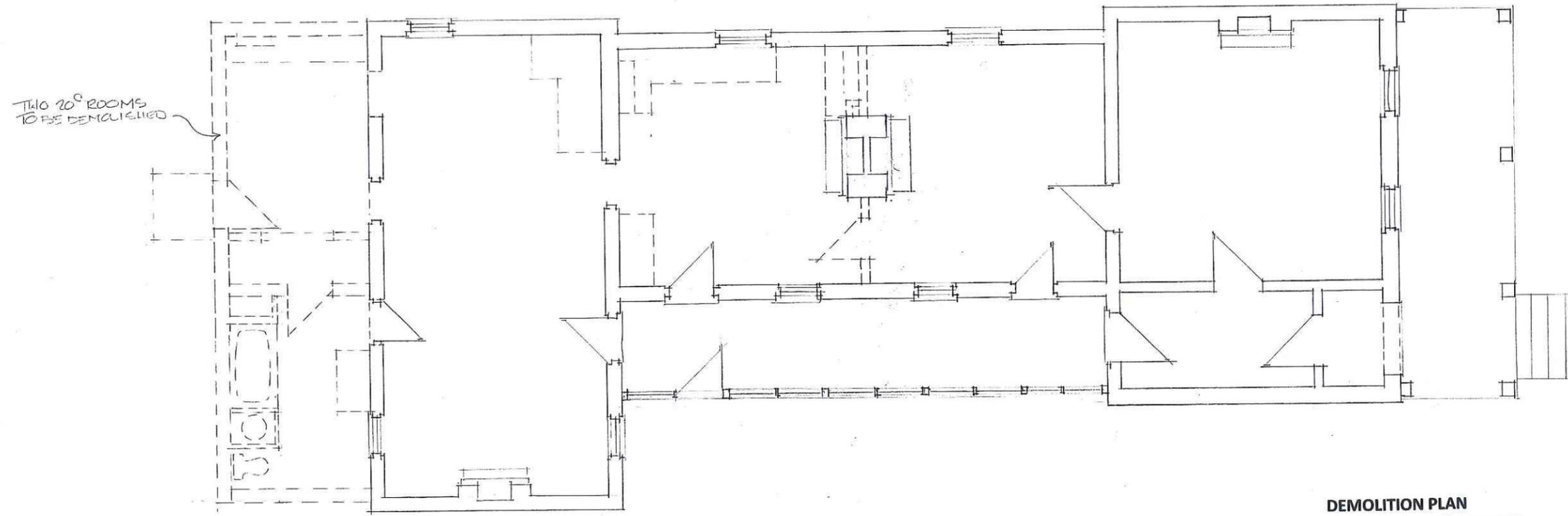
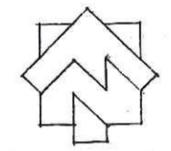
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The applicant seek approval from staff for any changes to the historic house, including but not limited to brick work, altering or replacing of windows, re-roofing;
2. Staff approve the metal roof color and texture;
3. Staff approve a brick sample;
4. Staff approve all window and door selections prior to purchase and installation;
5. Staff approve the location of the HVAC unit; and
6. Staff approve all permanent landscape features, included but not limited to fences, pathways, pavers, parking pads, pools, etc.

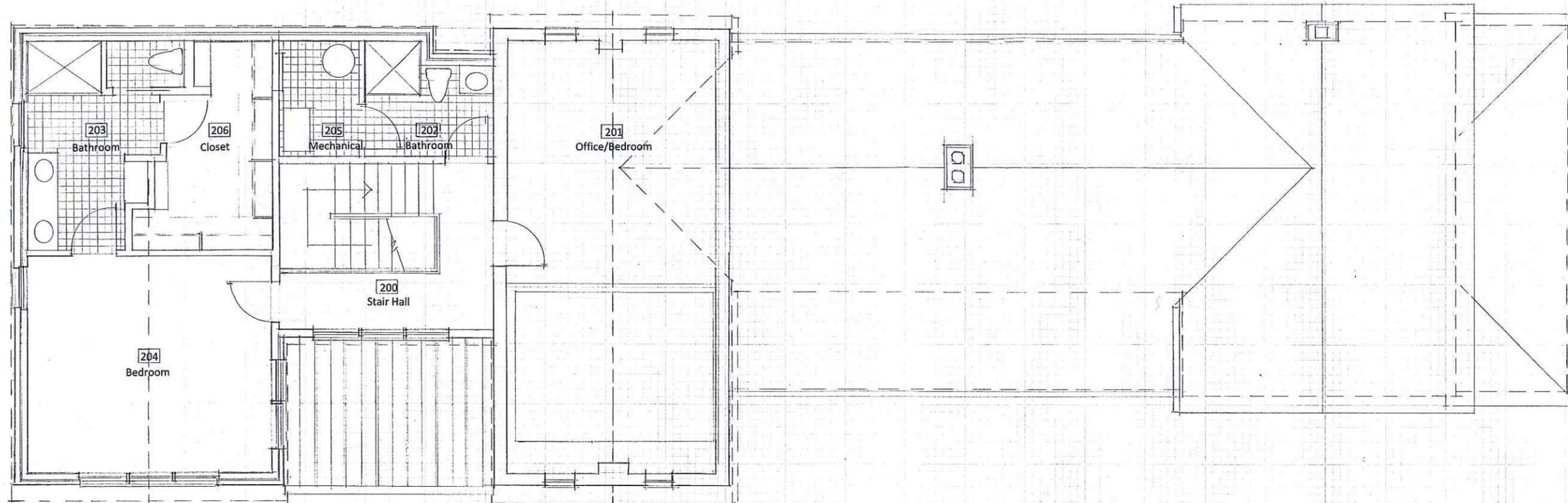
With these conditions, staff finds that the proposed demolition and addition meet Sections 2.0, 4.0, and 7.0 of the *Germantown Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.



SITE PLAN
1" = 10'-0"

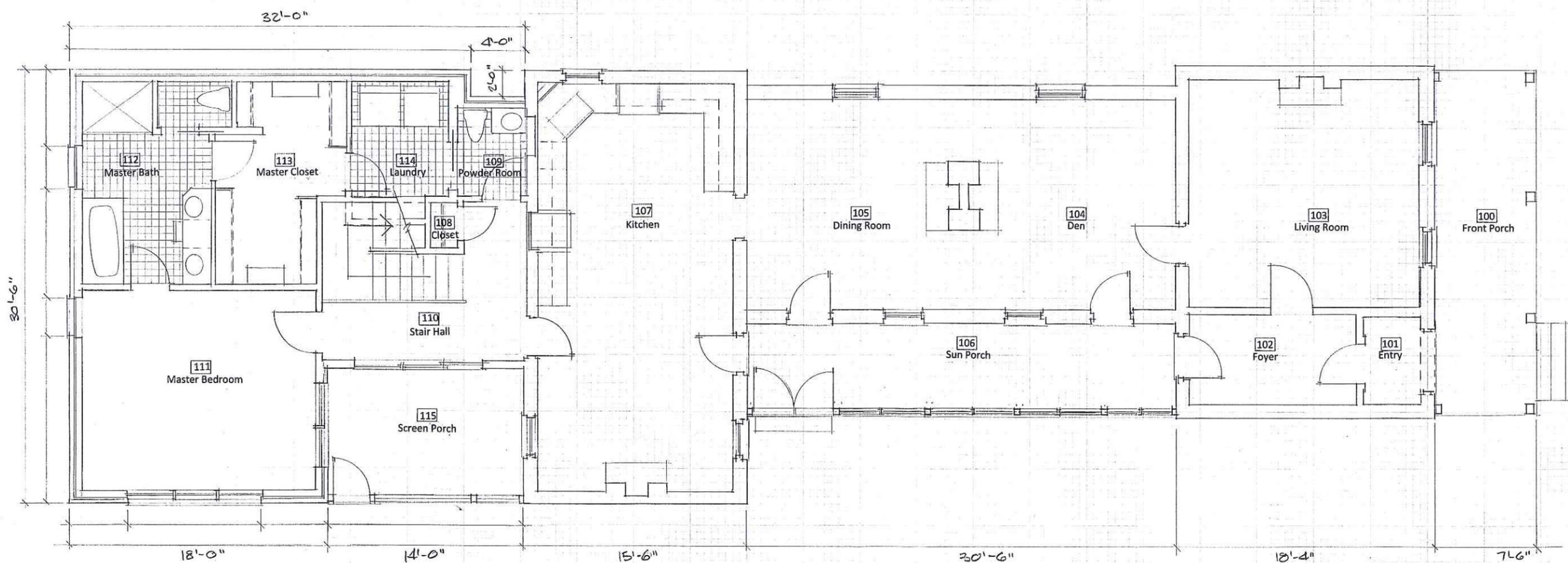


DEMOLITION PLAN
1/4" = 1'-0"



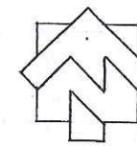
SECOND FLOOR PLAN

1/4" = 1' - 0"



FIRST FLOOR PLAN

1/4" = 1' - 0"

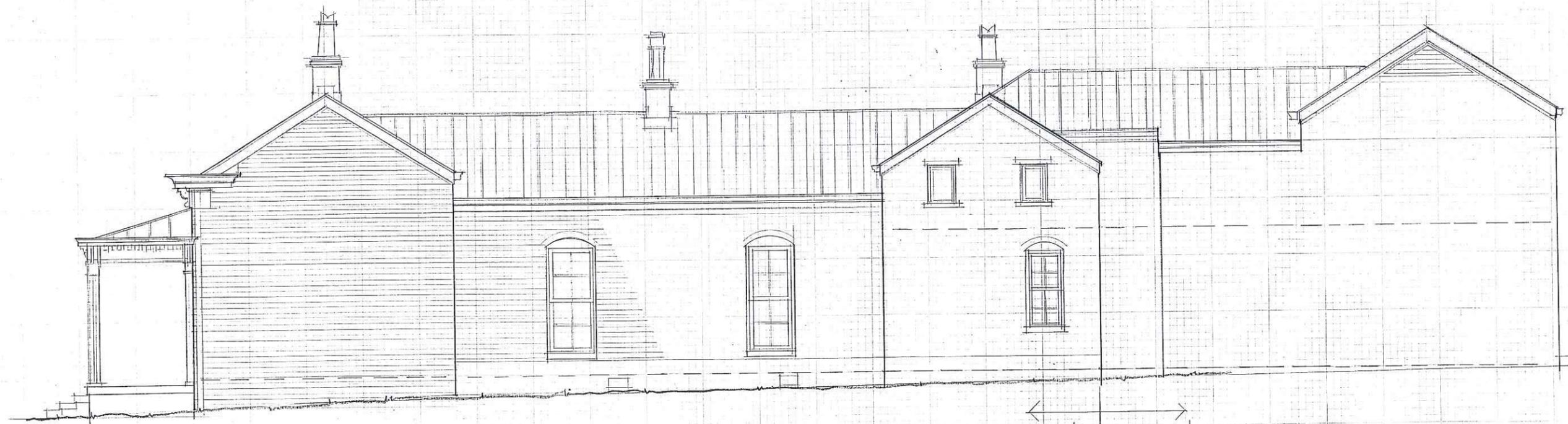




REAR (West) ELEVATION
 1/4" = 1' - 0"



FRONT ELEVATION
 1/4" = 1' - 0"



SIDE (North) ELEVATION
 1/4" = 1' - 0"



SIDE (South) ELEVATION
 1/4" = 1'-0"



SECTION C - C
 1/4" = 1'-0"