

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1211 Shelby Avenue

April 20, 2016

Application: New construction – outbuilding

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08313020700

Applicant: Tom Farley, property owner

Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: The request is to construct a new outbuilding and includes a setback determination to reduce the rear setback from twenty feet (20') to ten feet, eleven inches (10'11"). The request does not include a detached accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the proposed outbuilding with the following conditions:

1. Staff approve the final details, dimensions and materials of windows, doors, and garage doors prior to purchase and installation; and
2. Staff approve the roof color.

With these conditions met, Staff finds that the proposed outbuilding will meet section II.B.1.h of the design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments

- A:** Photographs
- B:** DADU/Outbuilding Worksheet
- C:** Site Plan
- D:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

· Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

Background: The house located at 1211 Shelby Avenue is a one and a half (1.5) story and was built c. 1910 (Figure 1). It contributes to the historic character of the Lockeland Springs - East End Neighborhood Conservation Zoning Overlay.



Figure 1: 1211 Shelby Avenue

Analysis and Findings: The request is to construct an outbuilding in the rear yard. The request includes a change to the rear base zoning setbacks.

Outbuildings: See attached “Outbuilding and DADU Worksheet” for complete analysis of how the proposed outbuilding meets the design guidelines.

The proposed outbuilding meets all the design guidelines for outbuildings. The outbuilding will be accessed via the alley and will have a footprint of seven hundred and twenty-four square feet (724 sq. ft.). The proposed outbuilding requires a change to the rear setback. Base zoning requires that the outbuildings that have footprints larger than seven hundred square feet (700 sq. ft.) be twenty feet (20’) from the rear property line. The applicant is proposing to situate the outbuilding ten feet, eleven inches (10’ 11”) from the rear property line. Historically, outbuildings were located close to, or on the rear property line. An analysis of the immediate area shows that there are several outbuildings that sit less than twenty feet (20’) from the rear property line. Staff, therefore, finds that the setback determination meets the design guidelines.

The proposed materials are lap siding with a reveal of five inches (5”). The roof shingles will be architectural shingles to match the existing roof, and the foundation will be concrete. Staff asks to approve the final selection of windows, doors, and garage doors as that information is not available at this time.

Staff finds that, with the conditions proposed, the proposed outbuilding meets Section II.B.j of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions and materials of windows, doors, and garage doors prior to purchase and installation; and
2. Staff approve the roof color.

With these conditions, staff finds that the project meets Sections II.B. of the *Lockland Springs – East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The Commission does not have the authority to approve the use. This staff recommendation is for the design of the building based on the proposed use.

OUTBUILDING/DADU WORK SHEET

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES or N/A	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane? (Dormer width is measured from side wall to side wall and roof plane is measured from edge to edge.)	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

Section II: General Requirements for DADU only

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		No
Has the lot been subdivided since 8/15/1984? (If so, the property is not allowed 2 units, even if zoned for 2 units.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

Section III: Site Planning for Outbuildings or DADUs

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	PROPOSED	MINIMUM
Space between principle building and DADU/Garage	25’6”	20’
Rear setback	10’11”	20’
L side setback**	15’11”	5’
R side setback**	5’	5’
How is the building accessed?	Alley	From the alley or existing curb cut

**If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10’.

Section IV: Massing Planning for Outbuildings or DADUs

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)
Ridge Height	25’	25’
Eave Height	10’	1 story 10’ or 2 story 17’
Width of house	27’8”	

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number in the blue boxes.

Proposed	Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet
Maximum Square Footage	724 SF	729 SF	750 sq. ft. (including porches)	1,000 sq. ft. (including porches)

Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.

Please see design guidelines for information about materials and detailing.



PRESERVATION PERMIT APPLICATION- FOR DETACHED ACCESSORY DWELLING UNIT

METROPOLITAN HISTORIC ZONING COMMISSION

3000 Granny White Pike, Nashville, TN 37204

615-862-7970, 615-862-7974 fax, histlap1@nashville.gov, <http://nashville.gov/Historical-Commission.aspx>

DEADLINE: **Complete** applications must be received a minimum of 16 days prior to the next MHZC hearing which takes place on the third Wednesday of the month. Please visit www.nashville.gov for the schedule. Incomplete applications will not be scheduled until all information has been received.

PROPERTY ADDRESS: 1211 Shelby Ave

APPLICANT (All communication by phone, fax, email or mail will be with the applicant.)

Name Tom Farley

Mailing Address 1211 Shelby Ave

City Nashville Zip Code 37206

Contact Phone 914-843-3747 Fax Number _____ Email thbfarley@gmail.com

Owner Contractor Architect/Designer Other _____

PROPERTY OWNER (If different from applicant.)

Name _____

Mailing Address _____

City _____ Zip code _____

Contact Phone _____ Fax Number _____ Email _____

Code Administration's Temporary Bldg Permit # _____

(This number starts with a "T" followed by the year. It may also be obtained later.)

Zoning for lot: R6

Lot area in square feet: 8500 sqft

Total square footage of existing outbuildings (sheds, garages, etc) that are not planned to be demolished: 0

Number of dwelling units currently on the property: 1

Total square footage of living space (does not include stairwell): _____

Height of principal structure (average of all four corners): 26' 8"

Eave heights of principle structure (average of all four corners): 9' 10"

Does the request include a setback determination (proposed setbacks that do not meet bulk zoning): Yes

(The MHZC has the ability to reduce the setbacks required by base zoning where there is historic precedence. If your project does not meet the base zoning setback requirements it is your responsibility to notify all adjacent (all properties around the subject property) property owners of the public hearing and the request for a setback reduction. A sample letter may be requested. In addition, the MHZC will post a sign in the front yard seven days prior to the hearing.)

Estimated Cost of Work \$ \$24000

As the owner, I confirm that I will live in one of the two units:



Owner's Signature: _____

Restrictive Covenant #: _____

(Stamped by Register of Deeds and signed copy must be attached. File with Register of Deeds: <http://www.nashville.gov/Register-of-Deeds.aspx>, 501 Broadway in the Bridgestone Arena, 8am-4:30pm)

INFORMATION TO BE SUBMITTED WITH APPLICATION

All applications must have documentation which clearly illustrates the proposed exterior appearance of the project. **Incomplete applications will not be scheduled for a MHZC public hearing until they are complete.** Design Guidelines and a work-sheet for outbuildings/DADUs are available online at <http://nashville.gov/Historical-Commission/Services/Preservation-Permits/Districts-and-Design-Guidelines.aspx>.

NEW CONSTRUCTION (Including Additions)

At least one complete set of drawings should be no larger than 11 x 17 and MUST be to scale.

- Site plan showing the entire lot with property lines and with all setbacks clearly noted. For infill projects, the footprints of the abutting properties should be shown in relation to the proposed building and elevation contour lines. *Basic site plans may be obtained at <http://nashville.gov/Planning-Department/Mapping-and-GIS/Interactive-Maps.aspx>. More accurate maps may be obtained at Community Plans/Planning Commission.*
- Elevation drawings of each façade with dimensions (including roof pitch) and materials specified. For additions, existing and proposed should be clearly delineated. For infill projects, the building height and porch floor heights of the abutting properties should be shown in relation to the proposed building.
- Floor Plans of both levels
- Plans showing all associated site improvements, e.g. sidewalks, lighting, pavement, etc.
- Window and door manufacturer and model
- Current photographs of building or site. (Digital preferred)
- Drawings, samples, product literature manufacturer's illustrations may be required
- Roof plan may be necessary for complex additions or new construction
- Demolition plans, if applicable.
- Any additional information requested

DECISION MAKING

Decisions of the MHZC are guided by design guidelines based on the National Park Services' Secretary of Interior Standards for Rehabilitation. To view the design guidelines, visit www.nashville.gov.

Any substitution or deviation from the approved work items listed on the Preservation Permit requires further review and approval by the Historic Zoning Commission prior to being undertaken. Accurate scale elevations, drawings, and site plans are needed for project review. The MHZC retains copies of all materials submitted.

SIGNATURE _____

DATE 4/07/16



I/We the above signed do hereby make application for a Preservation Permit following plans and proposals to be undertaken within the boundaries of an historic preservation overlay pursuant to Article IX of the Metropolitan Code.

SUBMITTING AN APPLICATION Applications may be scanned and emailed to histlap1@nashville.gov.

Prepared by Department of Codes Administration.

RESTRICTIVE COVENANT FOR ACCESSORY DWELLING, DETACHED HISTORICAL

IN CONSIDERATION of the issuance of a building/use and occupancy permit by the Metropolitan Government of Nashville and Davidson County for a single-family accessory dwelling, detached residence on certain property herein described,

I/We, the undersigned owner(s) of the property located at

Lot Number _____ Subdivision _____ . Further identified as Map/Parcel Number _____, being the same property conveyed in Book/Page/Instrument Number _____, R. O. D. C., Tennessee, hereby agree, covenant and bind myself, ourselves, our heirs, and assigns that this unit shall be used in compliance with Section 17.16.030 F of the Metropolitan Zoning Code and in all other laws of the Metropolitan Government.

This _____, day of _____, 20_____.

NAME (PRINT)

ADDRESS (STREET and NUMBER)

CITY and STATE

SIGNATURE

STATE OF TENNESSEE

COUNTY OF DAVIDSON

Before me, _____, a Notary Public in and for the said State and County, personally appeared _____, who upon oath, acknowledge _____, to be the owner(s) of the property therein described, executed the foregoing instrument for the purpose therein contained.

Witness my hand and seal _____, Tennessee, this _____, day of _____, 20_____.

Notary Public

My Commission expires:

OUTBUILDING/DADU WORK SHEET

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	YES or N/A	NO
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If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane? (Dormer width is measured from side wall to side wall and roof plane is measured from edge to edge.)	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Section II: General Requirements for DADU only

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		No
Has the lot been subdivided since 8/15/1984? (If so, the property is not allowed 2 units, even if zoned for 2 units.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?	Yes	
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

Section III: Site Planning for Outbuildings or DADUs

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	PROPOSED	MINIMUM
Space between principle building and DADU/Garage	25.5'	20'
Rear setback	10.9'	3'
L side setback**	15.9'	3'
R side setback**	5.0'	3'
How is the building accessed?	Alley	From the alley or existing curb cut

**If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10'.

Section IV: Massing Planning for Outbuildings or DADUs

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)
Ridge Height	25'	25'
Eave Height	10'	1 story 10' or 2 story 17'
Width of house	27' 8"	

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number in the blue boxes.

Proposed	Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet
Maximum Square Footage	702 sq. ft		750 sq. ft. (including porches)	1,000 sq. ft. (including porches)

Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.

Please see design guidelines for information about materials and detailing.



DETACHED GARAGE

TOM FARLEY

TOM FARLEY

NEW DETACHED GARAGE



PLANS NOTES:

- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED. I.E. MOUNT AS LOW AS POSSIBLE.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASES AS CONSTRUCTED.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
- ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
- ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8 TYPE X GYP BOARD W/1 HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
- ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6"(R-19) INSULATION BETWEEN 2X4 JOISTS.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD. WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24"OC OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24"OC.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

FOUNDATION NOTES:

- ALL FOOTINGS SHALL REST ON VIRGIN, UNDISTURBED SOIL.
- ASSUMED SOIL SHALL BE SAND OR GRAVEL, WITH MINIMUM TRACES OF DRY CLAY WITH A MINIMUM BEARING CAPACITY OF 2000 LBS/SQ.FT.
- UNLESS OTHERWISE NOTED, ALL 4" SLABS ON GRADE SHALL BE 3000 PSI (28 DAY COMPRESSIVE STRENGTH) CONCRETE ON 4" SAND OR GRAVEL FILL MINIMUM WITH 6"X6", #10/#10 WWM ON .006 VISQUEEN.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OF MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- PLACE 1/2" DIAMETER X (8? OR 12") SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 4'0" OC AND AT EACH CORNER AND BOTH SIDES OF OPENINGS.
- FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL GARAGES, BOTH DIRECTIONS.
- MASONRY VENEER MUST BE ANCHORED TO BACK UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16"OC HORIZONTALLY AND 24"OC VERTICALLY.
- INSTALL CONTINUOUS APPROVED FLASHINGS AND COTTON CORD WEEPS AT 48"OC WITHIN FIRST EXPOSED COURSE ABOVE GRADE.

1 COVER MODEL

Sheet List	
Sheet Number	Sheet Name
A0	COVER SHEET
A1	GARAGE FLOOR PLAN
A1.1	ATTIC STORAGE PLAN
A1.2	TOP PLATE/DORMER LAYOUT
A2	ELECTRICAL PLAN
A3	FRONT ELEVATION
A4	LEFT SIDE ELEVATION
A5	REAR ELEVATION
A6	RIGHT SIDE ELEVATION
A8	FRAMING PLAN
A9	BUIDLING SECTIONS

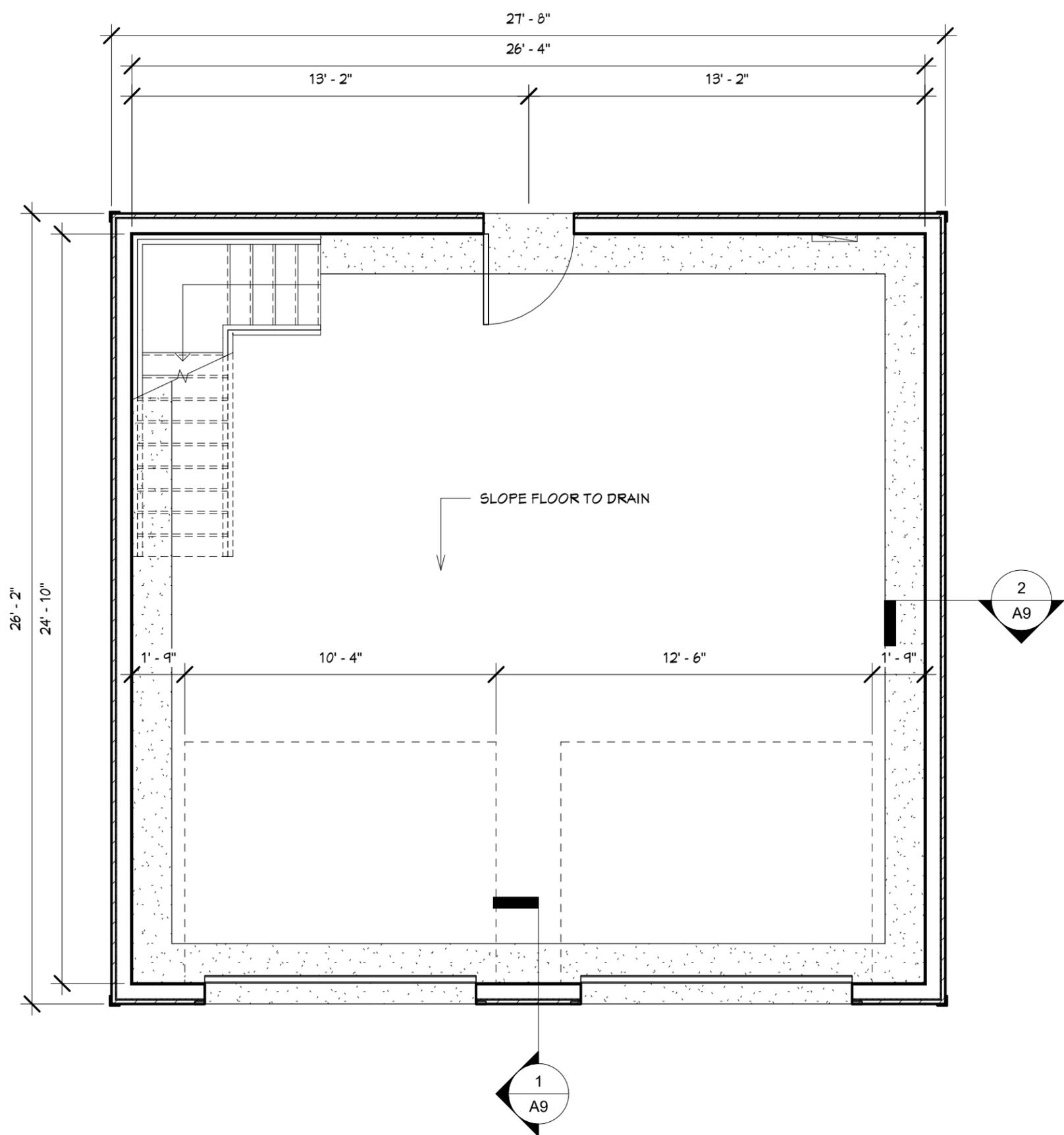
COVER SHEET

A0

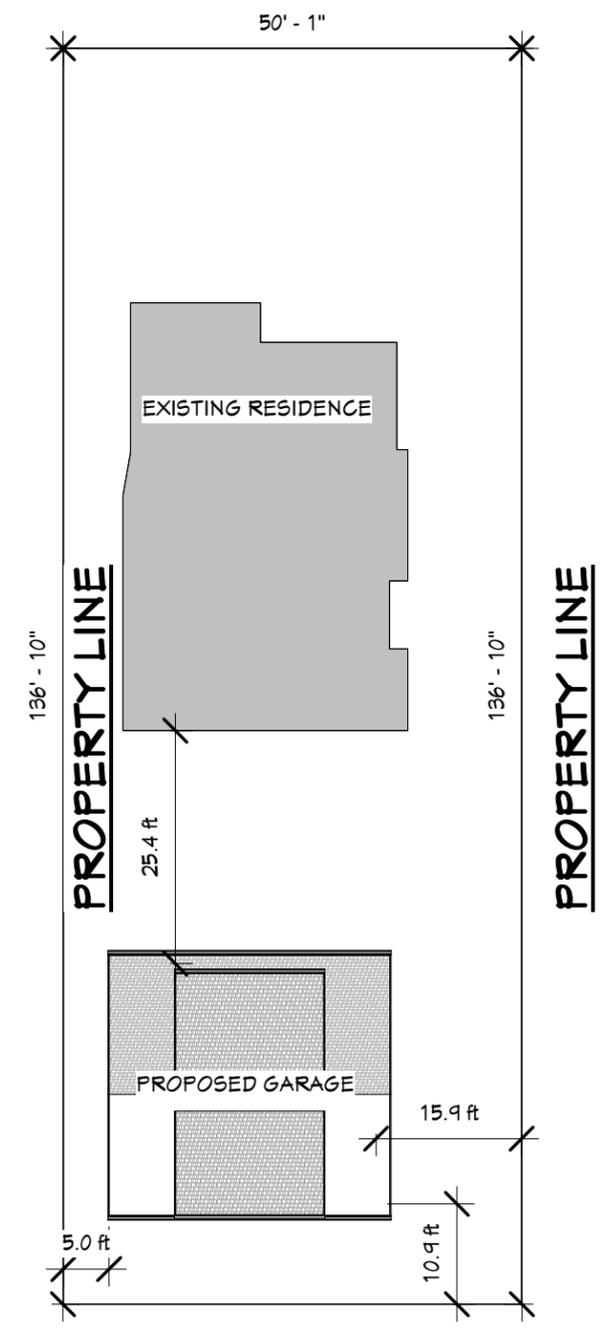
SCALE

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SCALE BASED ON 11x17 SHEET SIZE



1 GARAGE FLOOR
1/4" = 1'-0"



2 SITE PLAN
1" = 20'-0"



TOM FARLEY

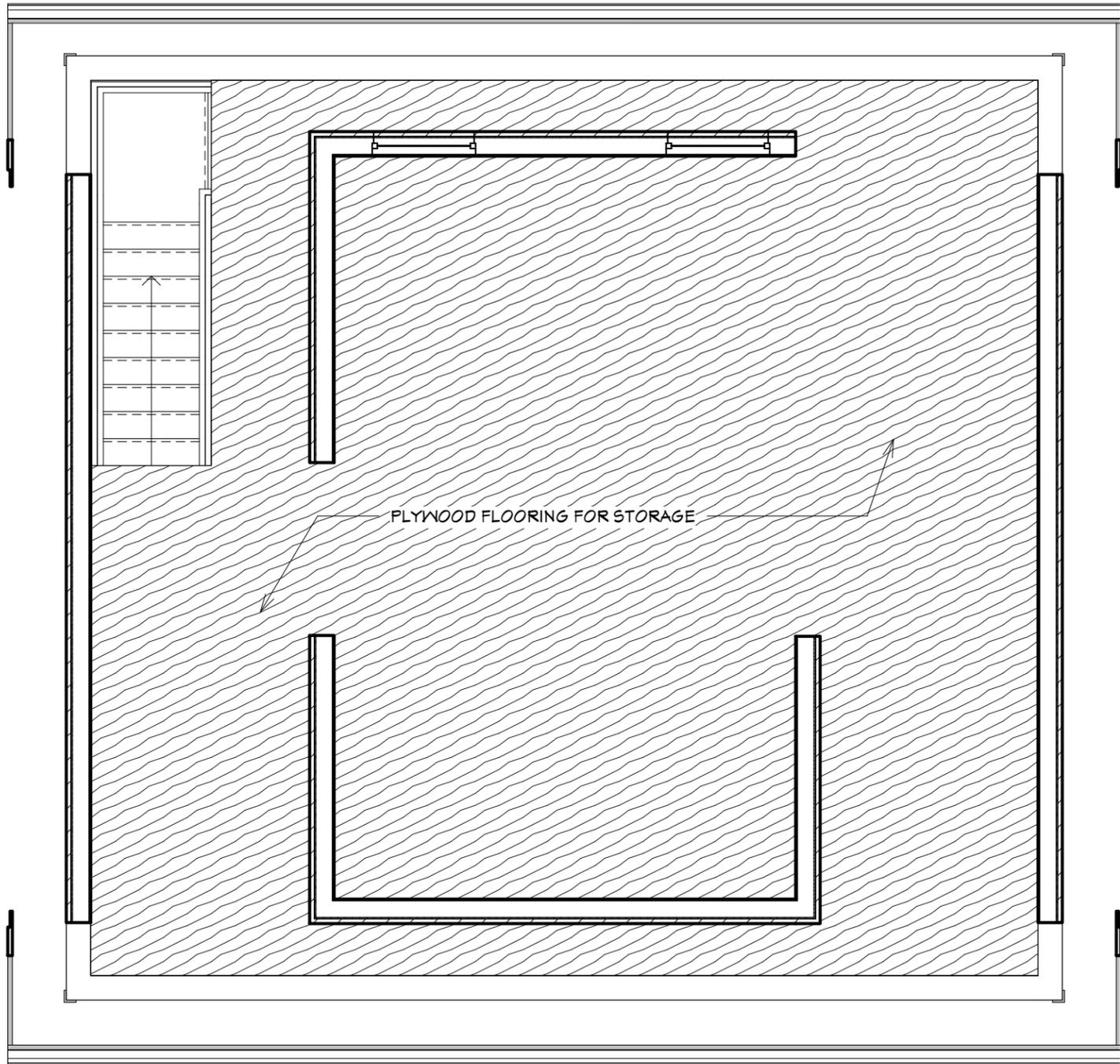
NEW DETACHED
GARAGE

ATTIC STORAGE PLAN

A1.1

SCALE
1/4" = 1'-0"

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1 ATTIC STORAGE
1/4" = 1'-0"



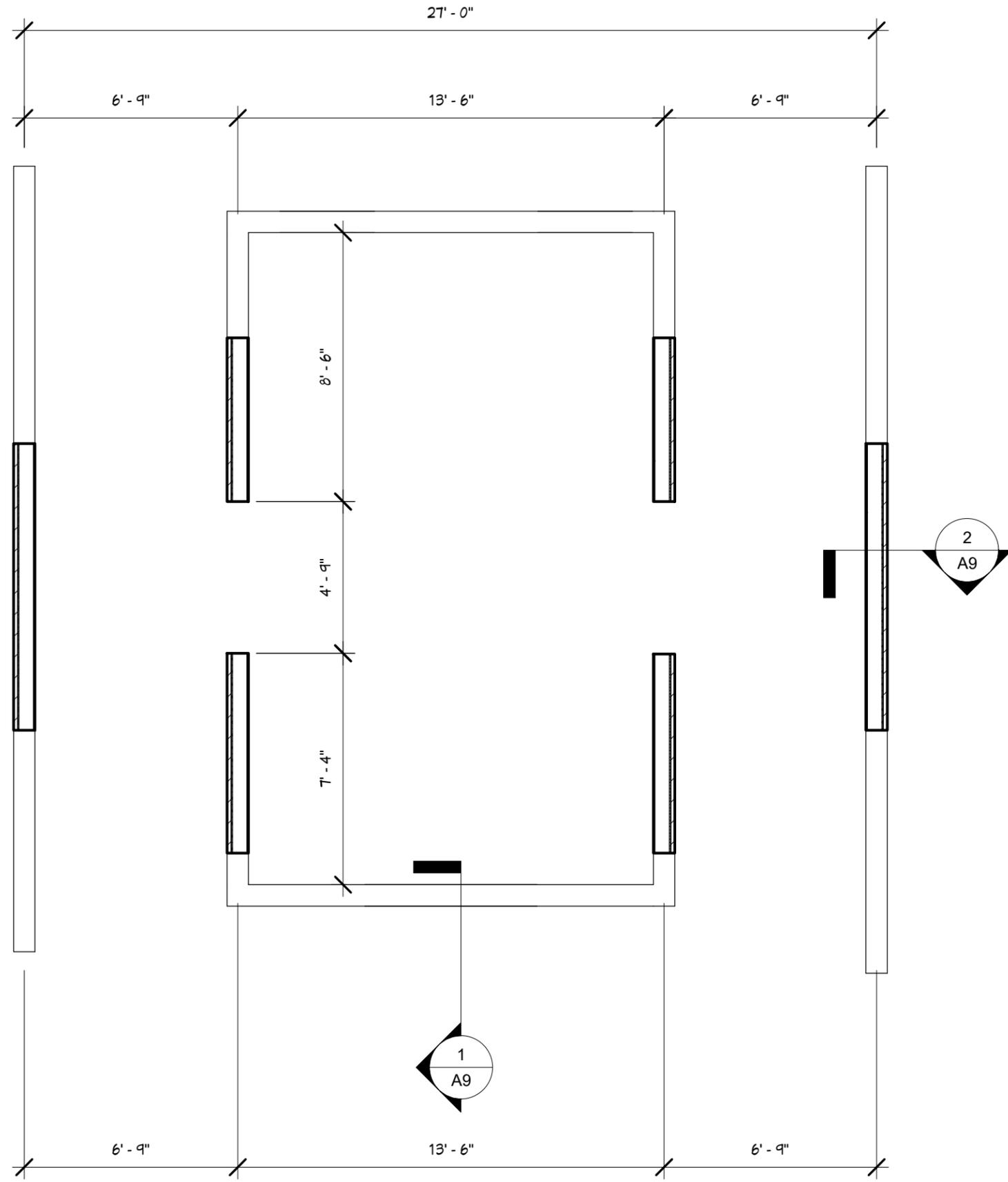
TOM FARLEY

NEW DETACHED
GARAGE

TOP PLATE/DORMER LAYOUT
A1.2

SCALE
1/4" = 1'-0"

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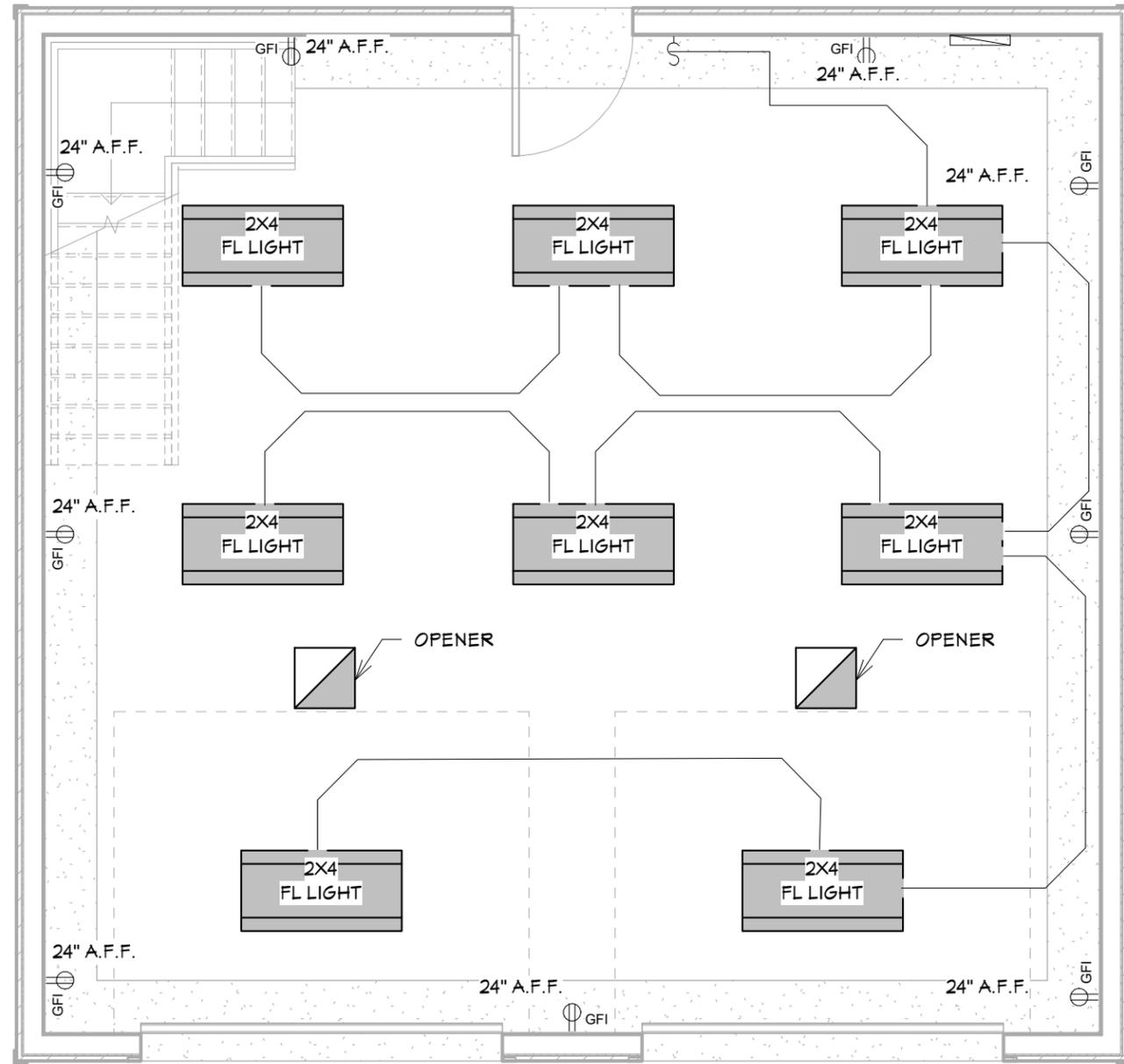


1 TOP PLATE
1/4" = 1'-0"



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NEW DETACHED GARAGE



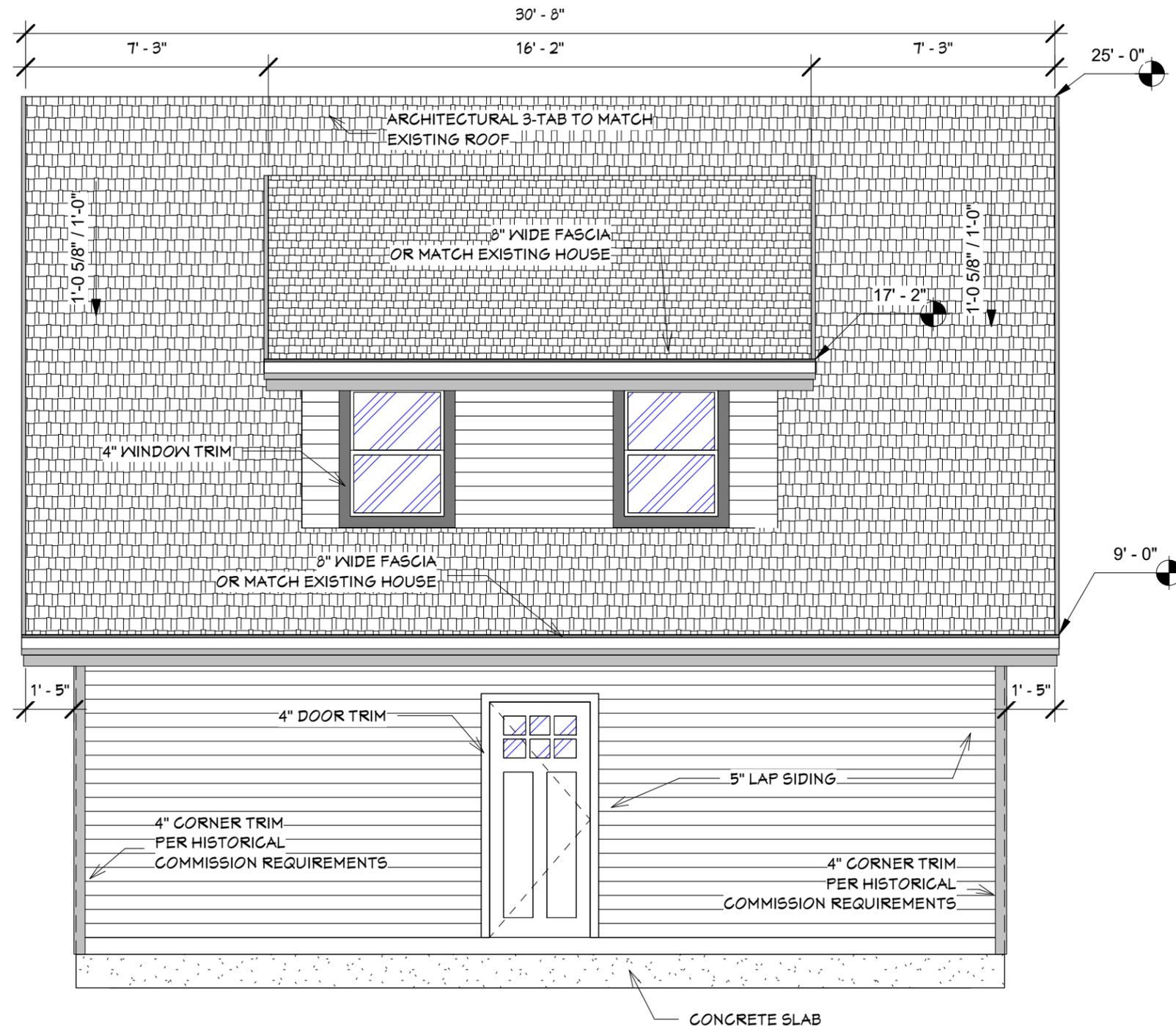
1 ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL PLAN
A2

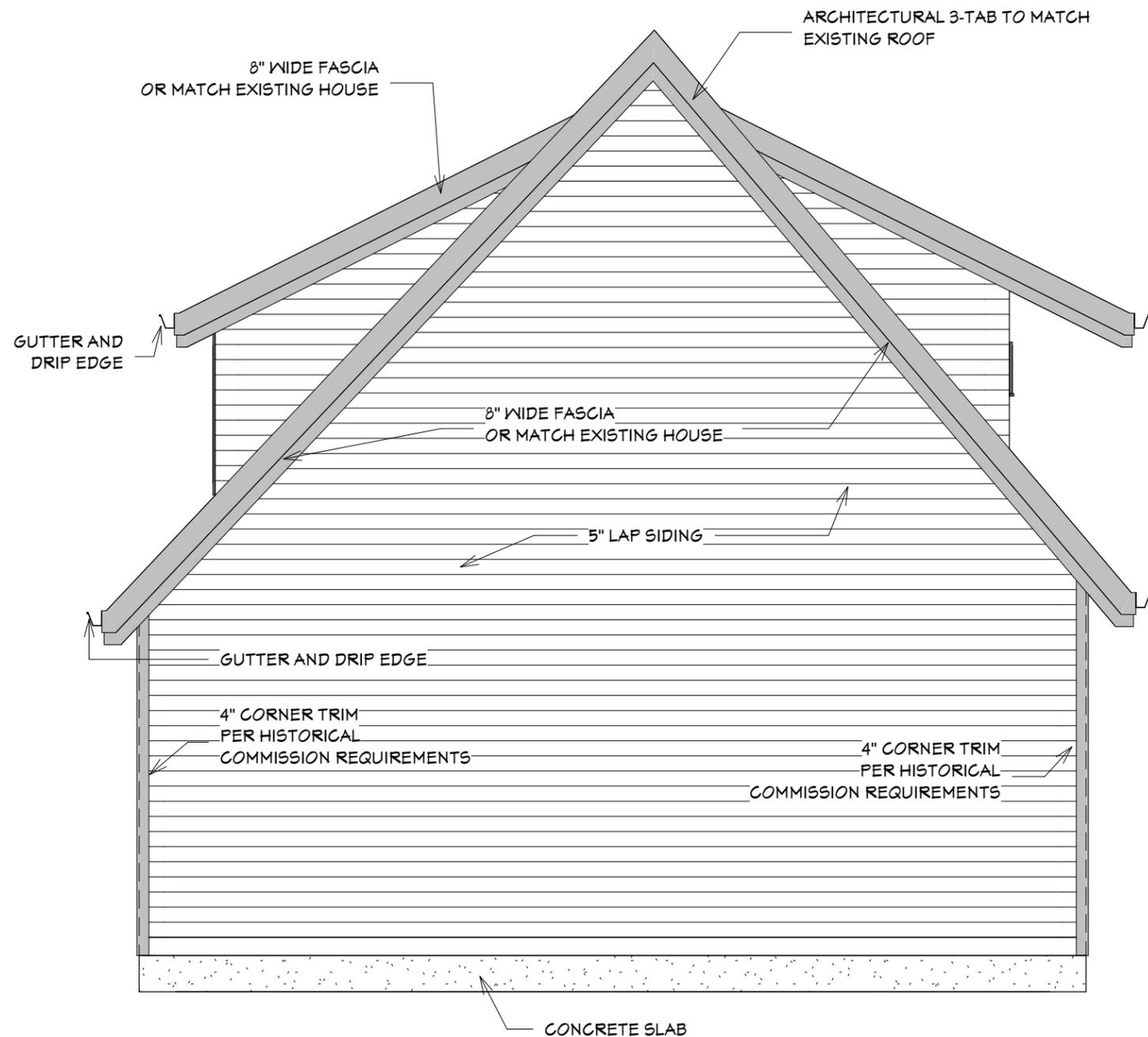
SCALE
1/4" = 1'-0"

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SCALE BASED ON 11"x17" SHEET SIZE



1 North
1/4" = 1'-0"



ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
3. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
4. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

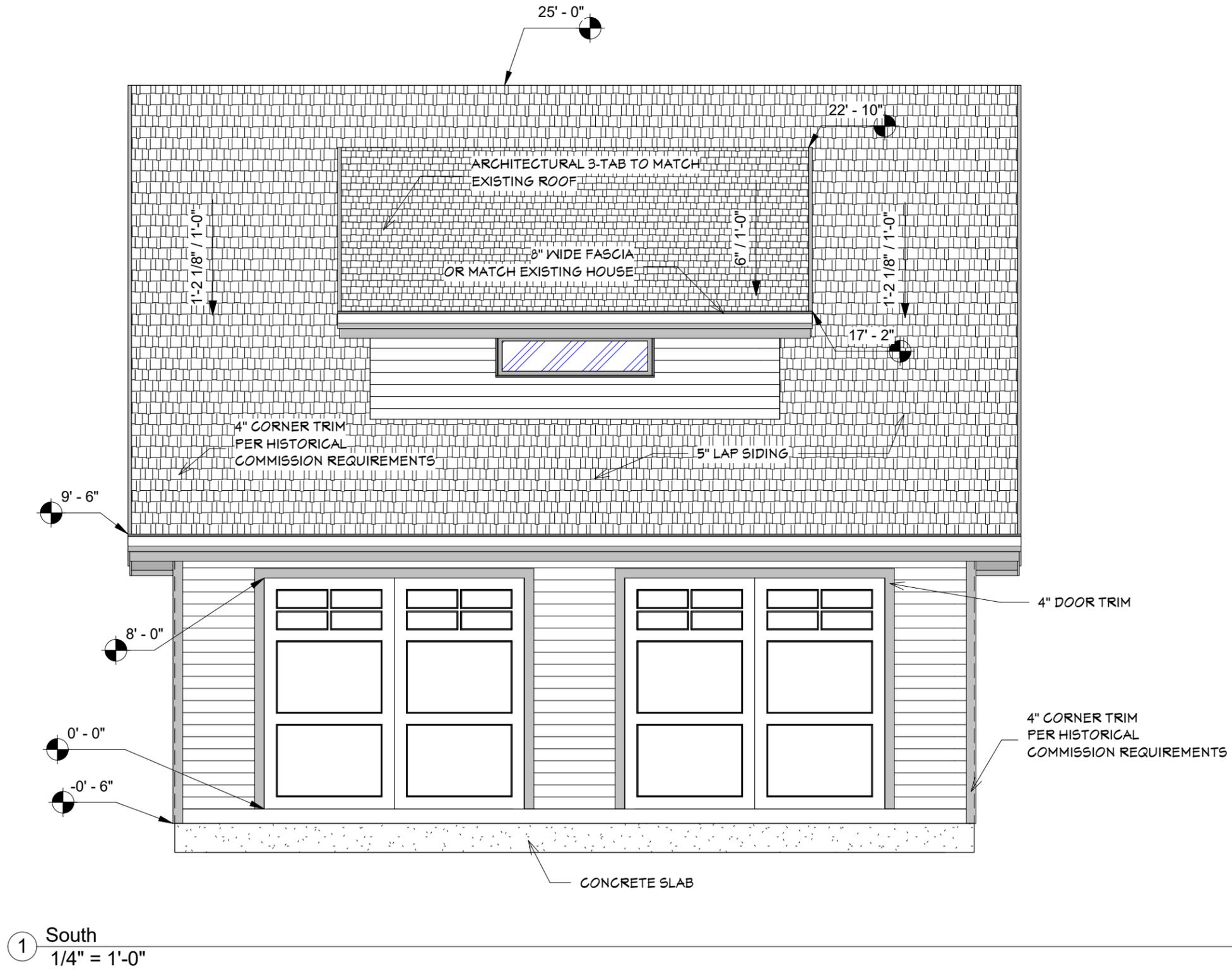
NOTE:

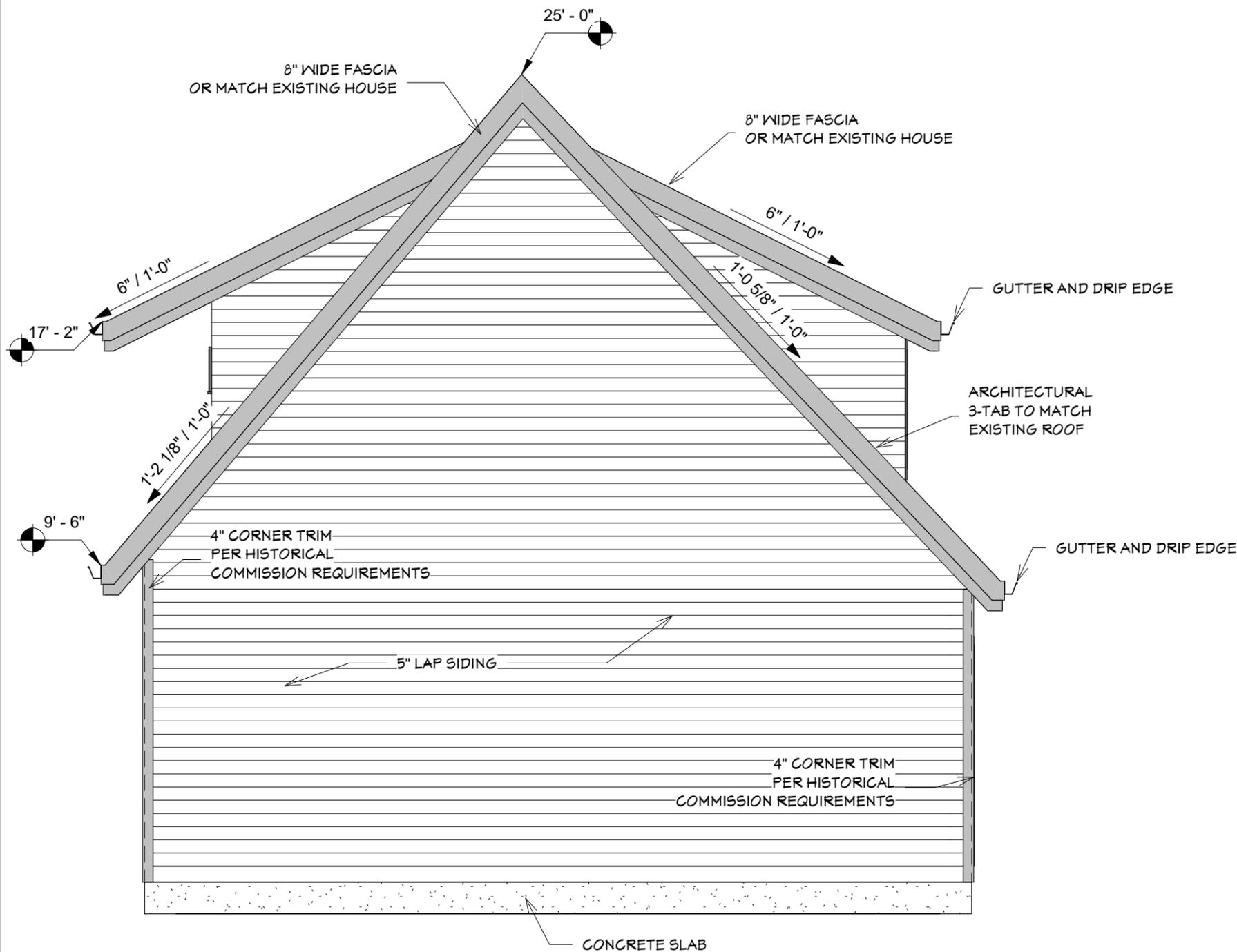
1. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS EXIST CONSULT A STRUCTURAL ENGINEER.
2. BUILDER TO VERIFY FOUNDATIONS DETAILS WITH LOCAL BUILDING CODES.
3. VERIFY ALL FLOOR OUTLETS, RANGE AND DRYER VENTS IN SLAB.
4. BUILDER TO LOCATE FOUNDATION ACCESS LOCATION. VERIFY WITH SITE ELEVATIONS.
5. VERIFY 4"PERF MIN. FRENCH DRAIN LOCATIONS IF NEED. VERIFY WITH SITE.
6. CRAWL SPACE DESIGN AND PIER LOCATIONS ARE BASED ON A STRUCTURAL CONFIGURATION WHICH ALLOWS A MAXIMUM POINT LOAD (DEAD OR LIVE) AT ANY GIVING POINT ON THE FINISHED FLOOR. THIS INSURES MAXIMUM SUPPORT AND STABILITY.
7. USE DOUBLE AND IF ALLOWED, TRIPLE FLOOR JOIST UNDER ALL PARALLEL BEARING WALLS.
8. BUILDER TO PROVIDE CROSS MEMBER BRIDGING BETWEEN JOISTS BY USING EITHER METAL BRIDGES OR 1X4 CROSS BRACING MEMBERS @ 6' SPACING MAX. VERIFY ALL APPLICATIONS WITH LOCAL CODE.
9. BUILDER TO VERIFY USE OF POWER VENTS IN CRAWL SPACE AREAS WHERE EXTRA VENTILATION MAY BE NEEDED. (VERIFY WITH LOCAL CODE)

INSULATION NOTES:

1. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS. MINIMUM R-30 INSULATION IN FLAT CEILINGS AND R-3- MINIMUM BLANKET INSULATION IN VAULTED CEILINGS. ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRIC BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 18 MINIMUM.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-25 FOIL BACK INSULATION BETWEEN JOISTS.
5. SLAB EDGE INSULATION R-5.
6. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8.

① West
1/4" = 1'-0"





① East
1/4" = 1'-0"

ELEVATION NOTES:

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NOTE:

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- INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRIC BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
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- SLAB EDGE INSULATION R-5.
- HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8.



TOM FARLEY

NEW DETACHED GARAGE

FRAMING PLAN

A8

SCALE
1/4" = 1'-0"

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CONSTRUCTION AND FRAMING NOTES

1. DESIGN LOADS ARE AS FOLLOWS PER SQ. FT.

LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB.	10 LB.	L/360
2ND FLOOR (SLEEPING AREA)	30 LB.	10 LB.	L/360
ATTIC (NON STORAGE)	10 LB.	5 LB.	L/240
ATTIC (STORAGE)	20 LB.	10 LB.	L/240
ROOF (W/ FINISHED CEILING)	30 LB. SNOW	15 LB.	L/240
ROOF (NO FINISHED CEILING)	30 LB.	7 LB.	L/180
DECKS	60 LB.	10 LB.	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDE OFF FACTOR AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMMODATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN YELLOW PINE WITH FB=1450 AND E=1.6 MINIMUM.

3. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD, GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS. DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3) 2X2 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND SILICONE SEALED.

8. MICRO-LAM BEAMS SHALL HAVE BENDING STRESS: FB=2800 PSI. VERIFY WITH LOCAL CODES.

9. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE SIMPSON STRONG TIE ANCHORS OR EQUAL.

10. MINIMUM HEADER SIZE SHALL BE (2) 2"X6" UNLESS NOTED OTHERWISE EXTERIOR WALLS SHALL BE (2) 2X12 WITH 1/2" PLYWOOD.

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

12. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

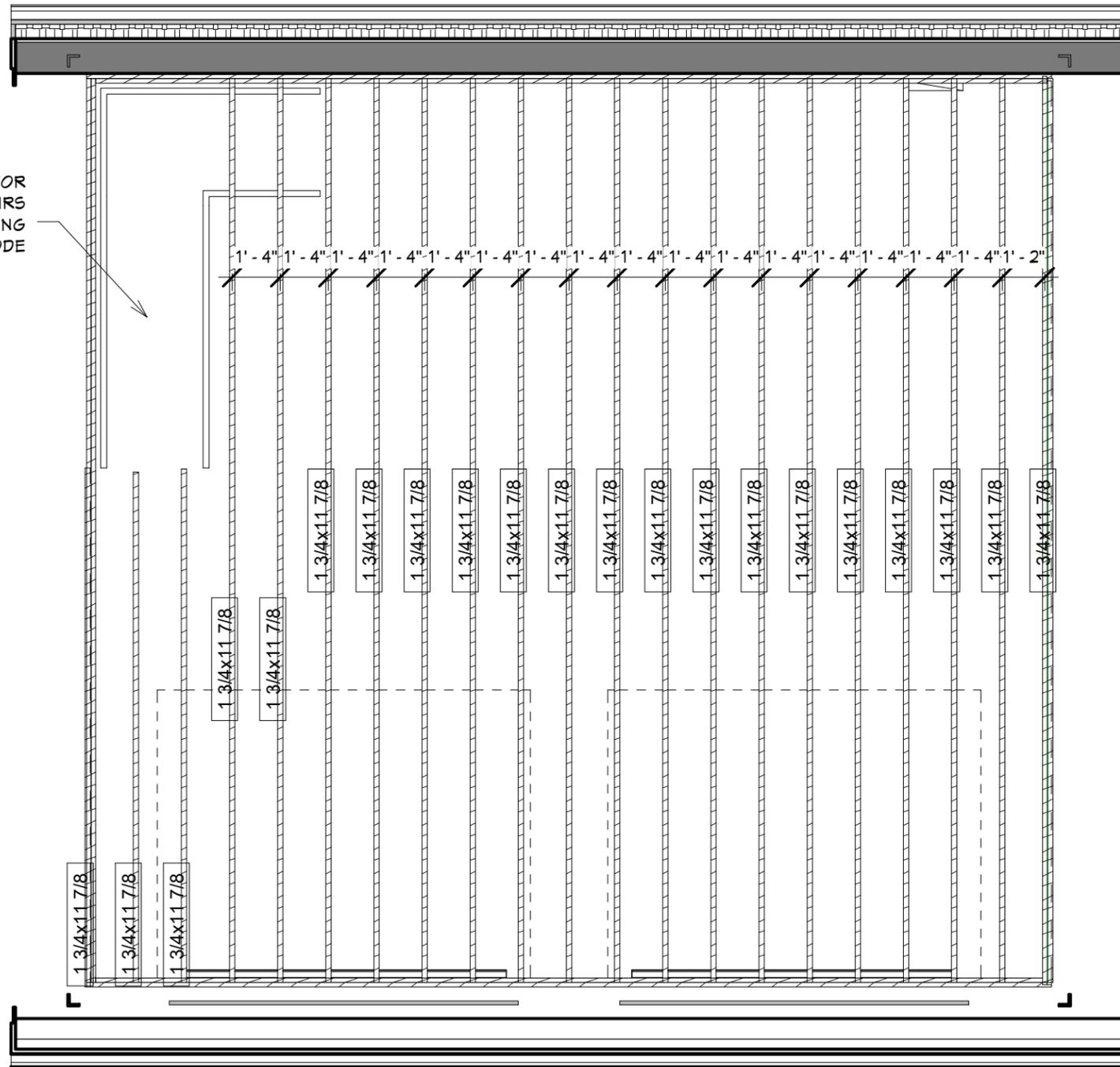
13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.

14. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'0".

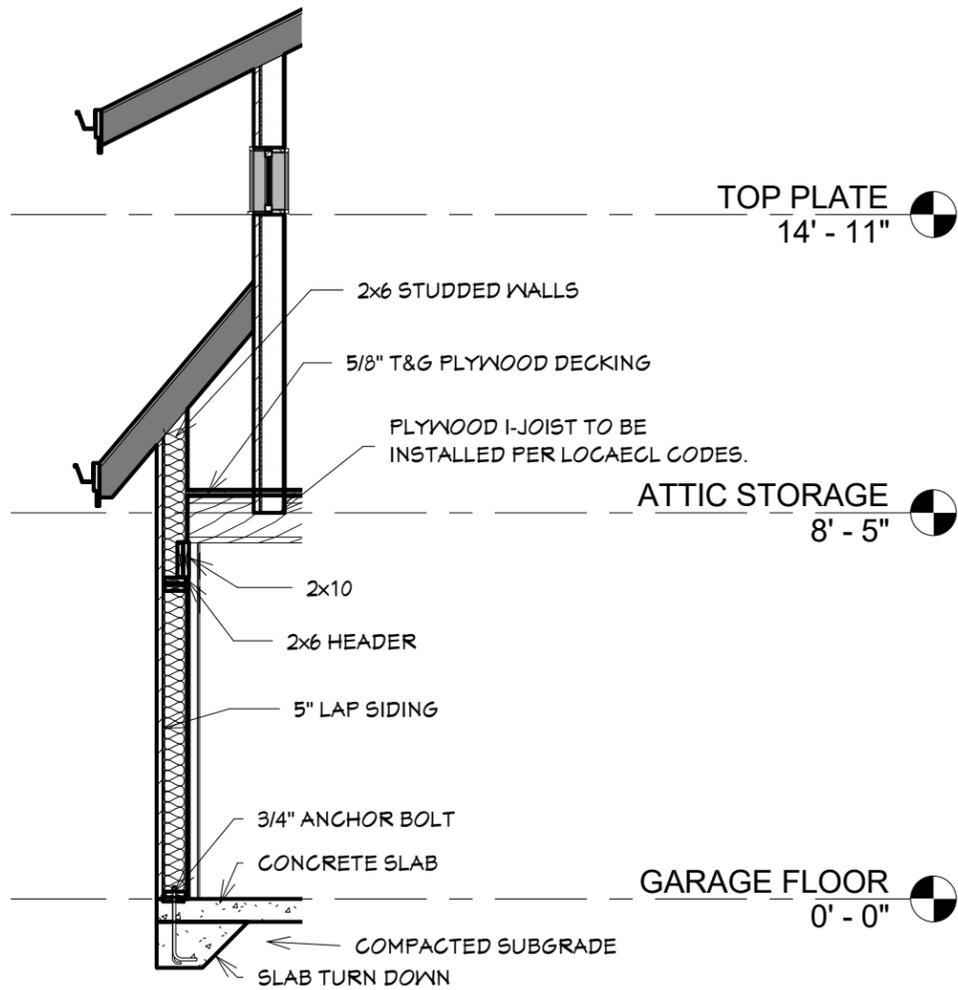
15. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES. THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.

16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS AND FHAVA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

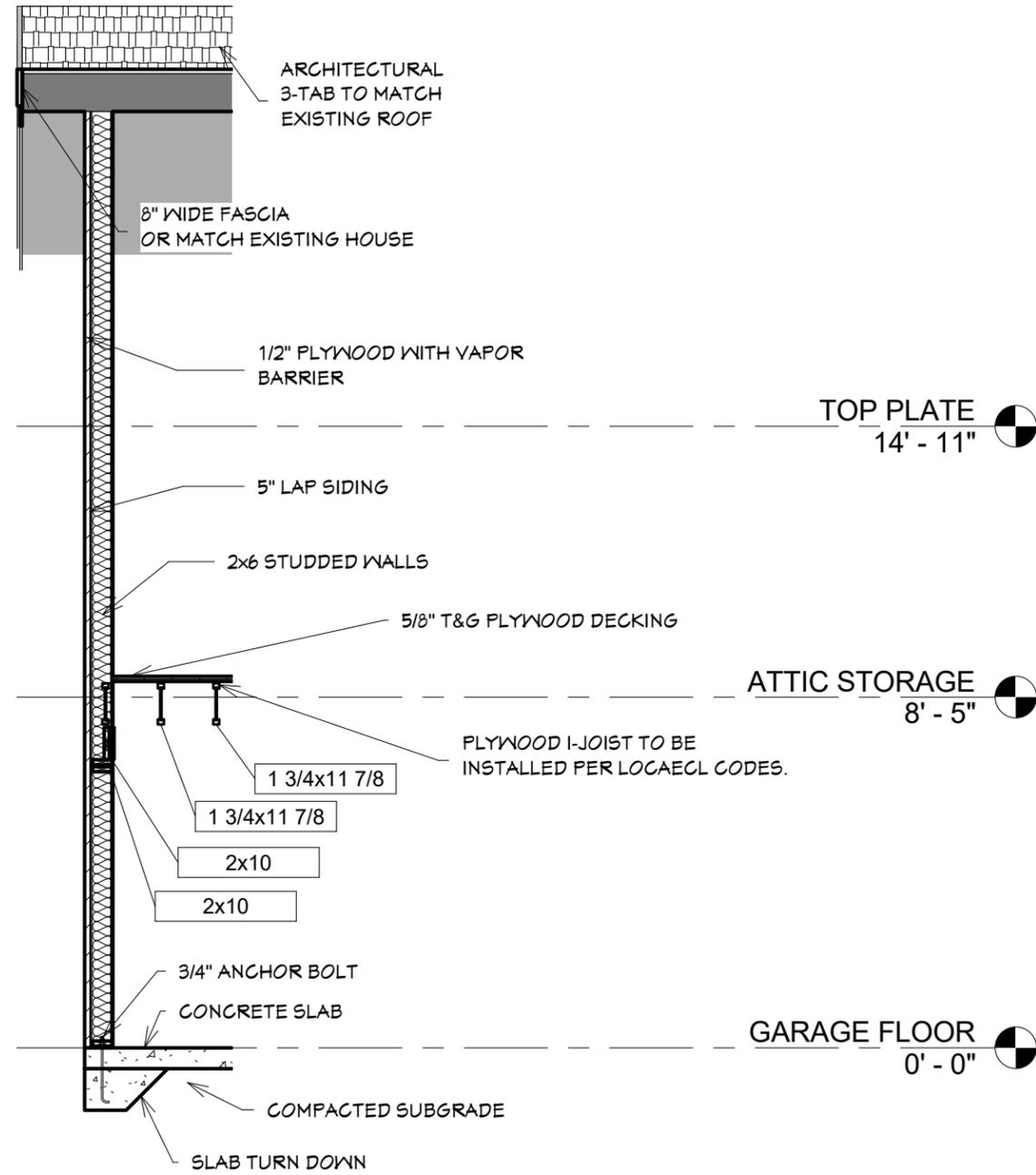
CONTRACTOR
TO FRAME STAIRS
PER LOCAL BUILDING
CODE



1 ATTIC STORAGE
1/4" = 1'-0"



1 WALL SECTION AT SIDE WALL
1/4" = 1'-0"



2 WALL SECTION
1/4" = 1'-0"