

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

### STAFF RECOMMENDATION 1401 Paris Avenue February 17, 2016

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**Application:** New construction—addition and Detached Accessory Dwelling Unit;  
Setback determination

**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

**Council District:** 18

**Map and Parcel Number:** 11801007600

**Applicant:** Anna Teeples

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to construct an addition that is wider than the historic house and includes a ridge raise, and to construct a Detached Accessory Dwelling Unit (DADU). The DADU requires a rear setback determination, as base zoning requires a twenty foot (20') rear setback and the applicant is proposing a three foot (3') rear setback.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The footprint of the addition be reduced by approximately one hundred and fifty-five square feet (155 sq. ft.) so that it no more than doubles the footprint of the historic house;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. The HVAC be located behind the house or on either side, beyond the mid-point of the house;
4. Staff approve the roof color;
5. The distance between the DADU and the covered deck be a minimum of ten feet (10'), and the distance between the DADU and the primary back wall of the house remain twenty feet (20'); and
6. Staff receive a copy of the restrictive covenant for the Detached Accessory Dwelling Unit.

With these conditions, staff finds that the project meets Sections II.B. and V. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines* and ordinance 17.16.030 for Detached Accessory Dwelling Units.

The Commission does not have the authority to approve the use of the detached accessory dwelling unit. This recommendation is for the design of the building based on the proposed use.

#### Attachments

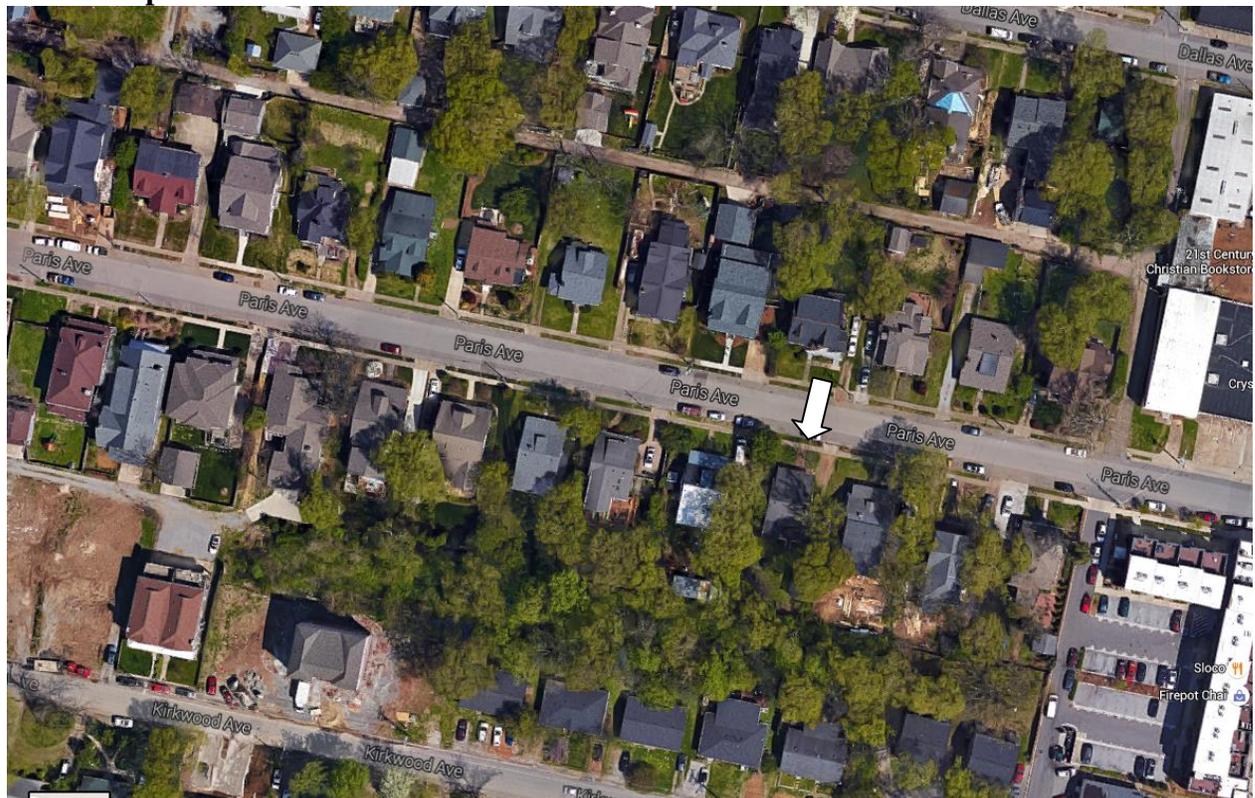
**A:** Site Plan

**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II. B. GUIDELINES**

#### **B. GUIDELINES**

##### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

##### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

##### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks..*

##### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### **Duplexes**

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### **Multi-unit Developments**

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

### **h. Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

### **i. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

#### *Outbuildings: Character, Materials and Details*

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

#### *Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

#### *Outbuildings: Windows and Doors*

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

#### *Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

*Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

*· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

*· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

*· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

*· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

*· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

*· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

*· The lot area on which a DADU is placed shall comply with Table 17.12.020A.*

*· The DADU may not exceed the maximums outlined previously for outbuildings.*

*· No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*  
*· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*  
*a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*

*b. The DADU cannot be divided from the property ownership of the principal dwelling.*

*· The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*

*· Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

*· The living space of a DADU shall not exceed seven hundred square feet.*

**j. Public Spaces**

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**2. ADDITIONS**

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

*Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally, one-story rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

*Additions should be a minimum of 6" below the existing ridge.*

*In order to assure that an addition has achieved proper scale, the addition should:*

*No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*

*· Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*

*· Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

*In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

*When an addition needs to be taller:*

*Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*

*When an addition needs to be wider:*

*Rear additions that are wider than an existing historic building may be appropriate when the building is*

*narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

*In addition, a rear addition that is wider should not wrap the rear corner.*

#### *Ridge raises*

*Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.*

#### *Sunrooms*

*Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.*

#### *Foundation*

*Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.*

*Foundation height should match or be lower than the existing structure.*

*Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.*

#### *Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure.*

*Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).*

#### *Side Additions*

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

*Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*

*To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

*Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.*

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

*Side porch additions may be appropriate for corner building lots or lots more than 60' wide.*

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

f. Additions should follow the guidelines for new construction.

## **V. DEMOLITION**

### **1 . Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### **2 . Demolition is appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** 1401 Paris is a c. 1923 bungalow that contributes to the historic character of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay (Figure 1).



Figure 1. 1401 Paris Avenue

**Analysis and Findings:** Application is to construct an addition that is wider than the historic house and includes a ridge raise, and to construct a Detach Accessory Dwelling Unit (DADU). The DADU requires a rear setback determination. Base zoning requires a twenty foot (20') rear setback and the applicant is proposing a three foot (3') rear setback.

Partial Demolition: The project involves removing an existing addition at the rear of the house (Figure 2). The date of construction of the addition is unknown. The 1957 Sanborn map shows that it was formerly a rear porch, but it was much smaller than it is now (Figure 3). Staff finds that the addition does not contribute to the historic character of the house. Staff finds that its demolition meets Section V.B.2. for appropriate demolition and does not meet Section V.B.1. for inappropriate demolition.

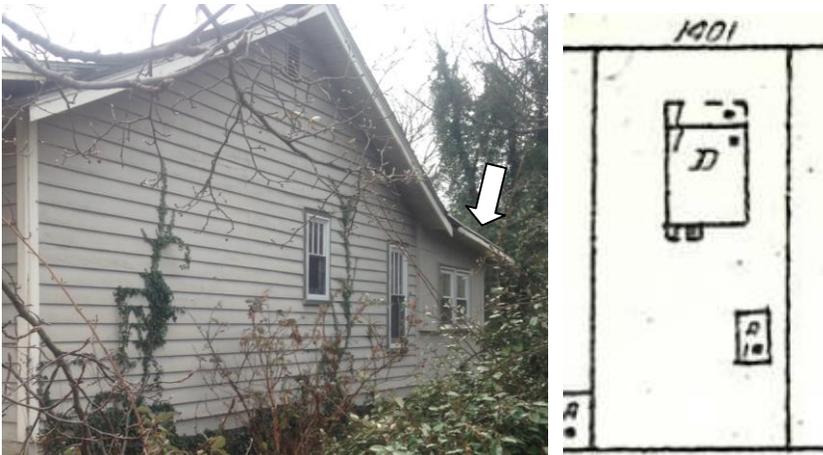


Figure 2 (left) is an image of the addition to be demolished and Figure 3 (right) is the 1957 Sanborn Map.

Height & Scale: The proposed addition is inset two feet (2') from the back left corner of the house. However, on the right side, there is a side addition that wraps the corner of the house. Staff finds that a side addition is appropriate here because the lot is sixty-two feet (62') wide, wider than the typical lot, and because the house is unusually narrow at approximately twenty-nine feet (29'). The side addition is subordinate to the historic house by being fourteen feet, six inches (14'6") wide and three feet, six inches (3'6") shorter than the historic house. It will be located twenty feet (20') back from the front wall of the house and will have a side gable roof form to help lessen the perceived height.

The Commission has typically discouraged additions that wrap the back corner of a house, in order to preserve the full original form of a house and ensure that the new addition remains subordinate to the historic building. However, staff finds that this proposed addition that wraps the corner to be appropriate in this instance because the existing back corner of the house is no longer extant. The existing addition that is to be removed demolished the back corner of the house. In addition, because the lot is shallow at only one hundred and thirty feet (130') deep, allowing the addition to wrap the corner helps to reduce the overall depth of the addition. Also, the portion of the addition that wraps the corner of the house is over three feet (3') lower in height, which will ensure that that original form of the house can still be perceived.

The proposed addition involves a two-foot (2') ridge raise that is inset two feet from the sidewalls. The enclosed portion of the addition will have a depth of approximately twenty-five feet (25') from the back wall of the historic house. The enclosed portion of the addition will approximately double the footprint of the historic house. However, when the covered rear deck is included, the addition more than doubles the footprint of the historic house. Staff asks that the addition's footprint be reduced so that it no more than doubles the footprint of the historic house, including all covered porches. This would require a reduction of approximately one hundred and fifty-five sq. ft. (155 sq. ft.).

With the reduction of the footprint, staff finds that the proposed addition meets Sections II.B.1.a., II.B.1.b., and II.B.2. of the design guidelines.

Location & Removability: As mentioned under "Height and Scale," staff finds that the proposed addition that wraps the back right corner of the house to be appropriate because the historic back right corner of the house is no longer extant and because the portion of the addition that wraps the corner is subordinate in height and scale to the historic house. Because the addition at this point is three feet (3') shorter than the historic house, if it were to be removed in the future, the original form of the house could still be discerned and restored. The addition steps in appropriately on the left side, meeting the guidelines in terms of location and removability. Because the ridge raise is inset two feet (2') from the side walls of the house, it allows for the original roof form to still be discerned. Staff finds that the addition meets Sections II.B.2.a and e. of the design guidelines.

Design: Staff finds that the proposed addition is distinguished from the historic house with the inset on the left side and the lower height on the right side. It is also

distinguished from the historic house with its modern materials and separate roof form. At the same time, the addition's materials, roof form, height, scale, and fenestration pattern are all compatible with the historic house. Staff finds that the proposed addition meets Sections II.B.2.a and f. of the design guidelines.

Setback & Rhythm of Spacing: The proposed addition meets all base zoning setbacks. Because the portion of the addition that is wider than the historic house is set back over twenty feet (20') from the front all of the house, staff finds that it will not affect the perceived rhythm of spacing along the street. Staff finds that the proposed addition meets Sections II.B.1.c. and II.B.2. of the design guidelines.

Materials: No changes to the historic house's materials were indicated on the drawings. The addition will be primarily clad in smooth face cement fiberboard with a four inch (4") reveal. The trim will be wood or cement fiberboard. The foundation will be split face concrete block, and the roof will be architectural shingles in a dark grey color. Staff recommends approval of the final shingle selection. Staff also recommends approval of the final window and door selections. The rear covered porch will be wood. With the staff's final approval of the roof shingles, windows and doors, staff finds that the known materials meet Sections II.B.1.d. and II.B.2. of the design guidelines.

Roof form: The historic house has a side-gabled roof form with an 8/12 pitch. The historic roof will be raised two (2') vertically in a ridge raise that is inset two feet (2') from the sidewalls. This meets the design guidelines. The side addition will also have a side gable roof form with a 3.5/12 pitch. The rear façade will also have gables with 3.5/12 pitches. Staff finds that the proposed roof forms are compatible with the historic house's roof and meet Sections II.B.1.e. and II.B.2. of the design guidelines.

Orientation: The proposed addition will not alter the house's orientation towards Paris Avenue. Vehicular access to the site will remain via an existing curb cut and driveway. The driveway will be extended to the rear of the lot. Staff finds that the proposed addition meets Sections II.B.1.f. and II.B.2. of the design guidelines.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the addition's proportion and rhythm of openings meet Sections II.B.1.g. and II.B.2. of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Outbuildings: See attached "Outbuilding and DADU Worksheet" for complete analysis of how the proposed outbuilding meets the design guidelines and ordinance 17.16.030 for

DADUs. Although the distance between the DADU and the primary rear wall of the house is twenty feet (20'), the distance between the DADU and the covered deck at the back of the house is less than five feet (5'). Staff considers the covered deck to be part of the house, and recommends that the distance between the DADU and the covered deck be a minimum of ten feet (10'). Staff finds that the ten foot (10') distance is appropriate because the lot is relatively shallow at approximately one hundred and thirty feet (130') deep, and because in most places, the distance between the DADU and the rear wall of the house is at least twenty feet (20'). This may be accomplished by removing approximately one hundred and fifty-five square feet (155 sq.ft.) from the addition overall, as discussed under "Height & Scale."

The proposed DADU will be one-and-a-half stories tall with a footprint of approximately seven hundred and twenty-five square feet (725 sq. ft.). Its eave and ridge heights will be lower than those of the historic house. The garage portion of the DADU will be accessed via an existing curb cut and extended driveway from Paris Avenue. Two separate garage doors face Paris Avenue.

The materials for the outbuilding have all been approved by the Commission in the past. The primary cladding material will be cement fiberboard lap siding with a four inch (4") reveal. Other materials include wood or cement fiberboard trim, asphalt shingles in a dark grey color, and a concrete slab foundation. Staff recommends final approval for the shingle selection and the selections for the windows and doors prior to purchase and installation. The outbuilding's roof will be a side gable with a 9/12 pitch. The side elevations include shed dormers that are setback two feet (2') from the wall below and are less than fifty percent (50%) of the roof.

The new outbuilding requires a rear setback determination. When an outbuilding has a footprint greater than seven hundred square feet (700 sq. ft.), base zoning requires that the structure be located twenty feet (20') from the rear property line and five feet (5') from the side property lines. In this instance, the structure is located at least five feet (5') from the side property lines, but it is located three feet (3') from the rear property line. Staff finds that the proposed rear setback is appropriate because the garage doors do not face the alley, and a three foot (3') setback is the standard rear setback for structures that are seven hundred square feet (700 sq. ft.) or less. Also, historically, outbuildings were located at the rear of the property, close to the rear property line. A three foot (3') rear setback is more historically appropriate than a twenty foot (20') rear setback. In addition, the three foot (3') rear setback allows for more space between the primary structure and the DADU. Staff recommends approval of the setback determination.

Staff recommends receipt of the restrictive covenant for the DADU prior to the issuance of the preservation permit.

With the staff's final approval of materials, the increase in the distance between the covered porch and the DADU, and the receipt of the restrictive covenant, staff finds that the proposed DADU and the setback determination meet Section II.B.1.i. of the design guidelines and the ordinance for DADUs (17.16.030).

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The footprint of the addition be reduced by a minimum of one hundred and fifty-five square feet (155 sq. ft.) so that it no more than doubles the footprint of the historic house;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. The HVAC be located behind the house or on either side, beyond the mid-point of the house;
4. Staff approve the roof color;
5. The distance between the DADU and the covered deck be a minimum of ten feet (10'), and the distance between the DADU and the primary back wall of the house remain twenty feet (20'); and
6. Staff receive a copy of the restrictive covenant for the Detached Accessory Dwelling Unit.

With these conditions, staff finds that the project meets Sections II.B. and V. of the *Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines* and ordinance 17.16.030 for Detached Accessory Dwelling Units.

The Commission does not have the authority to approve the use of the detached accessory dwelling unit. This recommendation is for the design of the building based on the proposed use.

# OUTBUILDING/DADU WORK SHEET

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

## Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?	yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

## Section II: General Requirements for DADU

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

\*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

**Section III: Site Planning**

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	MINIMUM	PROPOSED
Space between principle building and DADU/Garage	20'	5'
Rear setback	3'	3'
L side setback**	3'	28'
R side setback**	3'	5'
How is the building accessed?	From the alley or existing curb cut	Existing driveway

\*\*If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10'.

**Section IV: Massing Planning**

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge Height	20'	25'	20'
Eave Height	11'	1 story 10' or 2 story 17'	9'

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number.

One-story building:

	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1,000 sq. ft.	1140 sq. ft.	725 sq. ft.

Or

Two-story building:

	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	40% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	550 sq. ft.	1,000 sq. ft.	N/A	N/A

*Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.*

*Please see design guidelines for information about materials and detailing.*

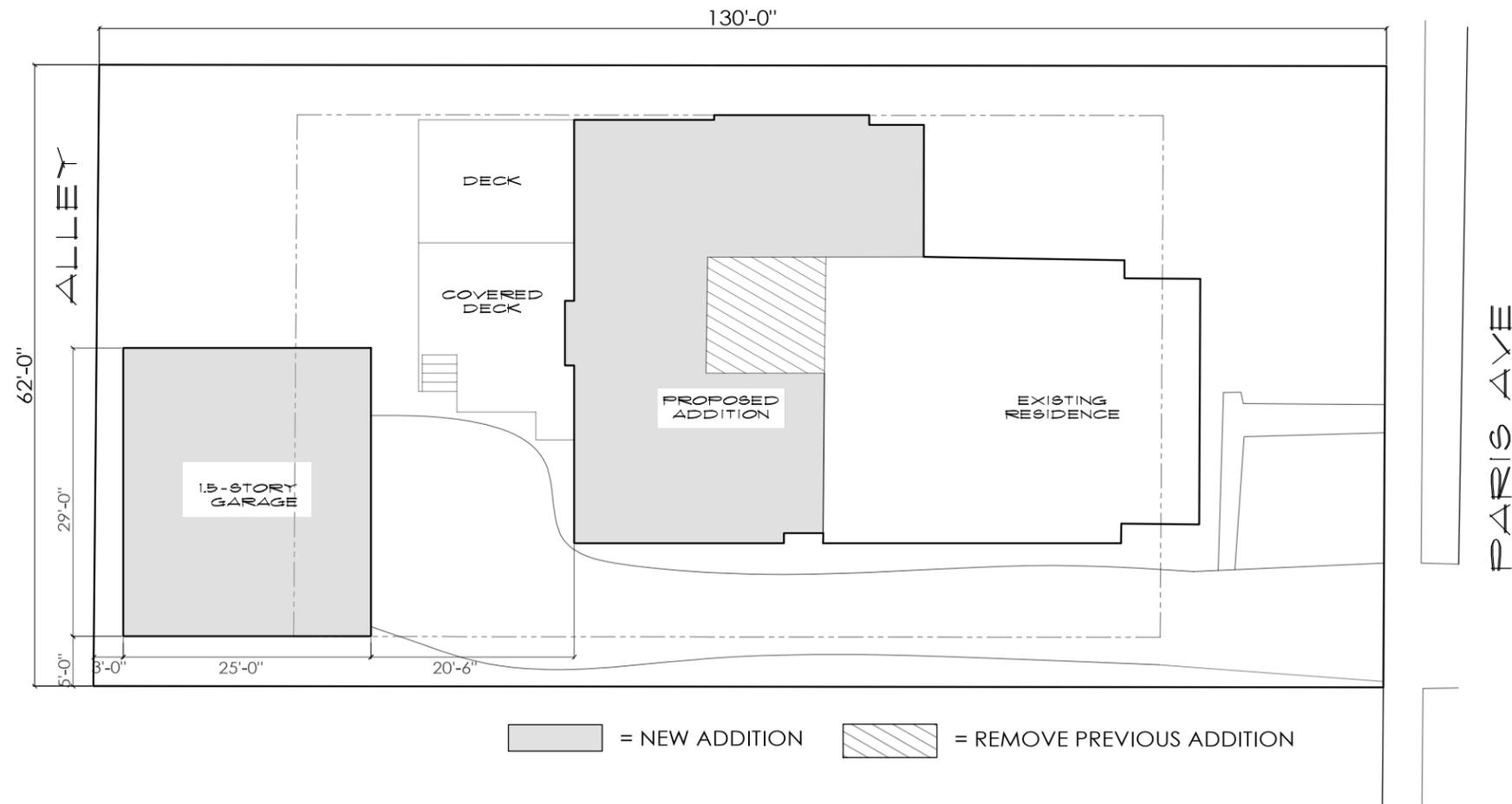
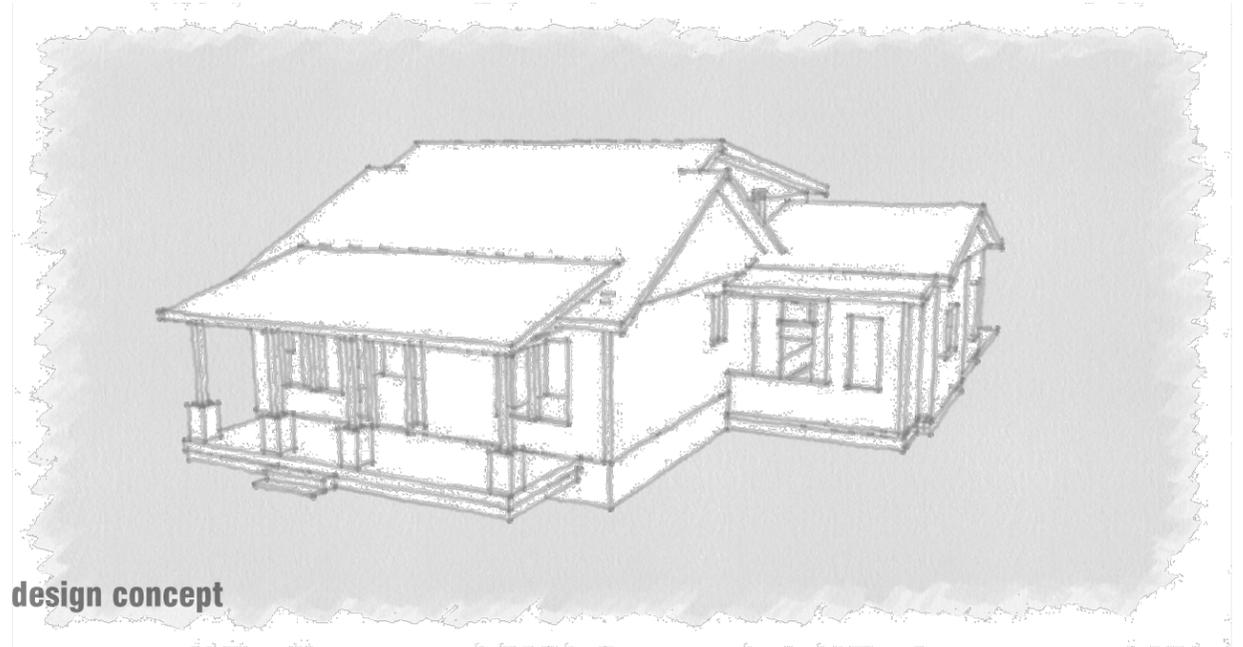
# 1401 PARIS AVE, NASHVILLE, TN 37212

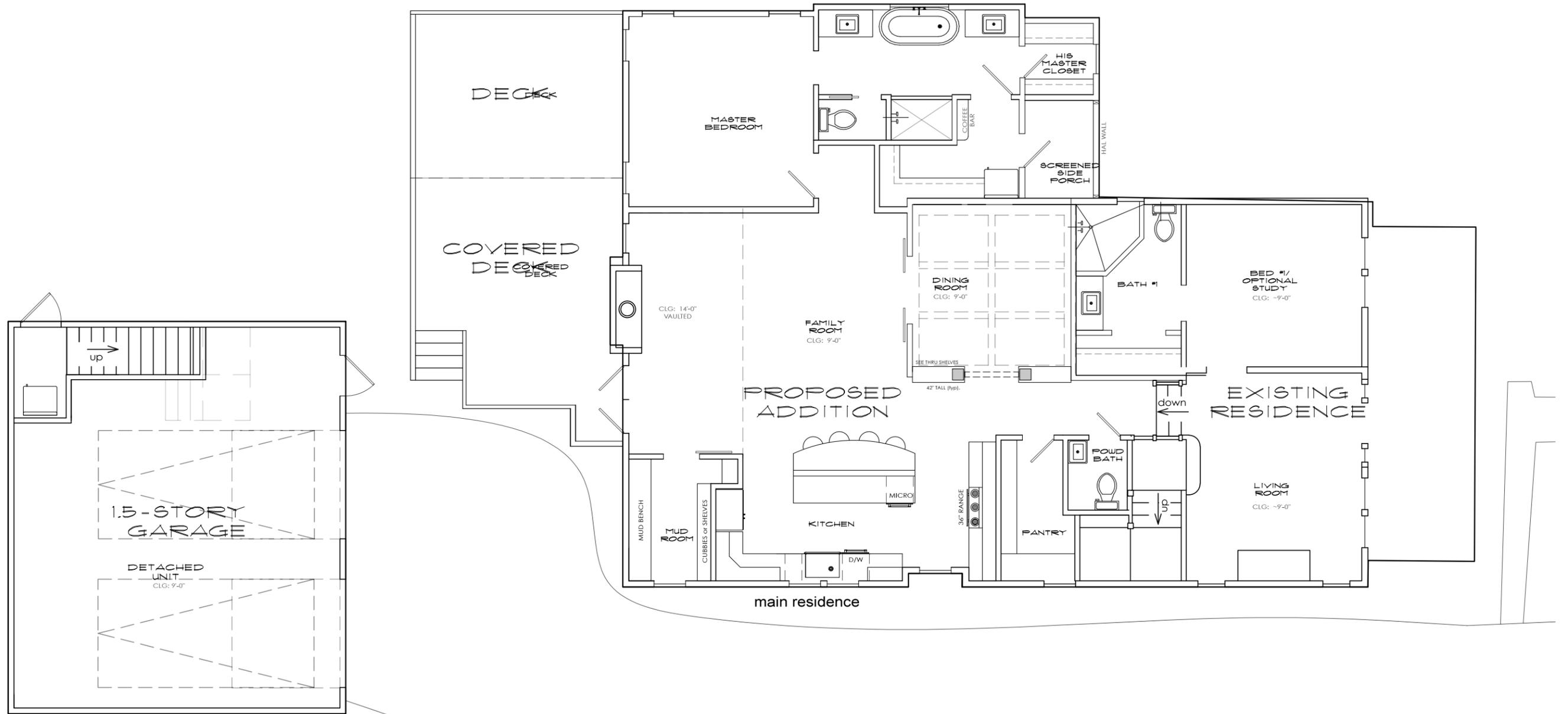
## PROJECT INFORMATION

SITE INFO: PARCEL: 11801007600  
ZONE: RS8.0  
PARCEL SIZE: .18 ACRES

PROJECT: REMOVE PREVIOUS ADDITION IN THE REAR OF THE RESIDENCE. ADD SIDE ADDITION AND ADDITIONAL SQ FT IN REAR OF THE RESIDENCE. INCLUDE DETACHED UNIT AT REAR OF LOT FOR 2-CAR GARAGE AND UPPER LEVEL LIVING SPACE.

design concept





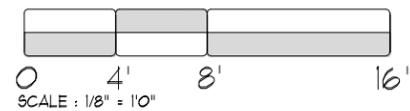
detached unit

**A1.0** main floor plan

project :  
1401 paris ave, nashville tn 37212  
02.01.16

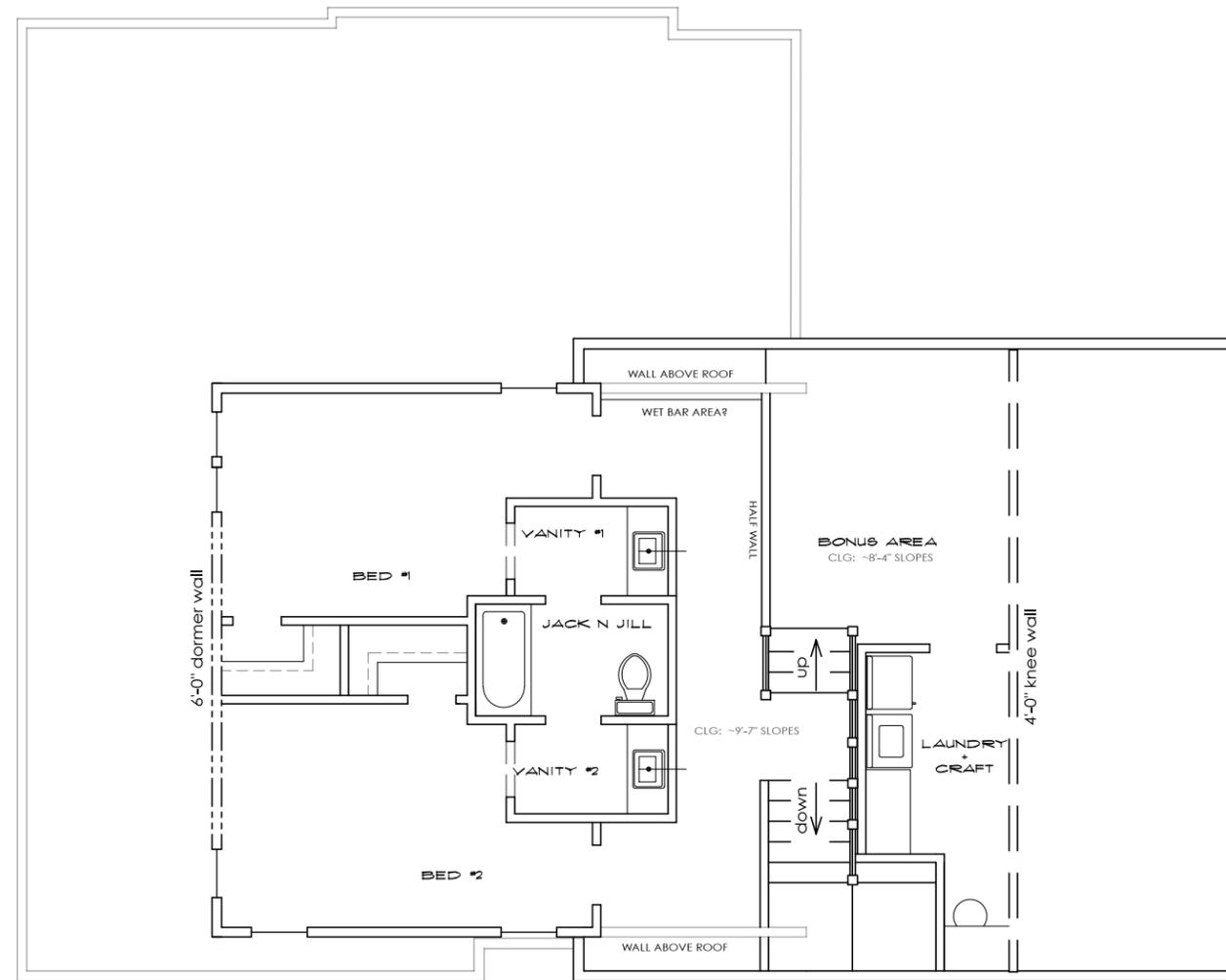
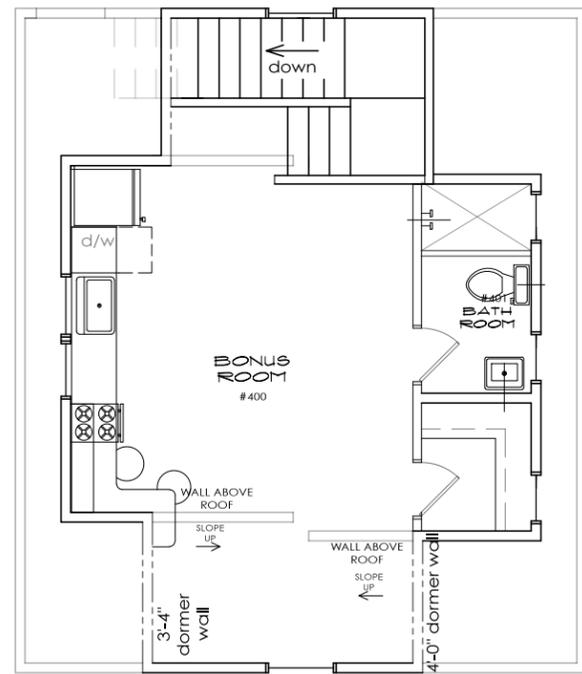
scale:  
1/8" = 1'0"

sheet title:  
**A1.0** floor plans



**anna teeple's designs**  
2916 snowden rd - nashville, tn 37204 615.840.4704 anna@ateeples.com

**preliminary drawings : not for construction**

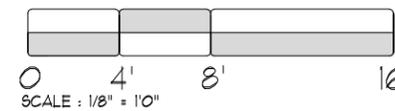


**A1.1** upper floor plans

project :  
1401 paris ave, nashville tn 37212  
02.01.16

scale:  
1/8" = 1'0"

sheet title:  
**A1.1** floor plan: upper level



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**preliminary drawings : not for construction**



**A2.0** elevation: residence front



**A2.1** elevation: residence rear

project :  
1401 paris ave, nashville tn 37212  
02.01.16

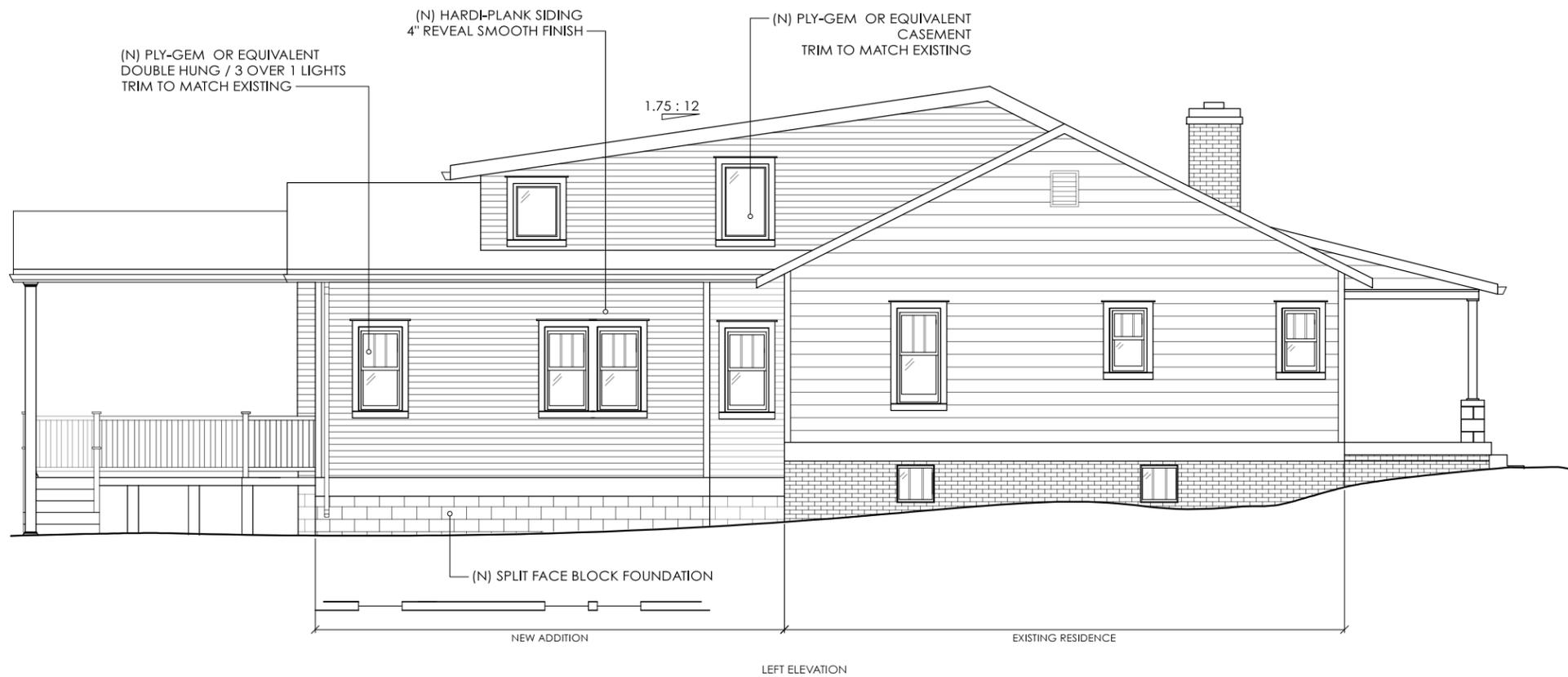
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1/8" = 1'0"

sheet title:  
**A2.0** main residence elevations

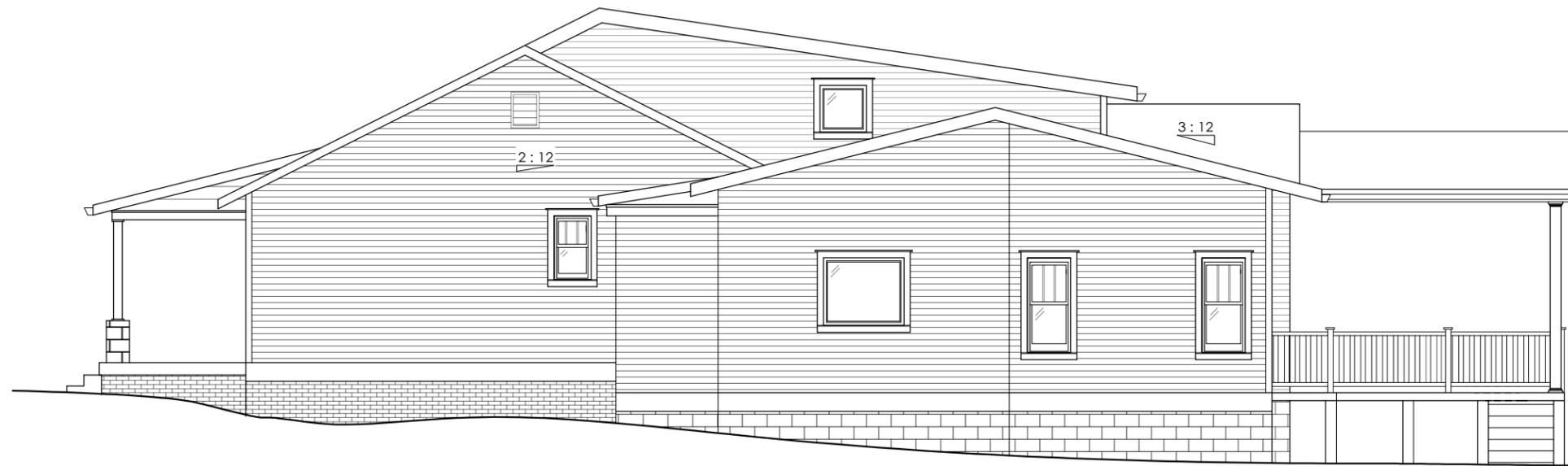


**anna teeple's A designs**  
2916 snowden rd - nashville, tn 37204 615.840.4704 anna@ateeples.com

**preliminary drawings : not for construction**

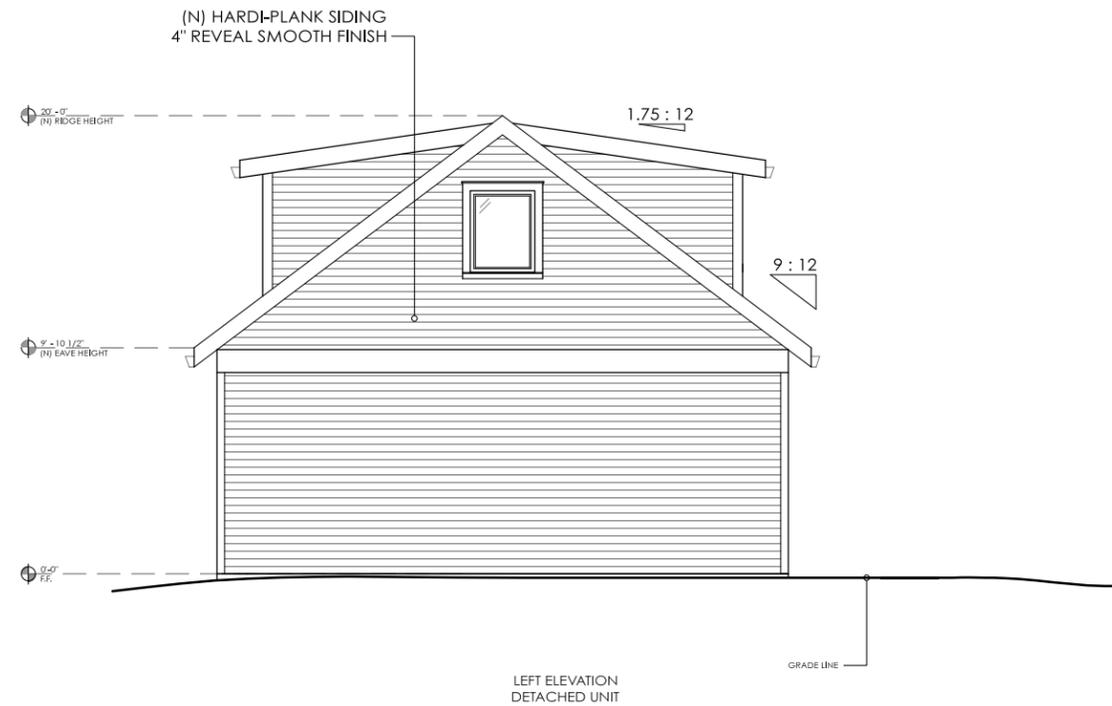


**A2.2** elevation: residence left

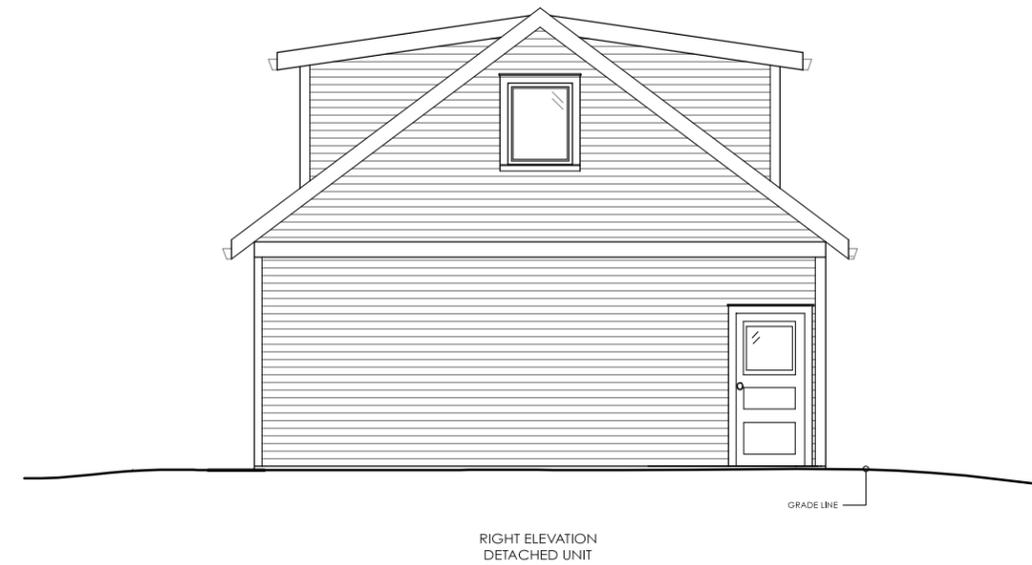


RIGHT ELEVATION

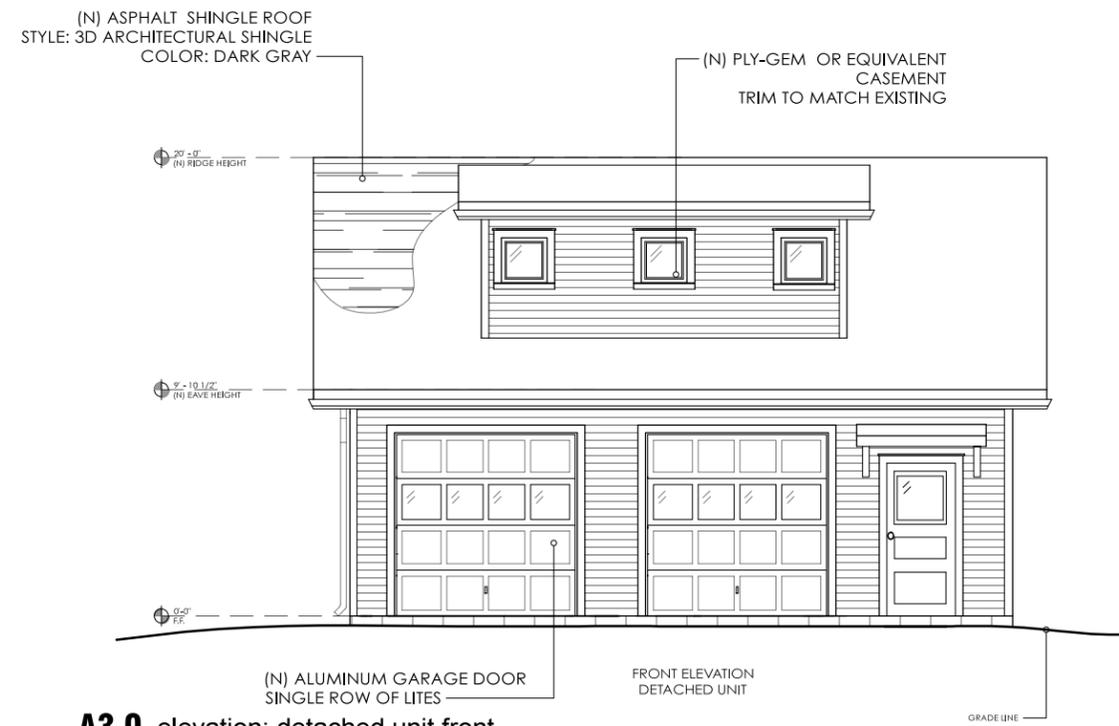
**A2.3** elevation: residence right



**A3.1** elevation: detached unit left



**A3.3** elevation: detached unit right



**A3.0** elevation: detached unit front

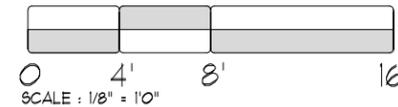


**A3.2** elevation: detached unit rear

project :  
1401 paris ave, nashville tn 37205  
02.01.16

scale:  
1/8" = 1'0"

sheet title:  
**A3.0** detached unit : elevations



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**preliminary drawings : not for construction**