

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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### STAFF RECOMMENDATION 1027 Mansfield Avenue July 20, 2016

**Application:** New construction—addition; Partial demolition; Setback determination

**District:** Hillsboro-West End Neighborhood Conservation Zoning Overlay

**Council District:** 05

**Map and Parcel Number:** 08305016000

**Applicant:** Amanda McCreary

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to demolish an existing addition, alter the front façade, and construct a rear addition. The rear addition requires a change to the side setback.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
2. Staff approve the roof color and texture; and
3. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed demolition, new construction, and setback determination meet Sections II.B. and III.B. of the design guidelines for the Maxwell Heights Neighborhood Conservation Zoning Overlay.

**Attachments**

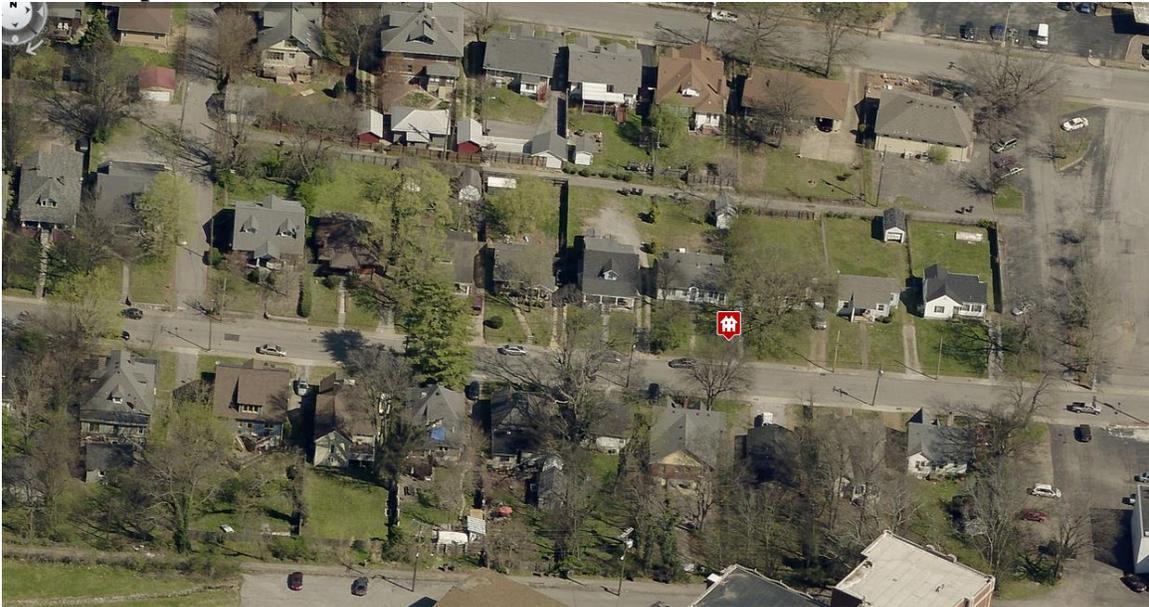
**A:** Site Plan

**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. GUIDELINES**

#### **B. GUIDELINES**

##### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

##### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

##### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- *There is not enough square footage to legally subdivide the lot but there is enough frontage design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

##### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **h. Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

#### **j. Public Spaces**

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

## **2. ADDITIONS**

a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions normally not recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.

#### *Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally, one-story rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the*

*shadow line of the existing building.*  
*For additions that tie into the existing roof, the addition should sit off the ridge by at least 6”.*

*In order to assure than an addition has achieved proper scale, the addition should:*

- *No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
  - *Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
  - *Generally, an addition should be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
    - *An extreme grade change*
    - *Atypical lot parcel shape or size*
- In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

#### *Foundation*

*Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12’ deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4”) inset.*

*Foundation height should match or be lower than the existing structure.*

*Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.*

#### *Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure.*

*Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).*

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

f. Additions should follow the guidelines for new construction.

### **III.B.1 Demolition is Not Appropriate**

a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or

- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

**III.B.2 Demolition is Appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 D of the historic zoning ordinance.

**Background:** 1027 Mansfield Avenue is a c. 1930 cottage-style house that contributes to the historic character of the Maxwell Heights Neighborhood Conservation Zoning Overlay (Figure 1).



Figure 1. 1027 Mansfield Avenue

**Analysis and Findings:** Application is to demolish an existing addition, alter the front façade, and construct a rear addition. The rear addition requires a change to the side setback.

Demolition: The applicant is proposing to demolish an existing rear addition (Figures 2 & 3). The addition’s date of construction is unknown. However, it is likely that the addition was constructed between 1957 and 1968, as it does not appear on the 1957 Sanborn Map but does appear on a 1968 Property Assessor footprint drawings (Figures 4 & 5). Staff finds that the addition’s date of construction, flat roof form, materials, and fenestration pattern do not contribute to the historic character of the house or the larger Maxwell Heights neighborhood, and therefore finds that its demolition is appropriate.



Figures 2 & 3 show the existing addition to be removed .

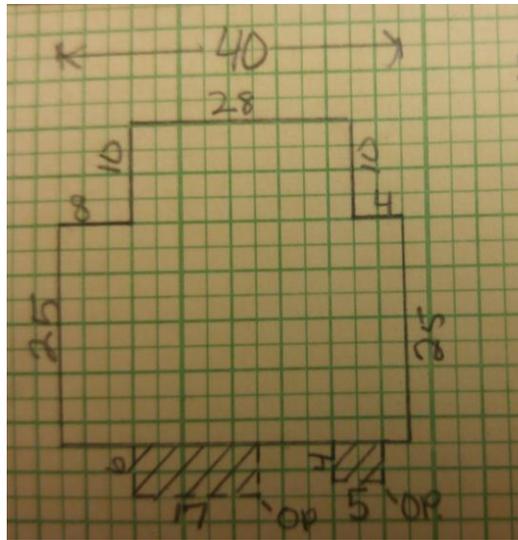
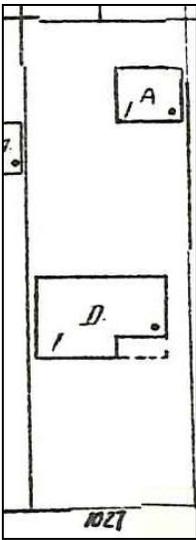


Figure 4 (left) is the 1957 Sanborn Map that does not show the existing addition and Figure 5 (right) is a 1968 drawing of the house's footprint from the Property Assessor's files.

The applicant also proposes to remove a door opening on the front façade, on the right side of the façade, and to replace it with a window opening (Figure 6). The Sanborn Map indicates that this area used to be a covered porch, but the 1968 Property Assessor footprint indicates that the porch had been filled in with a front wall sometime between 1957 and 1968 (See Figures 4 & 5). The 1968 Property Assessor photo shows that the existing, secondary doorway on the right side of the front façade was



Figure 6 shows the existing doorway to be removed.



Figure 7 is the 1968 Property Assessor Photo

present by that time. Staff finds that the removal of the door opening to be appropriate because it is not original to the design of the house and it does not contribute to the house or the neighborhood’s historic character.

Staff finds that the proposed demolition of the existing rear addition and the removal of the front façade secondary doorway meets Section III.B.2. for appropriate demolition and does not meet Section III.B.2. for inappropriate demolition.

Height & Scale:

	<b>Existing House</b>	<b>Proposed Addition</b>
<b>Number of stories</b>	1	1
<b>Foundation Height</b>	10”-12”	6”-8”
<b>Eave Height</b>	9’3”	9’3”
<b>Ridge Height</b>	15’9”	15’
<b>Width</b>	40’6”	37’6”
<b>Depth</b>	25’1”	26’
<b>Total square footage</b>	1300 sq. ft.	975 sq. ft.
<b>Insets</b>		1’ right/east side; 2’ on left/west side

Staff finds that the height, depth, width, total square footage, and overall scale of the proposed addition are sufficiently subordinate to the historic house. Staff finds that the proposed addition meets Sections II.B.1.a., II.B.1.b., and II.B.2. of the design guidelines.

Location & Removability: The proposed addition is situated at the rear of the historic house, entirely behind the historic house. It is inset appropriately, thereby preserving the back corners of the historic house. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact. Staff finds that the proposed addition meets Sections II.B.2.a and II.B.2.e. of the design guidelines.

Design: The addition’s change in materials, inset, separate roof form, and lower height help to distinguish it from the historic house and read as an addition to the house. At the same time, its scale, materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. Staff finds that the proposed addition meets Sections II.B.2.a and f. of the design guidelines.

Setback & Rhythm of Spacing:

	<b>Bulk Zoning Standards</b>	<b>Existing House</b>	<b>Proposed Addition</b>
<b>Left Setback</b>	5'	11"	3'
<b>Right Setback</b>	5'	7'6"	8'6"
<b>Rear Setback</b>	20'	82'	56'

The historic house does not meet the required five foot (5') side setback on the left/west side of the house. It is situated approximately eleven inches (11") from the side property line. The new addition will also not meet the five foot (5') base zoning setback; it will be located three feet (3') from the side property line. Staff finds that the proposed side setback determination is appropriate because the new addition will not be located any closer to the side property line than the existing house. Staff finds that the proposed addition meets Sections II.B.1.c. and II.B.2. of the design guidelines

Materials:

	<b>Existing House</b>	<b>Proposed Addition</b>	<b>Requires Final Staff Approval prior to purchase and installation</b>
<b>Foundation</b>	Concrete slab or block	Concrete slab or block to match existing	No
<b>Cladding</b>	Non-historic asbestos siding	5" cement fiberboard lap siding, smooth	No
<b>Roofing</b>	Asphalt Shingles	Asphalt Shingles	If color/texture does not match existing
<b>Trim</b>	Wood	Cement Fiberboard	No
<b>Windows &amp; Doors</b>	Wood	Jeld Wen or similar	Yes

With the condition that staff approve the asphalt shingle color and the final selection of windows and doors, staff finds that the proposed materials meet Sections II.B.1.d. and II.B.2. of the design guidelines.

Roof form:

	<b>Existing House</b>	<b>Proposed Addition</b>
<b>Primary Roof Form</b>	Side gable, 5.5/12	Gable, 3.5/12
<b>Secondary Roof Form</b>	N/A	Shed, 1.5/12

Staff finds that the addition’s proposed roof forms are compatible with the roof forms of the historic house and meets Sections II.B.1.e. and II.B.2. of the design guidelines.

Orientation: The addition will not affect or alter the orientation of the historic house towards Mansfield Avenue. Staff finds that the proposed addition meets Sections II.B.1.f. and II.B.2. of the design guidelines.

Proportion and Rhythm of Openings:

	<b>Proposed Project</b>	<b>Appropriate?</b>
<b>Alterations to windows on existing house</b>	Yes – altering door opening on front façade (see “Partial Demolition”)	Yes
<b>Windows twice as tall as they are wide?</b>	Yes	Yes
<b>Largest Section of Wall Without a Window/Door Opening</b>	7’10”	Yes

Staff finds the addition’s proportion and rhythm of openings to meet Sections II.B.1.g. and II.B.2. of the design guidelines.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
2. Staff approve the roof color and texture; and
3. The HVAC shall be located behind the house or on either side, beyond the midpoint of the house.

With these conditions, staff finds that the proposed demolition, new construction, and setback determination meet Sections II.B. and III.B. of the design guidelines for the Maxwell Heights Neighborhood Conservation Zoning Overlay.



ELEV - FRONT



ELEV - REAR



ELEV - HISTORIC



ELEV - LEFT SIDE



ELEV - RIGHT SIDE

2016.06.30

**CHISEL**  
workshop

PO BOX 680566 | FRANKLIN, TN 37068

**1027 MANSFIELD STREET**  
RENOVATION AND ADDITION

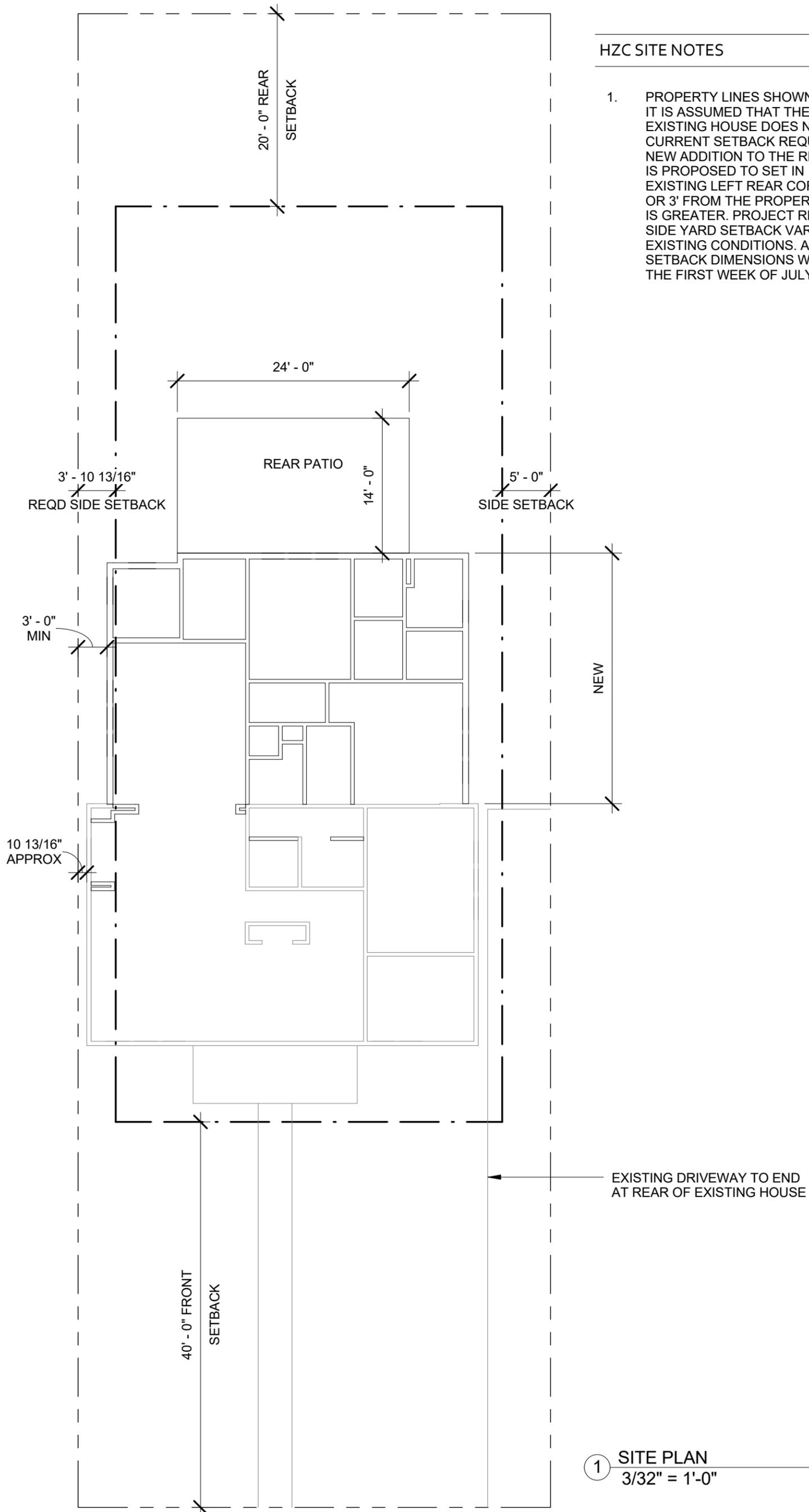
EXISTING CONDITIONS

**SK01**

SCALE: 1/4" = 1'-0"

HZC SITE NOTES

1. PROPERTY LINES SHOWN ARE APPROXIMATE. IT IS ASSUMED THAT THE LEFT SIDE OF THE EXISTING HOUSE DOES NOT MEET THE CURRENT SETBACK REQUIREMENT OF 5'. THE NEW ADDITION TO THE REAR OF THE HOUSE IS PROPOSED TO SET IN 1' FROM THE EXISTING LEFT REAR CORNER OF THE HOUSE OR 3' FROM THE PROPERTY LINE, WHICHEVER IS GREATER. PROJECT REQUESTS A LEFT SIDE YARD SETBACK VARIANCE DUE TO EXISTING CONDITIONS. ACTUAL EXISTING SETBACK DIMENSIONS WILL BE PROVIDED THE FIRST WEEK OF JULY.

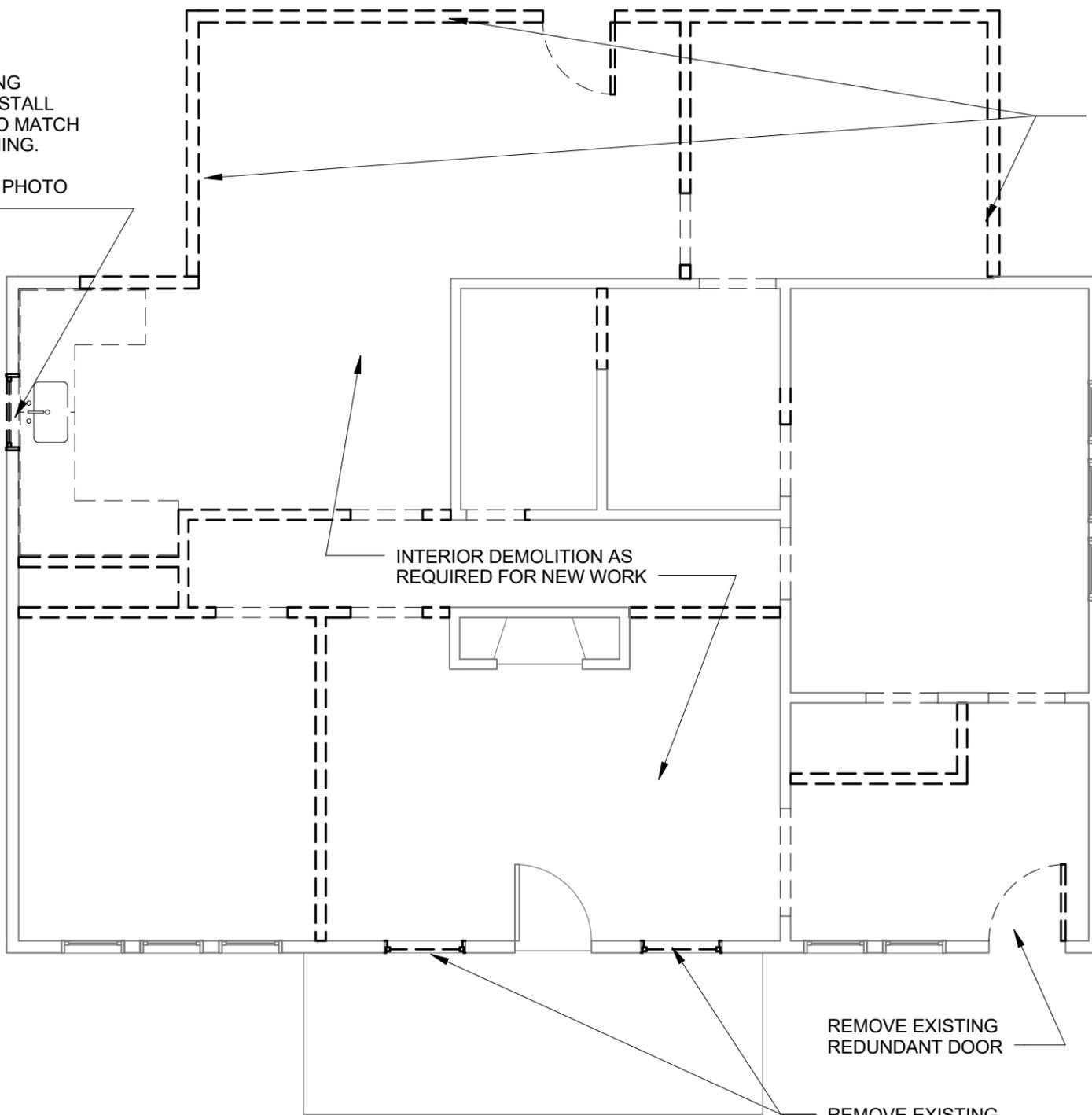


① SITE PLAN  
3/32" = 1'-0"

2016.07.11

REMOVE EXISTING WINDOW AND INSTALL NEW WINDOW TO MATCH EXTERIOR OPENING. SEE LEFT SIDE ELEVATION AND PHOTO SHEET SK07

REAR ADDITION TO BE REMOVED



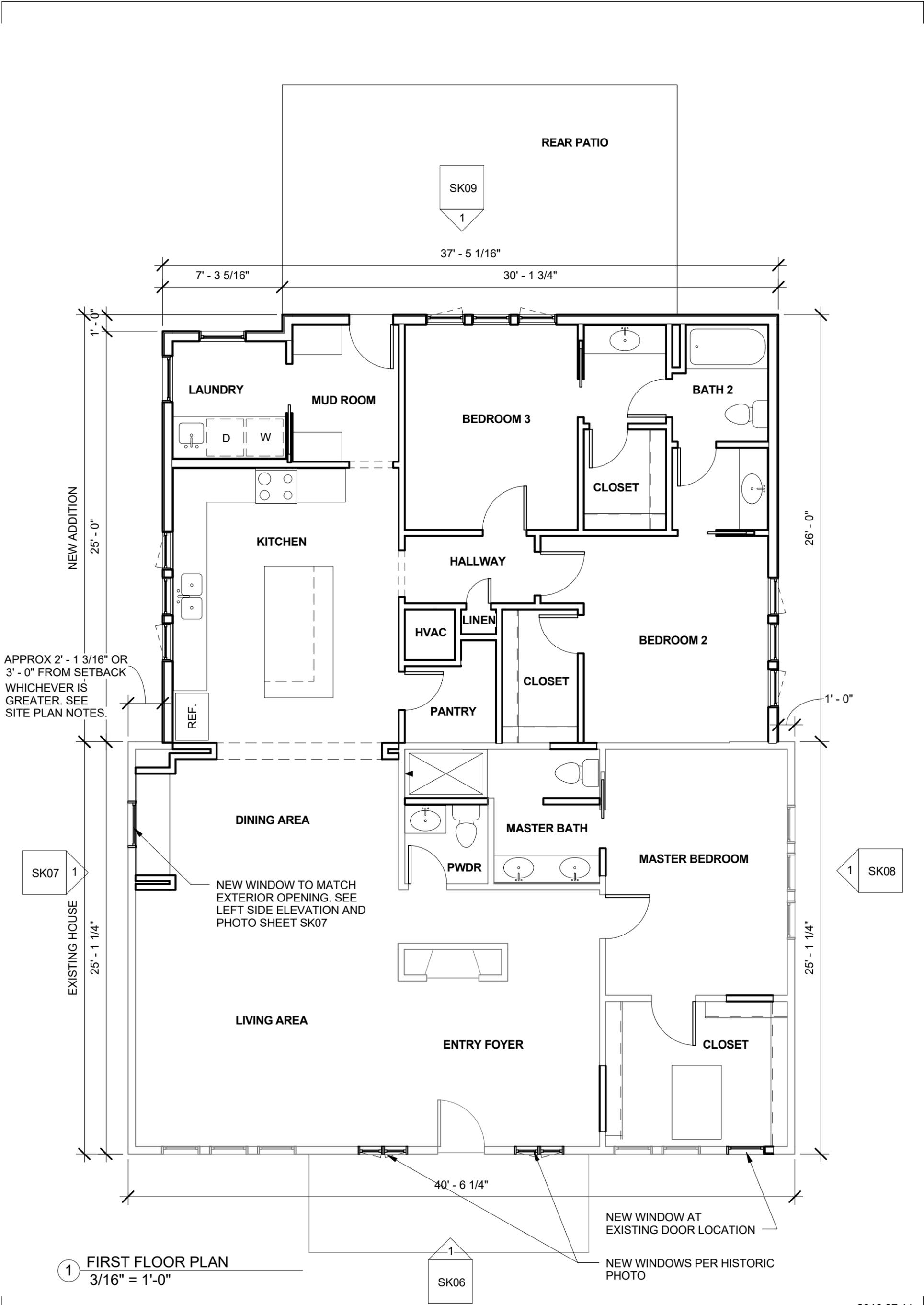
INTERIOR DEMOLITION AS REQUIRED FOR NEW WORK

REMOVE EXISTING REDUNDANT DOOR

REMOVE EXISTING WINDOWS AND INSTALL NEW WINDOWS PER HISTORIC PHOTO

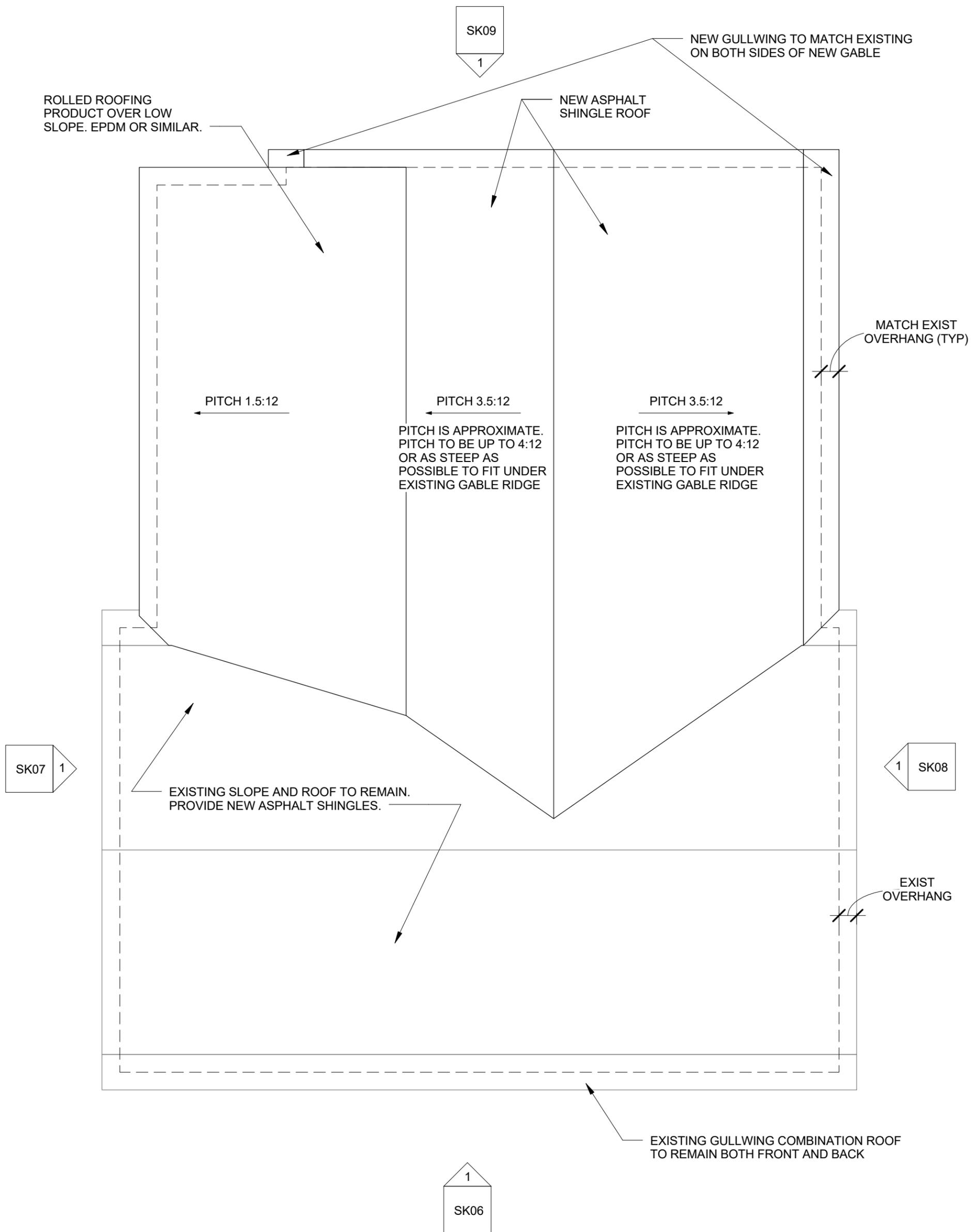
1 FIRST FLOOR DEMOLITION PLAN  
3/16" = 1'-0"

2016.06.30



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

2016.07.11

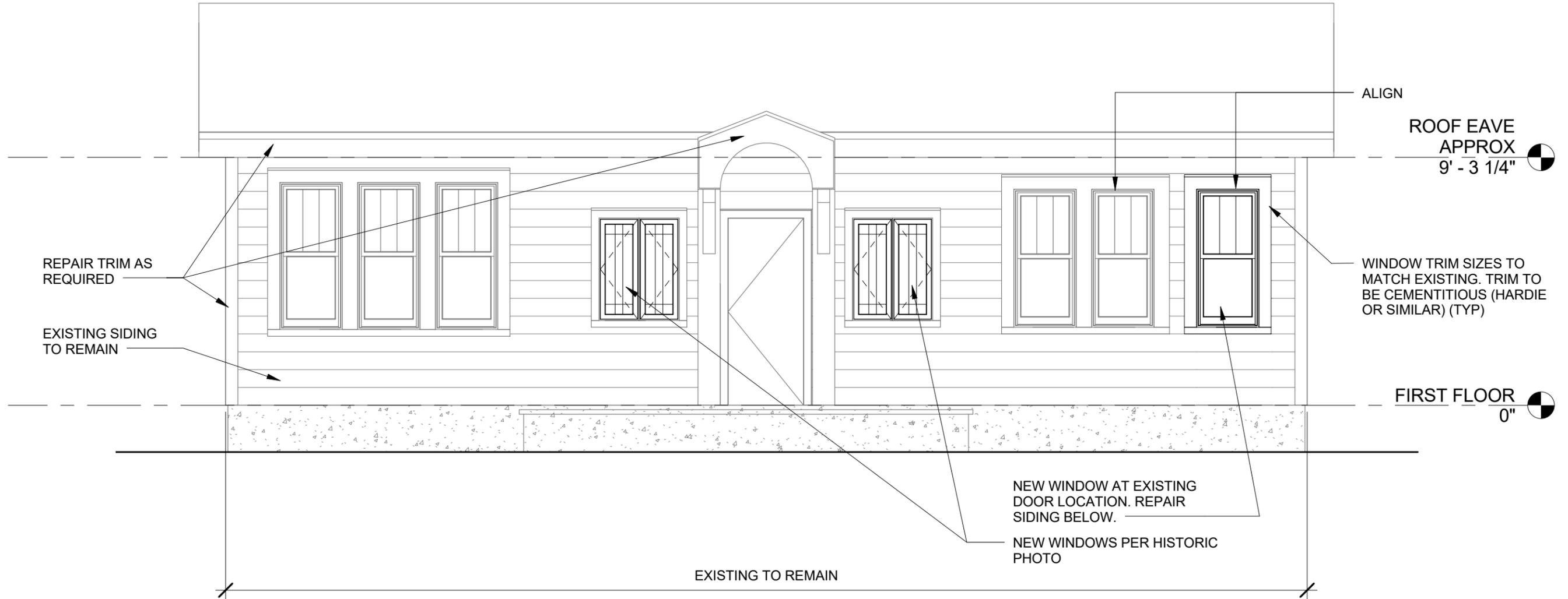


1 ROOF PLAN  
3/16" = 1'-0"

2016.07.11

HZC ELEV NOTES

- |   |   |
|---|---|
| <p>1. ALL EXISTING WOOD TRIM, INCLUDING BUT NOT LIMITED TO FASCIA BOARDS, SOFFITS, AND TRIM BOARDS SHALL BE REPAIRED AS REQUIRED.</p> <p>2. NEW ARCHITECTURAL STYLE ASPHALT SHINGLE ROOF TO BE INSTALLED. ROOF SLOPE AT EXISTING HOUSE TO REMAIN EXISTING. CERTAINTED LANDMARK OR SIMILAR. COLOR TBD. AT LOW SLOPE ROOF, GRAY/BLACK ROLLED EPDM OR SIMILAR.</p> <p>3. NEW REAR PATIO TO BE CONCRETE PAVERS.</p> | <p>4. NEW SIDING TO BE SMOOTH FIBER CEMENT PLANK SIDING WITH 5" REVEAL, HARDIE OR SIMILAR.</p> <p>5. NEW WINDOWS AT ADDITION TO BE WOOD BY JELDWEN OR SIMILAR</p> <p>6. NEW WINDOWS AT HISTORIC HOUSE TO BE WOOD WINDOWS. EXISTING WINDOWS TO REMAIN TO BE REPAIRED AS REQUIRED.</p> <p>7. SEE FLOOR PLANS FOR ADDITIONAL DIMENSIONS.</p> |
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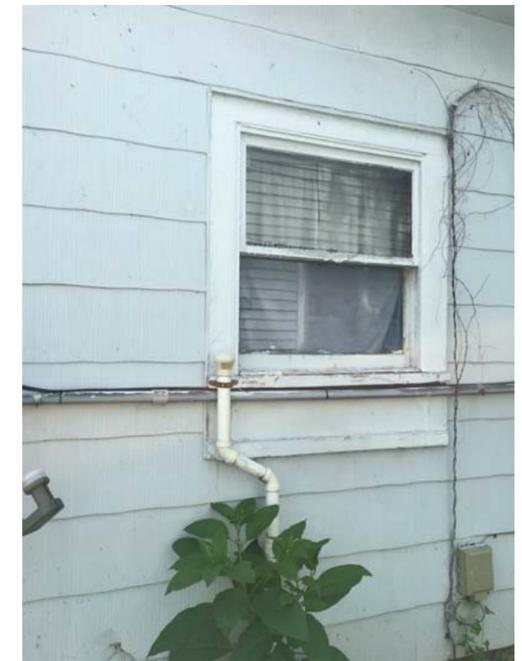


1 EXTERIOR ELEV - FRONT  
1/4" = 1'-0"

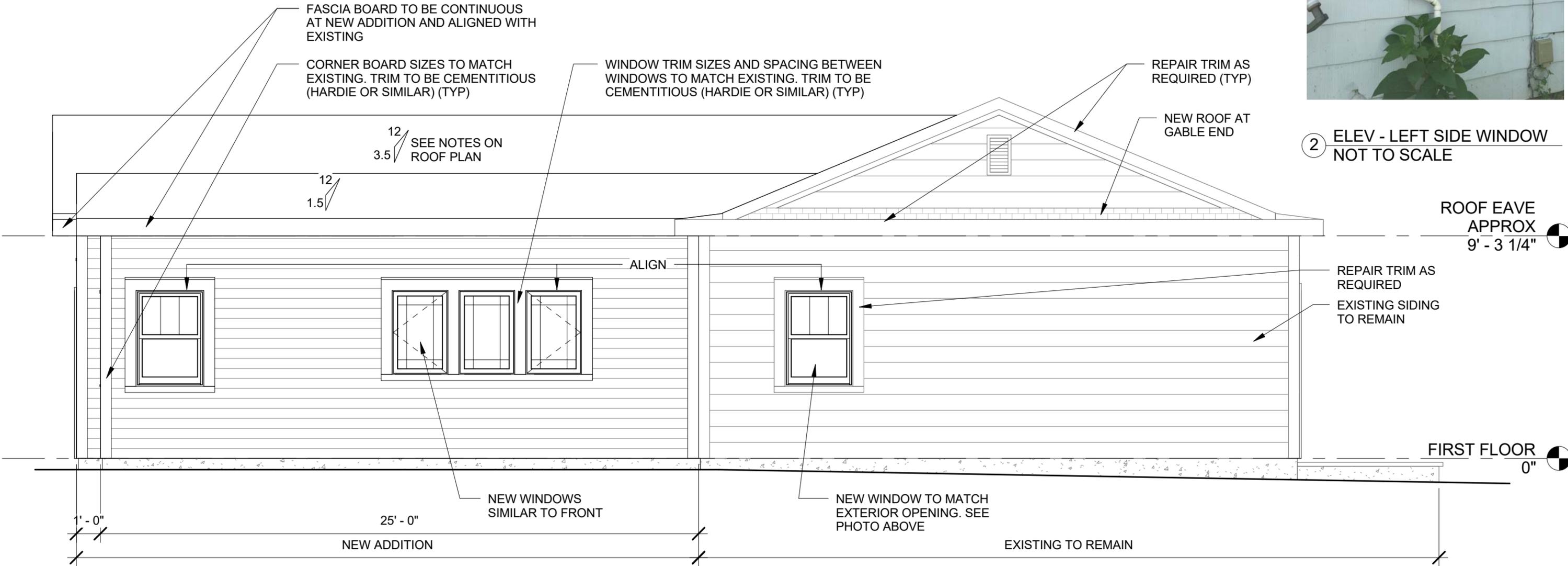
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② ELEV - LEFT SIDE WINDOW NOT TO SCALE

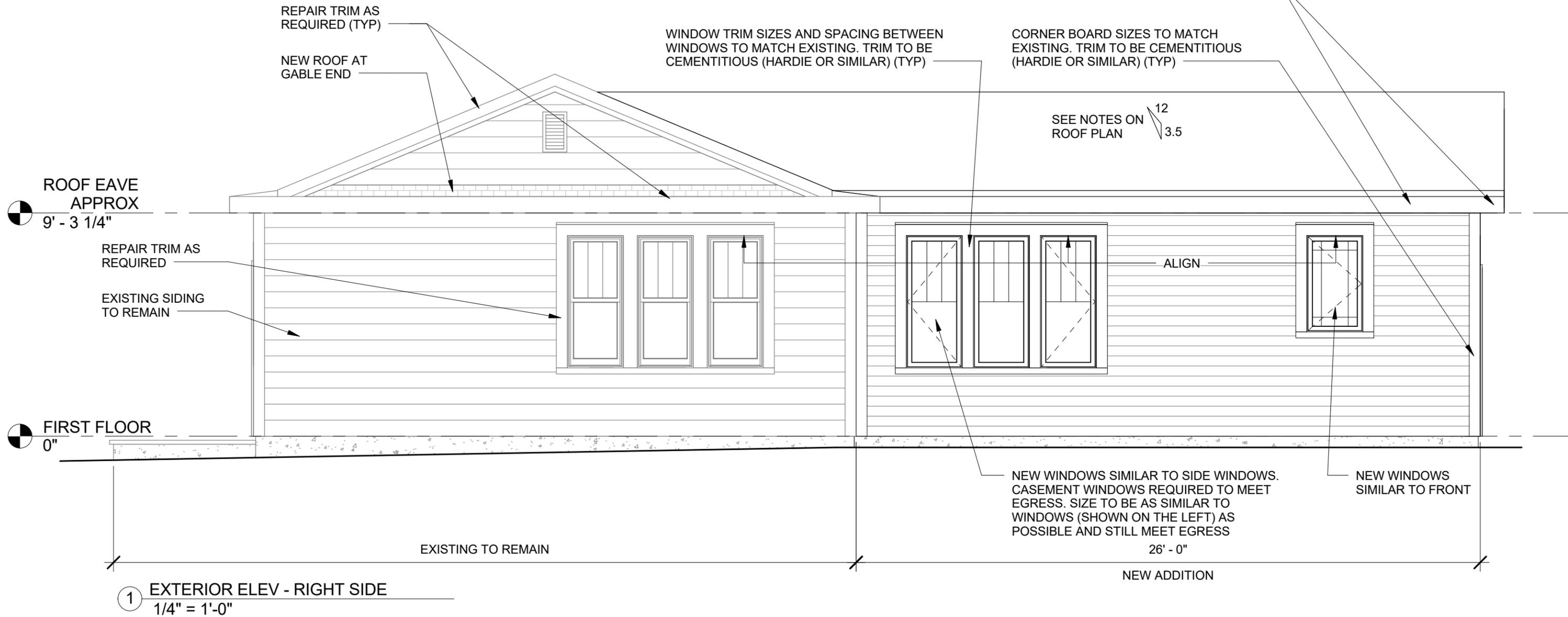


① EXTERIOR ELEV - LEFT SIDE  
1/4" = 1'-0"

2016.07.11

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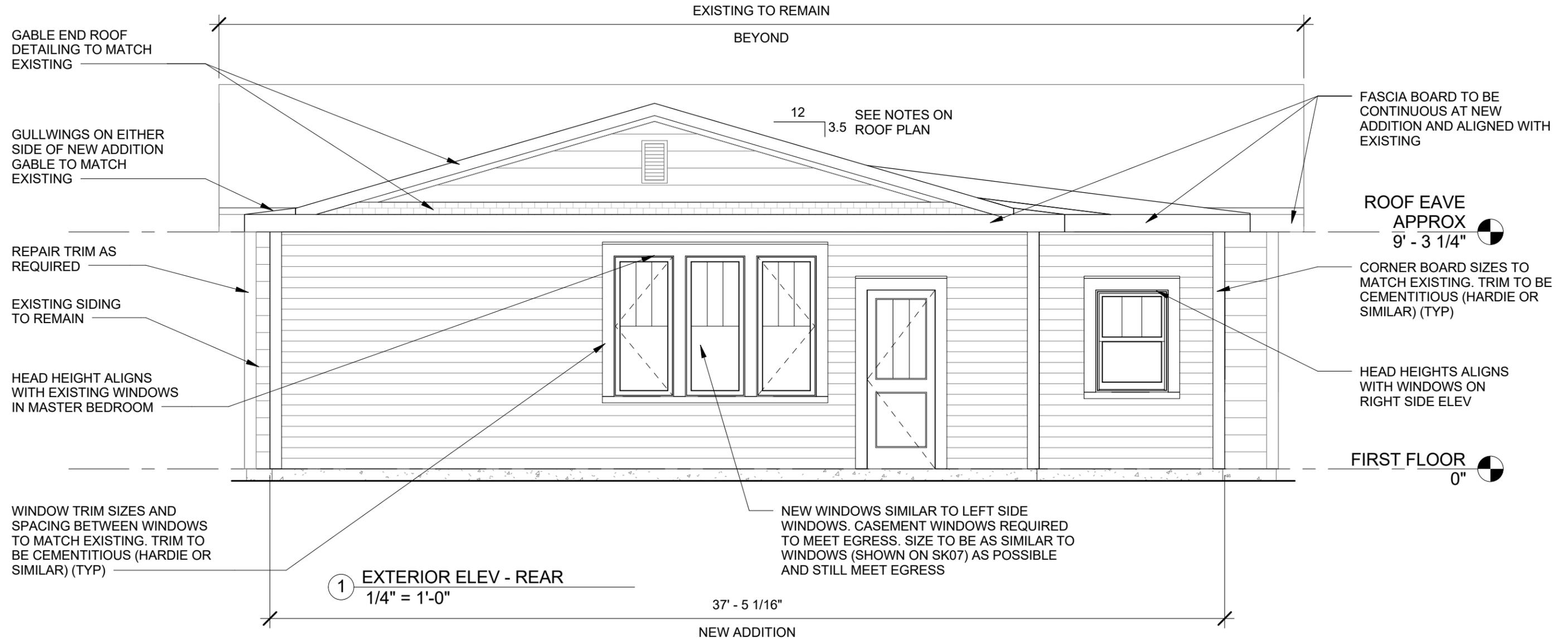
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5. NEW WINDOWS AT ADDITION TO BE WOOD BY JELDWEN OR SIMILAR
6. NEW WINDOWS AT HISTORIC HOUSE TO BE WOOD WINDOWS. EXISTING WINDOWS TO REMAIN TO BE REPAIRED AS REQUIRED.
7. SEE FLOOR PLANS FOR ADDITIONAL DIMENSIONS.



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