

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**900, 901, 902, 903, 908, Meridian Street, 206 Vaughn Street, 219 Cleveland Street  
April 20, 2016**

**Application:** Planning Commission Recommendation for SP that includes a Historic Landmark

**Map and Parcel Numbers:** 08203023100, 08203022900, 08203022800, 08203022700, 08203021800

**Council Districts:** 05

**Applicant:** Hastings Architecture Associates, LLC

**Project Lead:** Robin Zeigler, [robin.zeigler@nashville.gov](mailto:robin.zeigler@nashville.gov), 615-862-7970

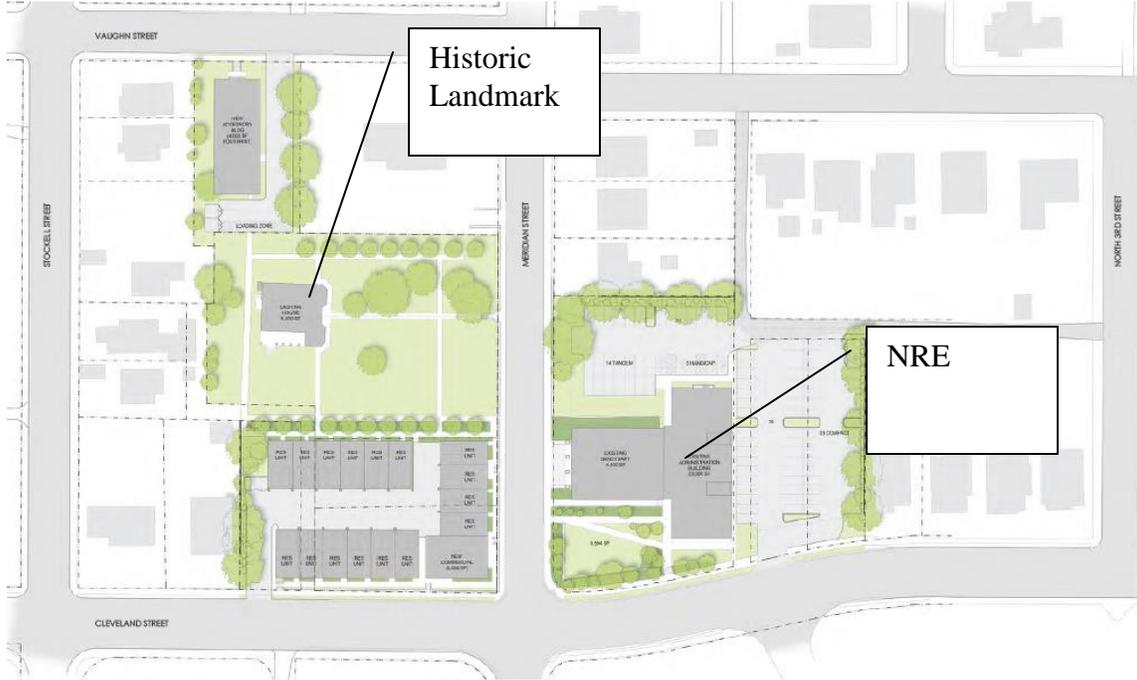
**Description of Project:** Staff recommends that the MHZC recommend approval to the Planning Commission of the proposed SP with the conditions that:

1. The portion of the development closest to the historic landmark, located at the corner of Cleveland and Meridian Streets, be no more than two stories tall and incorporate contemporary versions of detailing and façade articulation of the historic home to make the development more compatible with the Historic Landmark and that the unit closest to the NRE log dwelling be reduced to two stories.
2. The three homes at the corner of Cleveland and Meridian Streets be documented following MHC's documentation standards. Salvage of architectural features of the three dwellings is encouraged.
3. Construction fencing be utilized during construction to protect the historic stone wall.
4. Exterior alterations to the Ray of Hope Community Church are reviewed by MHZC Staff.

With these conditions, the project meets section II of the design guidelines for Historic Landmarks and the Secretary of Interior Standards for the project's impact on National Register eligible properties.

**Attachments**  
**A:** SP Proposal

## Vicinity Maps



## Aerials



## **Applicable Ordinance/Design Guidelines:**

17.40.106 - Development plan.

C. Metropolitan Development and Housing Agency (MDHA) and/or Metro Historic Zoning Commission Action. Any existing or proposed SP district located in whole or in part within a redevelopment district or a historic overlay district shall first be referred to and reviewed by MDHA and/or the Metropolitan Historic Zoning Commission for conformance with the relevant plan or guidelines. Any existing or proposed property for SP district which is, in whole or in part, listed on the National Register of Historic Places, identified as eligible for the National Register of Historic Places, or identified as worthy of conservation shall first be referred to and reviewed by the Metropolitan Historic Zoning Commission staff to determine the effects of the proposed SP district on the historic properties. Each agency shall provide a written recommendation to the planning commission on any aspects of the proposed SP district that would be in conflict with the adopted requirements, guidelines, or standards. Adoption of a SP district shall not relieve any property owner from full compliance with the adopted regulations and guidelines of the applicable redevelopment or historic overlay guidelines. Within a SP district, all development shall be consistent with the requirements of the SP district as well as any adopted redevelopment or historical overlay district, whichever is more restrictive.

Design Guideline I.B.

*By state law, all design guidelines for neighborhood conservation zoning overlays must comply with the Secretary of the Interior's Standards for Treatment of Historic Properties:*

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal changes to the defining characteristics of the building and its site and environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time; those changes that have acquired historical significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means necessary.*
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old*

*and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

*10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future. The essential form and integrity of the historic property and its environment would be unimpaired.*

## **Design Guideline II. Building Site**

Some Historic Landmark Districts consist only of the historic building and the land immediately underneath it. Other landmark districts consist of a building *and* the landscape surrounding the landmark. Often this landscape or *site* is an integral part of the landmark's importance and construction on or alteration of the site may have an impact on the landmark building itself. The following guidelines are intended for use when construction is proposed on a landmark site:

1. Features of the site that are important in defining the overall character of the landmark should be identified, retained, and preserved. Removal or radical change of site features which are important in defining the overall historic character of the landmark should be avoided.
2. Removal or relocation of buildings or landscape features which are historically related to the landmark shall be avoided.
3. Repair of deteriorated landscape or site features rather than replacement is encouraged where possible. Addition of conjectural landscape features which would create a false sense of historic development should not occur.
4. Construction of new buildings adjacent to the landmark building shall not detract from or diminish the value of the landmark itself. Standards 9 & 10 from the above guidelines address new construction and shall be applied when new buildings are proposed in a landmark district.
5. New or added exterior site features shall be placed so as not to detract from or diminish the value of the landmark itself.
6. Site work including construction of parking and utility work shall be undertaken carefully so as not to disturb architectural or archaeological features of the landmark site.

*New parking should be placed to the rear of the landmark building to minimize adverse visual impact. Parking surface should be selected to minimize harm to the landscape surrounding the landmark. Excavation work should be carefully undertaken and care shall be used to properly record any archaeological materials encountered.*

## **Background:**

Hastings Architecture is proposing SP zoning (2016SP-024-001) for properties located on Meridian, Vaughn and Cleveland Streets. Because a portion of the SP includes a Historic Landmark property a recommendation to the Planning Commission from the MHZC is required by ordinance. The project also directly and indirectly impacts properties eligible for listing in the National Register of Historic Places (NRE). Changes to the Historic Landmark will require a review and Preservation Permit from the MHZC; however, no alterations are planned at this time.

The proposed SP includes:



908 Meridian Street, McGavock-Harris-Gatewood-Webb House, local Historic Landmark (HL)

This home was constructed in the 1840s with additions in the 1870s and 1910s. Constructed by James McGavock's (1791-1841) daughter, Lucinda McGavock Harris and her husband George Harris, the house is the oldest residence on a 640 acre tract first deeded to David McGavock, James' father, in 1786. Originally facing south, the house was

renovated in the 1870s to face east to Meridian Street when the greater parcel was subdivided into smaller parcels for residential development. Designated 5/22/2006; Ordinance No. BL2006-1034



901 Meridian, Ray of Hope Community Church, eligible for listing in the National Register of Historic Places (NRE)

The Ray of Hope Community Church was formerly the Meridian Street Methodist Church. The rear part of the building was completed in 1925, while the front part, now the current sanctuary, was

completed in 1936. In 1994 the building became home to the Nashville Center for Black Family Life, and in 2001, the address started being listed as Ray of Hope Community Church in the city directories. The foundation is made of smooth cut stone blocks. The exterior walls are red brick with stone accents. The windows are a combination of colored glass, frosted glass and clear glass. There are large arched windows in the sanctuary. Forms part of the Historic Nashville, Inc. Sacred Sites Survey Project. (Information provided by the Nashville Public Library.)



206 Vaughn Street, non-historic dwelling



902 Meridian Street, not eligible for listing in the National Register of Historic Places under Criterion C



900 Meridian Street, not eligible for listing in the National Register of Historic Places under Criterion C



219 Cleveland Street, not eligible for listing in the National Register of Historic Places under Criterion C



Stone wall that runs from the corner of Vaughn and Meridian, down Meridian Street to Cleveland Street, and along Cleveland Street to Scovell Street.

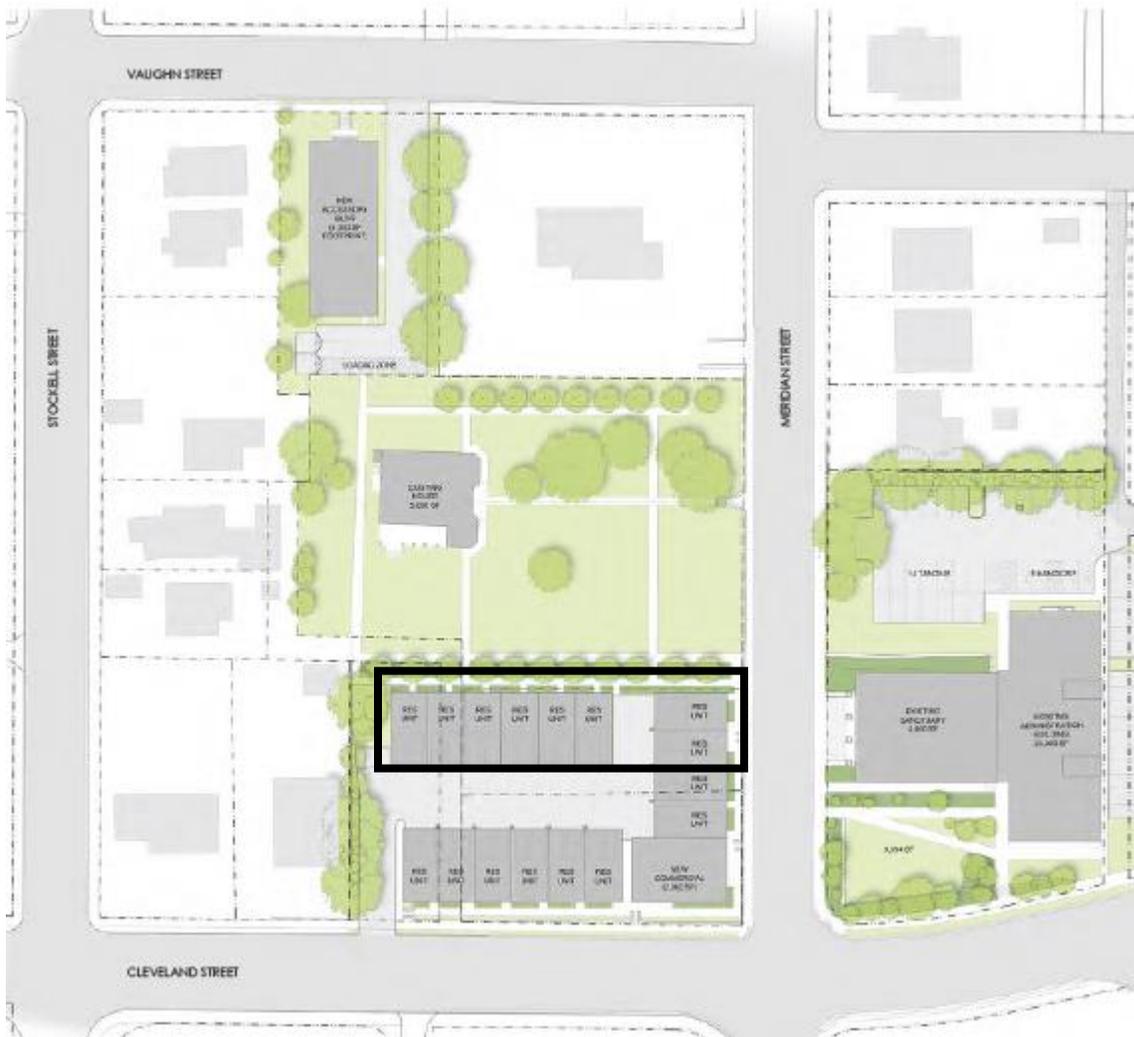


This property is not a part of the SP proposal but is a building that is eligible for listing in the National Register of Historic Places and is indirectly affected by the development.

## Analysis and Findings:

**Massing & Scale:** The Secretary of Interior Standards, on which the design guidelines are based according to state law, states that “new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment” and design guideline II.4. states that “new buildings shall not detract from or diminish the value of the Landmark itself.” In this case, the new construction is differentiated with a contemporary design but is not compatible in terms of massing, size, scale and architectural features.

The McGavock House, a Historic Landmark and listed in the National Register, is to the north of the proposed new construction and sits back off the street. The McGavock house is a two-story, hipped roof, dwelling with full wrap-around upper level porch and a recessed entrance. Staff recommends a recommendation that the those units closest to the Historic Landmark (see following image) be no more than two stories and incorporate contemporary versions of the detailing and façade articulation of the historic home to make them more compatible with the Historic Landmark.



To the west of the proposal is a post-war log home. This neighborhood has several of these homes which have been identified as eligible for listing in the National Register of Historic Places.



Staff recommends that the unit closest to this home (see above) be reduced in scale to two stories, to meet the Secretary of Interior Standards in terms of the new construction’s impact on a National Register eligible building.

The building identified as “new accessory building” (Vaughn Street) on the proposed plan is much larger in scale than the Historic Landmark which sits just behind it. Staff finds this to be appropriate since it does not directly impact the character of the Landmark Property and because it does not face Meridian Street. In addition, a buffer area is created between the two buildings with the use of a loading area for the screened garbage areas.

Removal and Alterations of Site Features: All of the property included in the SP used to be a part of the McGavock House property. The later development has already removed any historic features not a part of the current Landmark property, with the exception of the stone wall. Staff recommends retaining the full extent of the stone wall, with the exception of small cuts for stairs, and to utilize construction fencing to protect it during construction. The proposed development includes adding walkways across the Historic Landmark and the NRE property (Ray of Hope Community Church) but no other changes or removals of features are planned.

The project includes the demolition of 900 and 902 Meridian Street, 219 Cleveland Street and 206 Vaughn Street. 206 Vaughn Street is not a historic building. The three buildings at the corner of Meridian and Cleveland Streets are not eligible for listing in the National Register of Historic Places under Criterion C for architecture. Although these homes are not known to be NRE, they are buildings that affect the visual and historic character of the Historic Landmark and this portion of the neighborhood. The NRE church also affects the visual and historic character of this block of Meridian Street. For that reason, Staff recommends that the three homes be documented following MHC’s documentation standards and that any exterior alterations to the church are reviewed by MHZC staff. Salvage of architectural features of the three dwellings is encouraged.

Staff finds the project to meet the design guidelines II. 1, 2, and 3.

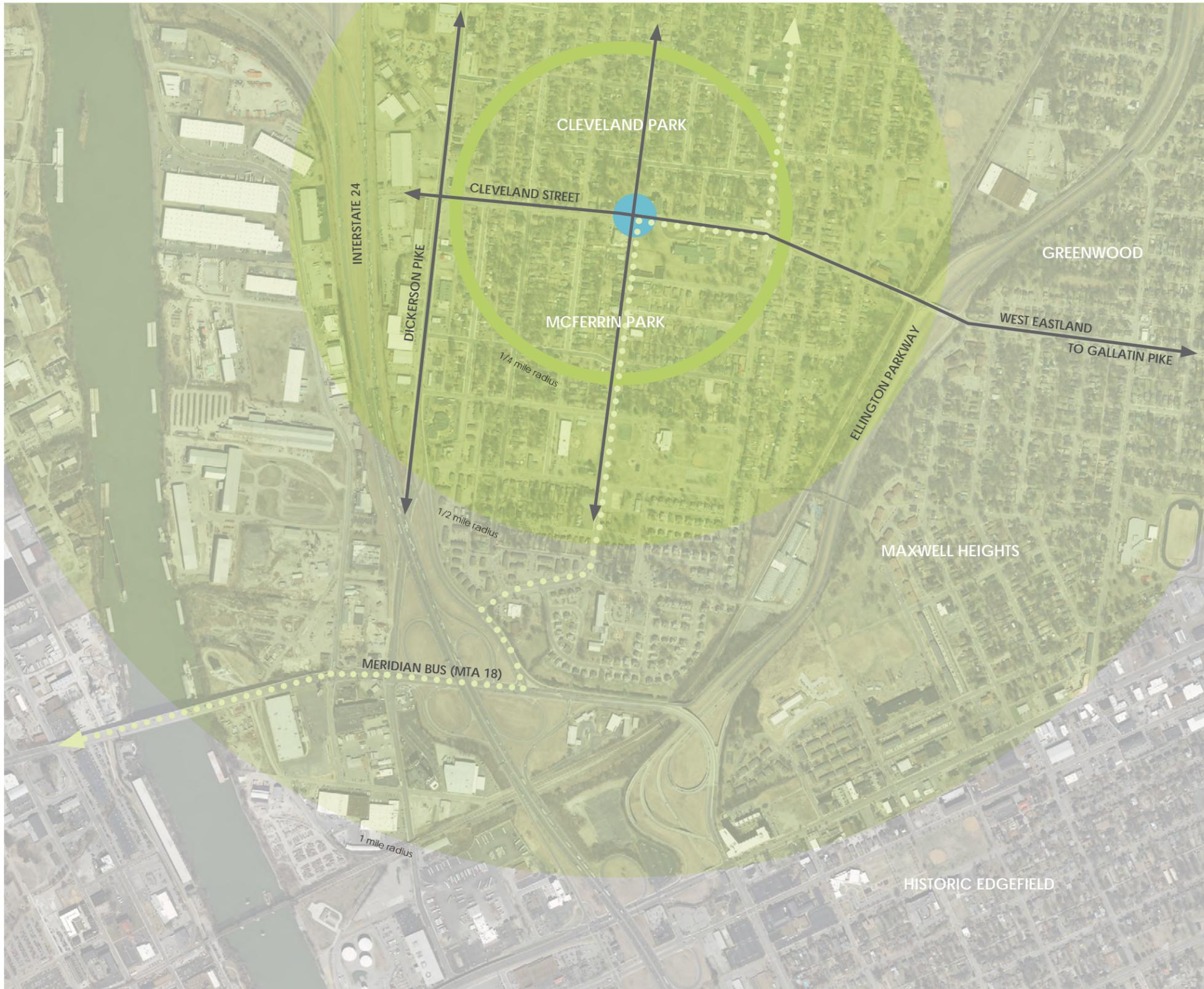
Addition of Site Features: New site features include walkways and parking areas. Most parking areas are behind the historic buildings, with the exception of one beside the historic church. This one is screened from the street with landscaping and sits back to be flush with the front wall of the church, allowing the church to remain the visually dominating feature of the street. There are no known archaeological sites on the SP property. The area immediately around the Historic Landmark will not be disturbed beyond the addition of walkways. Because of later development, archaeological sites on the rest of the proposed SP are unlikely. The project meets section II.5 and 6 of the design guidelines.

**Recommendation:**

Staff recommends that the MHZC recommend approval to the Planning Commission of the proposed SP with the conditions that:

1. The portion of the development closest to the historic landmark, located at the corner of Cleveland and Meridian Streets, be no more than two stories tall and incorporate contemporary versions of detailing and façade articulation of the historic home to make the development more compatible with the Historic Landmark and that the unit closest to the NRE log dwelling be reduced to two stories.
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CONTEXT MAP

### Purpose Note

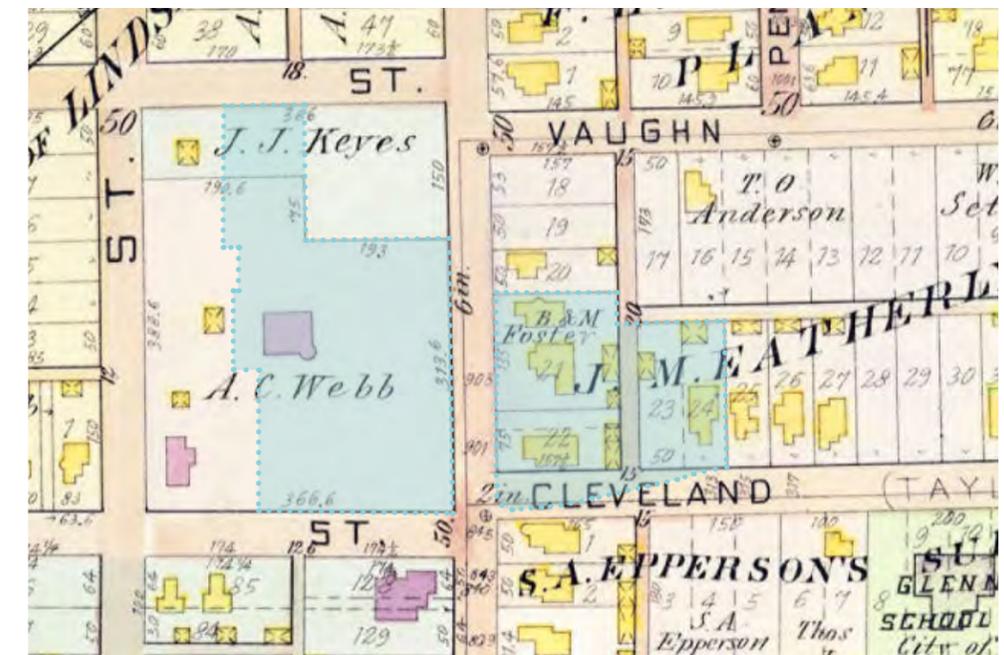
The purpose of this plan is to establish the zoning for a mixed-use development and a plan for the reuse of historic structures.

### Overview of the Location

The corner of Cleveland Street and Meridian Street is the civic and institutional connection of the Cleveland Park and McFerrin Park neighborhoods. Cleveland Street is an important community street that crosses Ellington Parkway to connect Dickerson Pike with Gallatin Pike. Neighborhood transit is provided by the Meridian bus line.

This corner is also unique in that it balances civic, institutional, residential and commercial uses. The Nashville Fire Department recently invested in a new firehall. Glenn Elementary sits at the southeast corner. The northeast corner is anchored by the historic Meridian Street Methodist building, most recently home to the Ray of Hope Community Church. As seen in the 1908 Sanborn map, the site has long been civic, institutional, residential, and commercial.

In the center of the northwest block is an historic home dating to the 1840s. Ownership of the house was claimed by many important Nashville families - McGavock, Harris, Lindsley - and is significant to the history of Nashville, making it an important part of the Specific Plan zoning. The original structure of the McGavock-Harris-Gatewood-Webb House, also know as Fountain Blue, was built by James McGavock circa 1840. The house is listed on the National Register of Historic Places.



1908 SANBORN MAP

## Community Character Policy

The McGavock House Specific Plan site is currently guided by T4 Neighborhood Maintenance (T4 NM) and T4 Neighborhood Evolving (T4 NE) policy of the Community Character Manual (CCM).

The site is one parcel removed from T4 Neighborhood Center policy, and that parcel is a civic use. This application seeks to extend the T4 NC policy to the McGavock House SP properties, or utilize a special policy determined by Planning staff through the community planning process.

The McGavock House SP site is in the heart of Cleveland Park, and less than three miles from the heart of Downtown Nashville. Cleveland Street is important connection to transit, services, and jobs on Dickerson Road and Gallatin Pike. The Meridian bus line (MTA 28) stops at the corner of Cleveland and Meridian. MTA 28 an unusual neighborhood route that connects residences directly to the jobs and services in Downtown, and Music City Central.

The McGavock House SP site is very near parks and community assets such as Glenn Elementary, Cleveland Park and Community Center, McFerrin Park and Community Center, and the Magness-Potter Community Center.

The site includes a historic house (dating to 1840) and open space, a historic church and associated parking, and houses. The site is directly across the street from a fire hall and elementary school and on an important connector street. Just beyond the fire hall and school is a block of commercial zoning and neighborhood center policy. This application requests the extension of the neighborhood center policy to include the parcels included in the rezoning. The change in policy will allow uses needed to adaptively reuse the house, church, and open space, all of which are important features in the neighborhood.

Both T4 NM and T4 NE allow missing middle housing such as townhouses within urban neighborhoods. The site is ideally located for the strategic integration of multi-family housing; it is near commercial and civic uses, on a collector street, and on a neighborhood bus line.

The change in policy will allow new construction of multi-family housing. In an established neighborhood of single-family homes, the addition of multi-family housing in a neighborhood center, will provide housing choice in an ideal location – on a connector street and on a transit line.



EAST FACADE OF THE MCGAVOCK HOUSE



THE CHURCH BUILDING



SOUTH FACADE OF THE MCGAVOCK HOUSE



SANCTUARY ENTRANCE







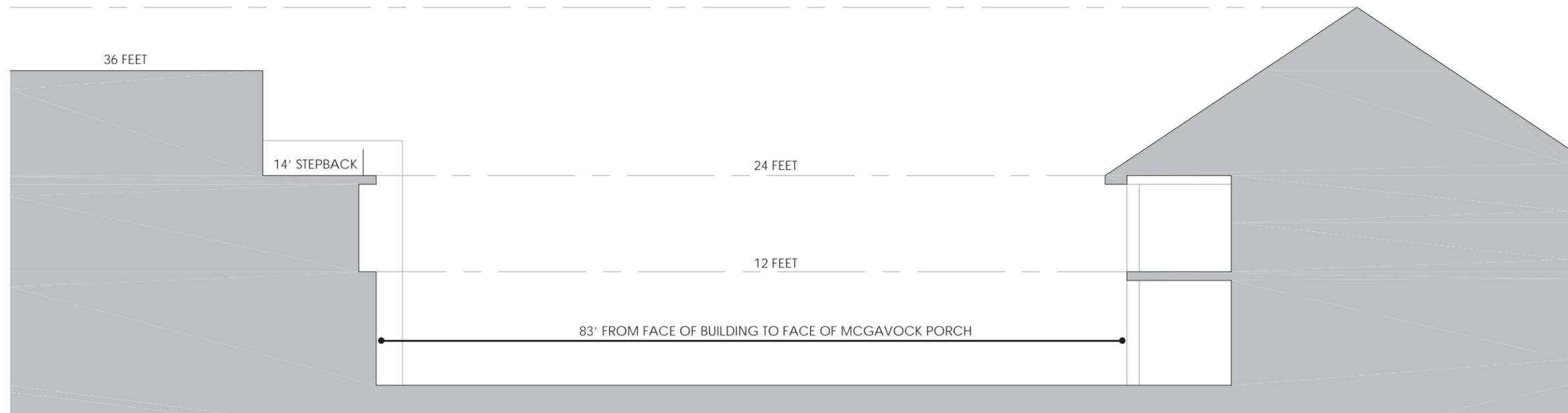




ILLUSTRATIVE MASSING

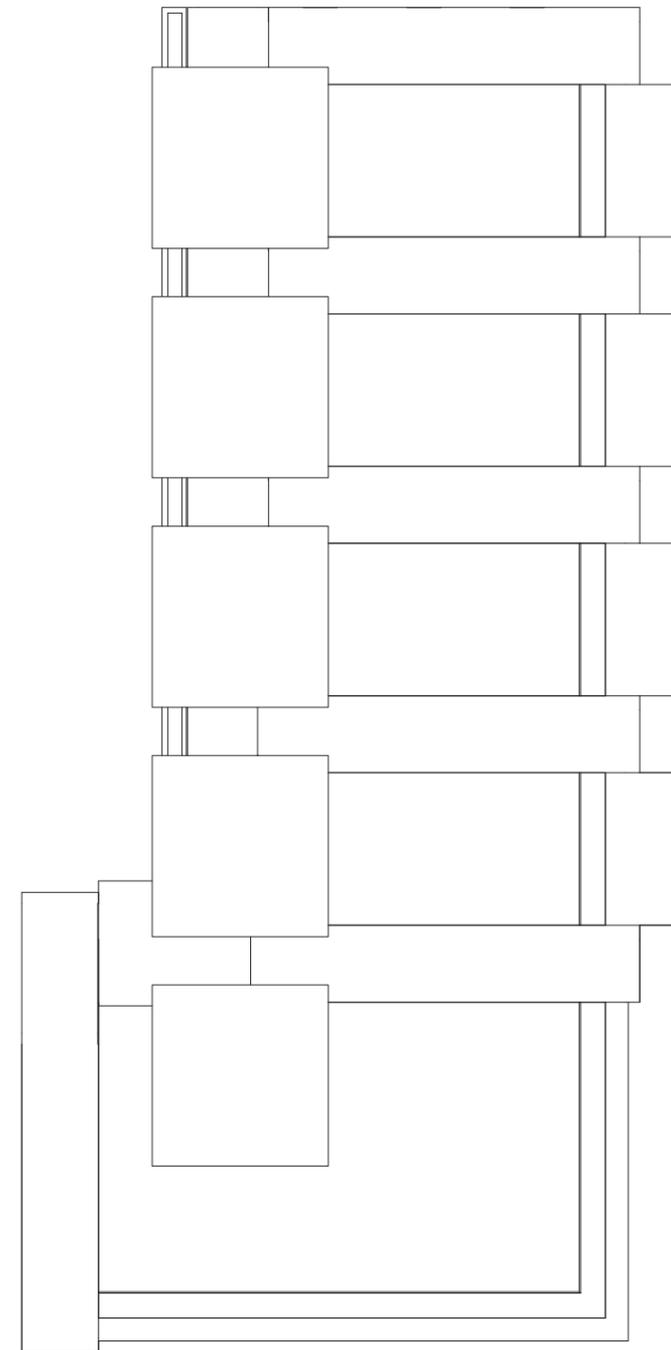
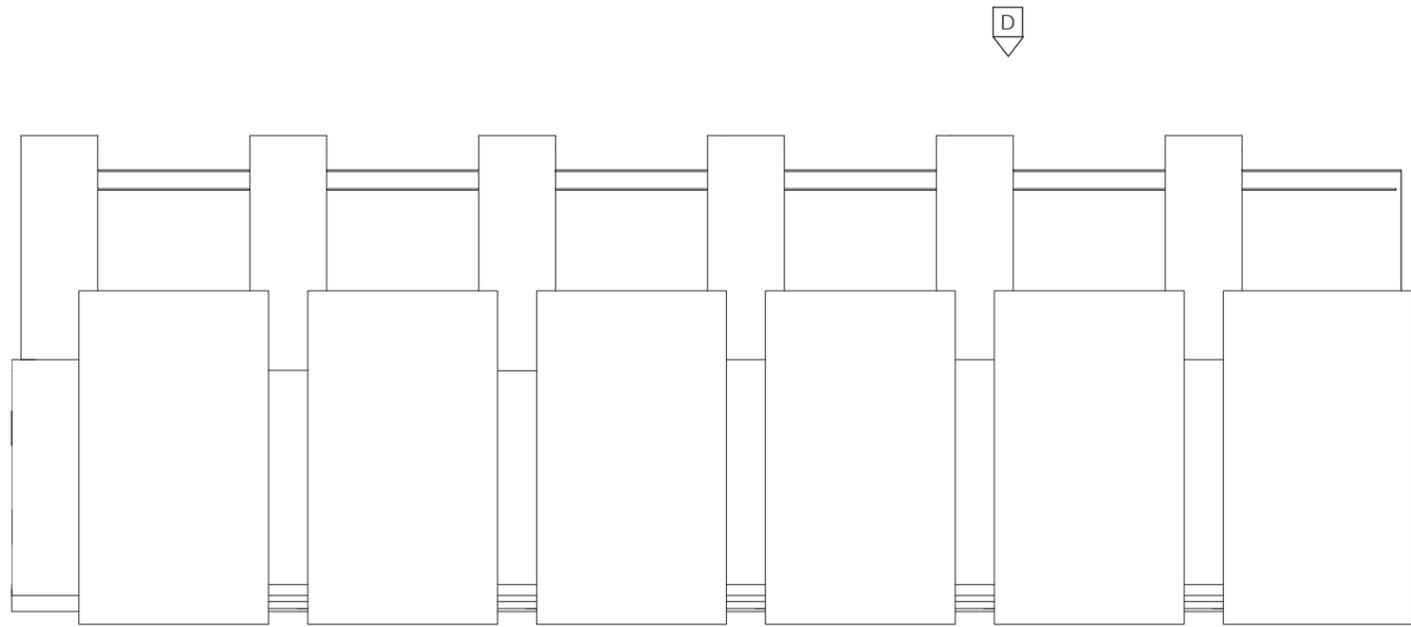
**Subdistrict C of the McGavock House SP**

<b>Goals</b>	Preserve and restore the McGavock House for reuse.
	Preserve the open space between the McGavock House and Meridian Street.
	Preserve the historic wall along Meridian Street.
<b>Uses</b>	Restaurant, bed and breakfast inn, office



SECTION



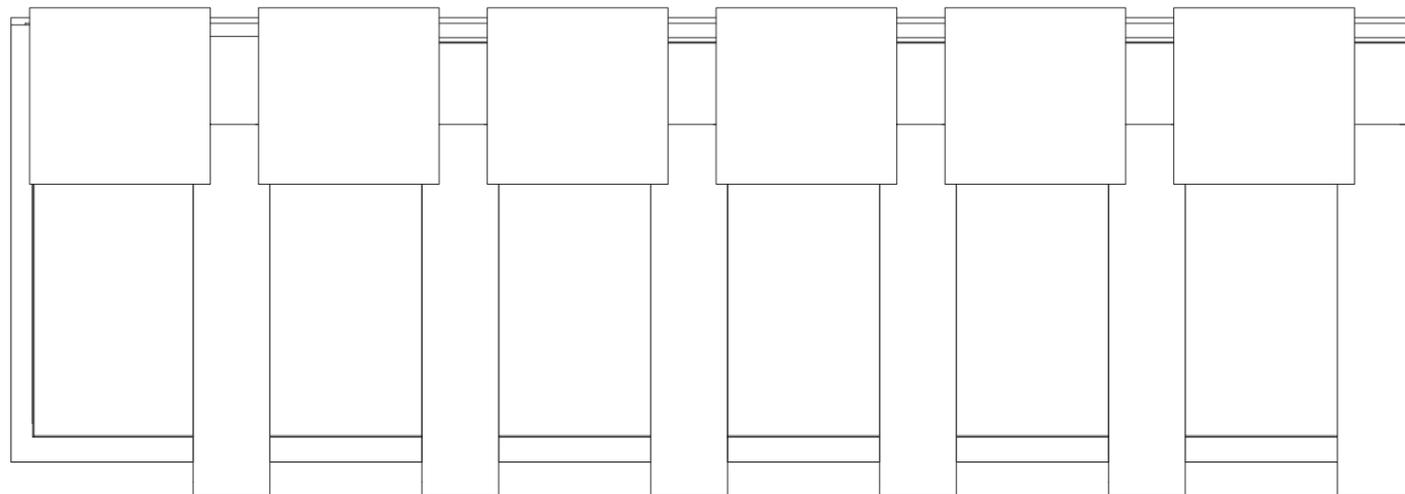


C

E

F

A



B





A\_ EAST ELEVATION | SCALE: 1/16" = 1'



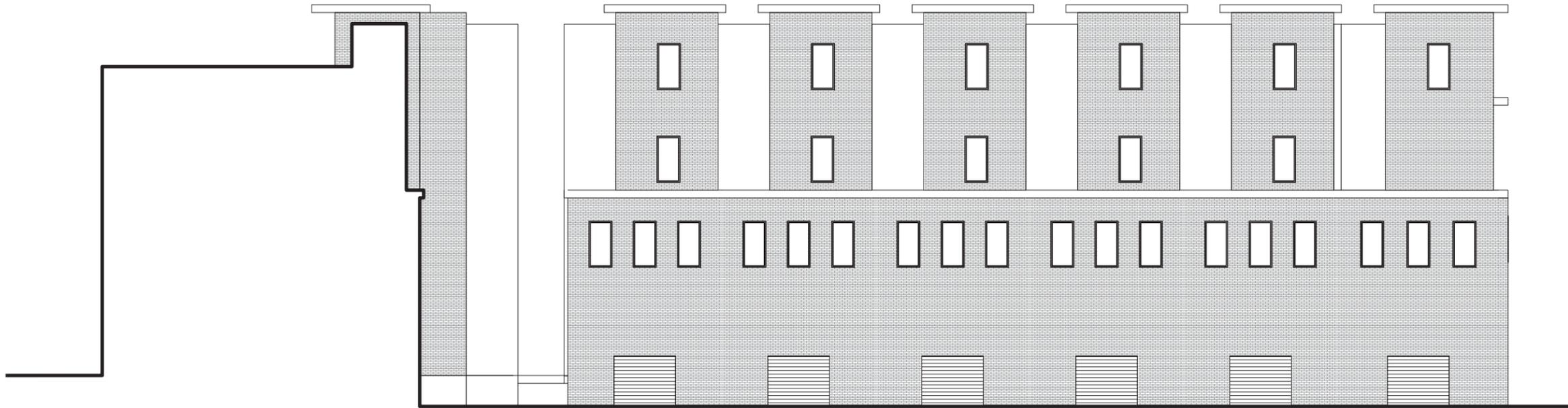
B\_ SOUTH ELEVATION | SCALE: 1/16" = 1'



C\_ WEST ELEVATION | SCALE: 1/16" = 1'



D\_NORTH ELEVATION | SCALE: 1/16" = 1'



E\_ SOUTH AUTO COURT ELEVATION | SCALE: 1/16" = 1'



F\_ NORTH AUTO COURT ELEVATION | SCALE: 1/16" = 1'

