

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

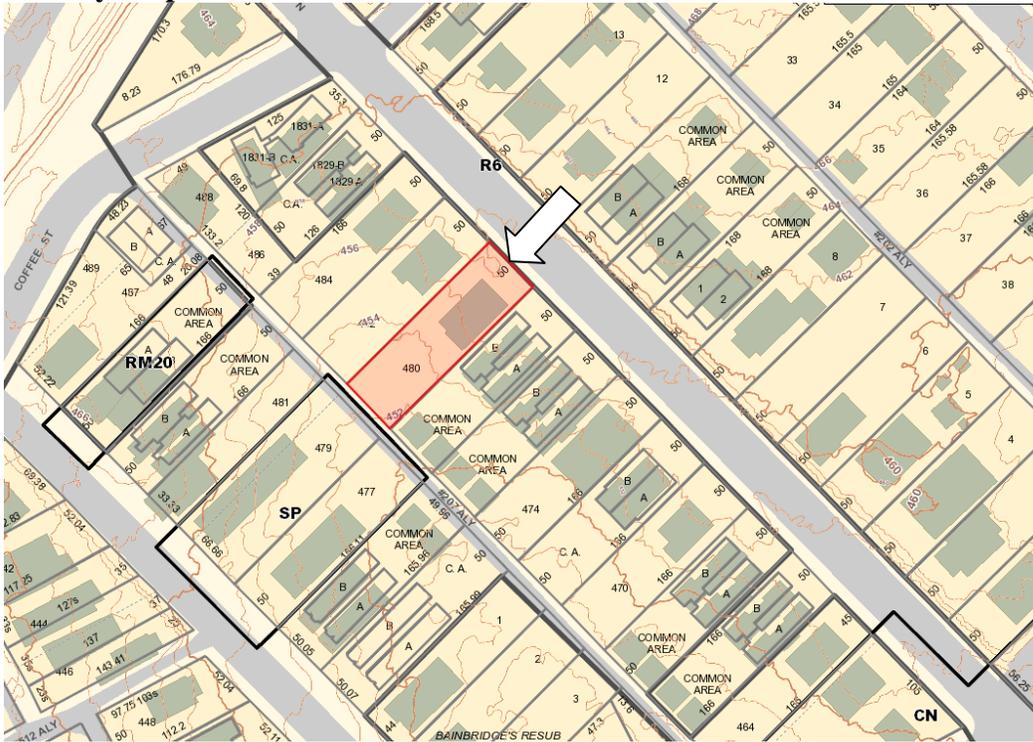
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1821 5<sup>th</sup> Avenue North**  
**July 20, 2016**

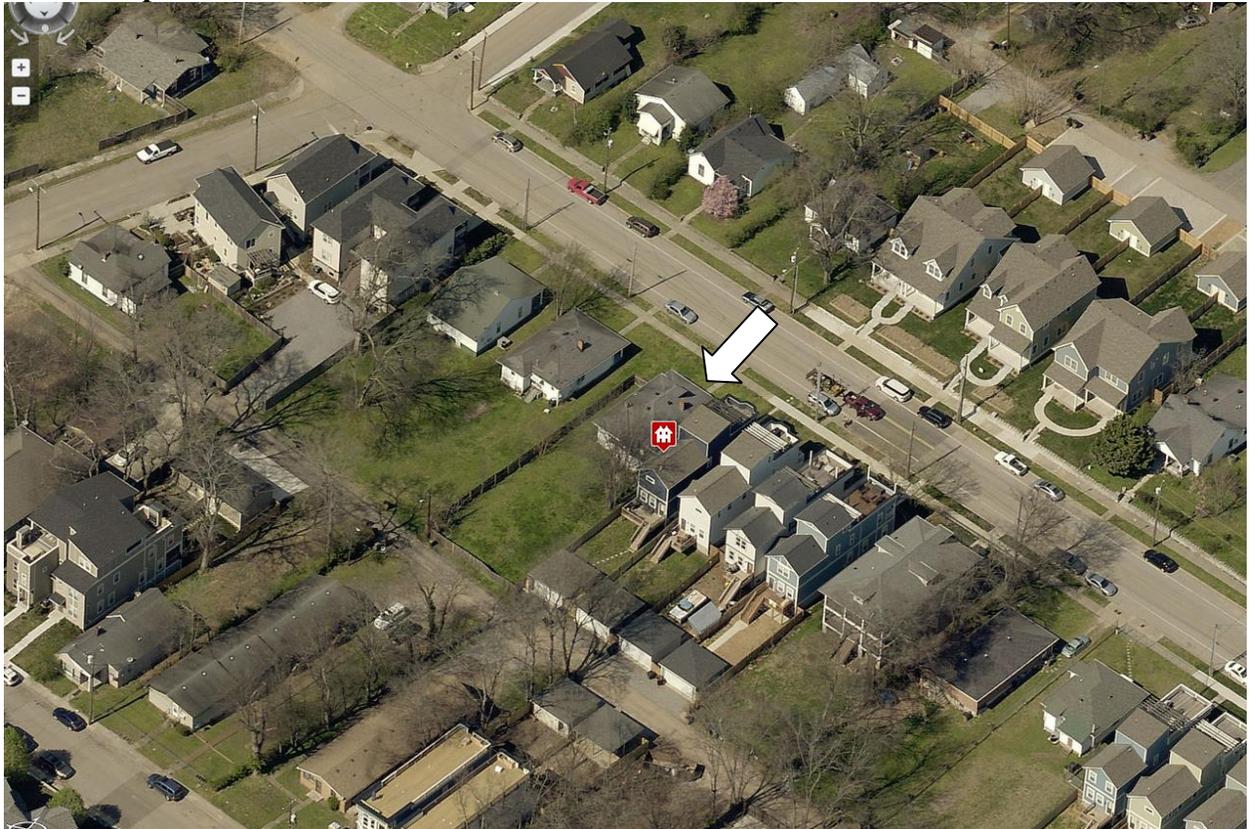
**Application:** New construction—detached accessory dwelling unit;  
**District:** Salemtown Neighborhood Conservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08108026200  
**Applicant:** Cheyenne Smith  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to construct a detached accessory dwelling unit (DADU) at the rear of the lot.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the detached accessory dwelling unit with the following conditions:</p> <ol style="list-style-type: none"><li>1. Staff review and approve all windows and doors; and</li><li>2. Staff review and approve the asphalt shingle color.</li></ol> <p>With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section III.H. of the Salemtown Neighborhood Conservation Zoning Overlay design guidelines.</p> <p>The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
---	--

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### 17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.
  - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
  - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership.
  - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
  - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
  - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

*The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.*

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
  - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
  - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
  - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
  - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
  - b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
  - c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
  - d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
  - e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

*In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.*

#### 8.Design Standards.

- a.The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b.The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roofslope by covering no more than fifty percent of the roof.
- c.Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

#### 9.Historic Properties.

- a.Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b.Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10.Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

### **III.C. New Construction**

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

### **H. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or*

*wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

2. Historically, outbuildings were utilitarian in character. High-style accessory structures are not appropriate for Salemtown.
3. Roof
  - a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Salemtown, historic accessory buildings were between 8' and 14' tall.
  - b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
  - c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

*Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials. There are no known examples of historic masonry accessory buildings; however, a concrete block building with a parge or stucco coating is appropriate.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.

- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
- b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
- c. Generally, attached garages are not appropriate.

*Setbacks & Site Requirements.*

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the*

requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

*Driveway Access.*

- · On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

**Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.**

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.

- The DADU may not exceed the maximums outlined previously for outbuildings.

- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.

*Density.*

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

*Ownership.*

- No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.

- The DADU cannot be divided from the property ownership of the principal dwelling.

- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

*Bulk and Massing.*

- The living space of a DADU shall not exceed seven hundred square feet.

**Background:** 1821 5<sup>th</sup> Avenue North is a c. 1930 bungalow (figure 1). It is a contributing structure to the Salemtown Neighborhood Conservation Zoning Overlay.



Figure 1. 1821 5<sup>th</sup> Avenue North.

**Analysis and Findings:** Application is to construct a detached accessory dwelling unit (DADU) at the rear of the lot. The applicant has submitted a copy of the restrictive covenant for the DADU.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Side gable	X
Primary roof slope	10/12	X

Since the form and slopes are similar to historic outbuildings, staff finds that the DADU meets Section III.H.1 and 3 of the design guidelines.

Design Standards: The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. It is in a minimally-visible location at the rear of the building. Staff finds that the DADU meets section III.H.2 of the design guidelines and section 17.16.030.G.8 of the design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
<b>Foundation</b>	Concrete slab	Natural color	Yes
<b>Cladding</b>	5" cement fiberboard lap siding	Smooth	Yes
<b>Secondary Cladding</b>	Cedar Shake	N/A	Yes
<b>Roofing</b>	Asphalt shingle	Match historic house	Yes
<b>Trim</b>	Cement fiber	Smooth	Yes
<b>Driveway</b>	Concrete	Natural color	Yes
<b>Windows</b>	Unknown	Unknown (Requires MHZC Staff approval)	Unknown
<b>Pedestrian Door</b>	Unknown	Unknown (Requires MHZC Staff approval)	Unknown
<b>Vehicular Door</b>	Unknown	Unknown (Requires MHZC Staff approval)	Unknown

With the staff's final approval of the windows and doors and asphalt shingle color, staff finds that the known materials meet Section III.H.4 and 5 of the design guidelines.

Site Planning & Setbacks: The proposed DADU meets all base zoning setbacks. Staff finds that the DADU meets Sections III.G. and III.H. of the design guidelines and 17.16.30.G. 4 of the ordinance.

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	52'
Rear setback	3'	10'
L side setback**	3'	5'
R side setback**	3'	16'
How is the building accessed?	From the alley or existing curb cut	Alley

The answer to each of these questions must be “yes”

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design & materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Staff finds that the DADU meets section III.H. of the design guidelines and sections 17.16.30.G.5, 8 and 9 of the ordinance.

General Requirements for DADUs:

The answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 sq. ft?		No

<b>Is the property zoned single-family?</b>		No
<b>Are there already two units on the property?</b>		No
<b>Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?</b>		No
<b>Is the planned conditioned living space more than 700 square feet?</b>		No

Staff finds that the DADU meets section III.H. of the design guidelines and sections 17.16.30.G.1,2,3, and 7 of the ordinance.

Massing Planning:

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the left)</b>
<b>Ridge Height</b>	22'	25'	22'
<b>Eave Height</b>	10'	1 story 10'	10'

One-story building:

	<b>Lot is less than 10,000 square feet</b>	<b>50% of first floor area of principle structure</b>	<b>Proposed footprint</b>
<b>Maximum Square Footage</b>	750 sq. ft.	707 sq. ft.	690 sq. ft.

Staff finds that the proposed DADU meets Section III.H.6 of the design guidelines and 17.16.30.G. 7 of the ordinance.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings.

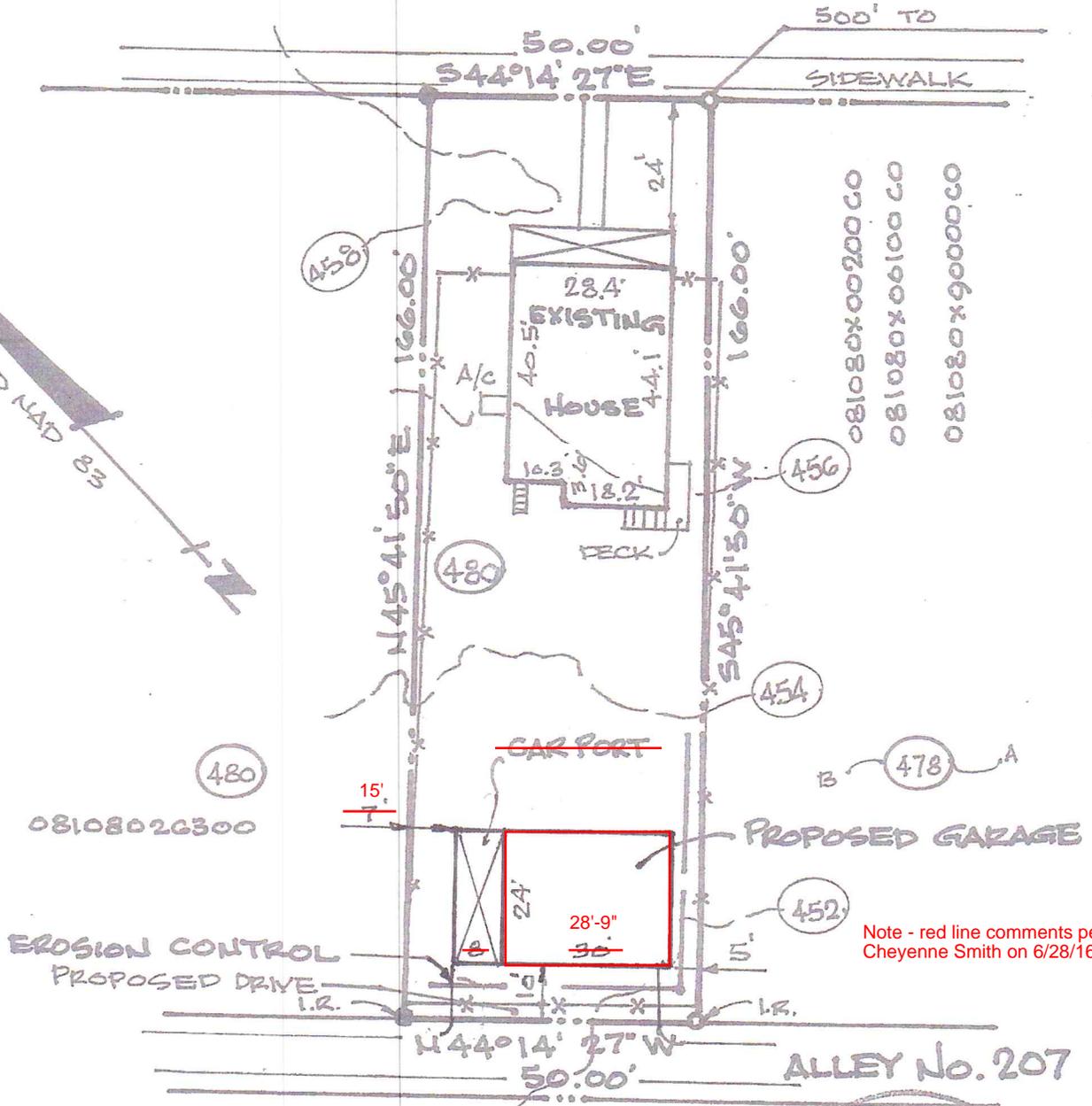
**Recommendation Summary:** Staff recommends approval of the detached accessory dwelling unit with the following conditions:

1. Staff review and approve all windows and doors; and
2. Staff review and approve the asphalt shingle color.

With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section III.H. of the Salemtown Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

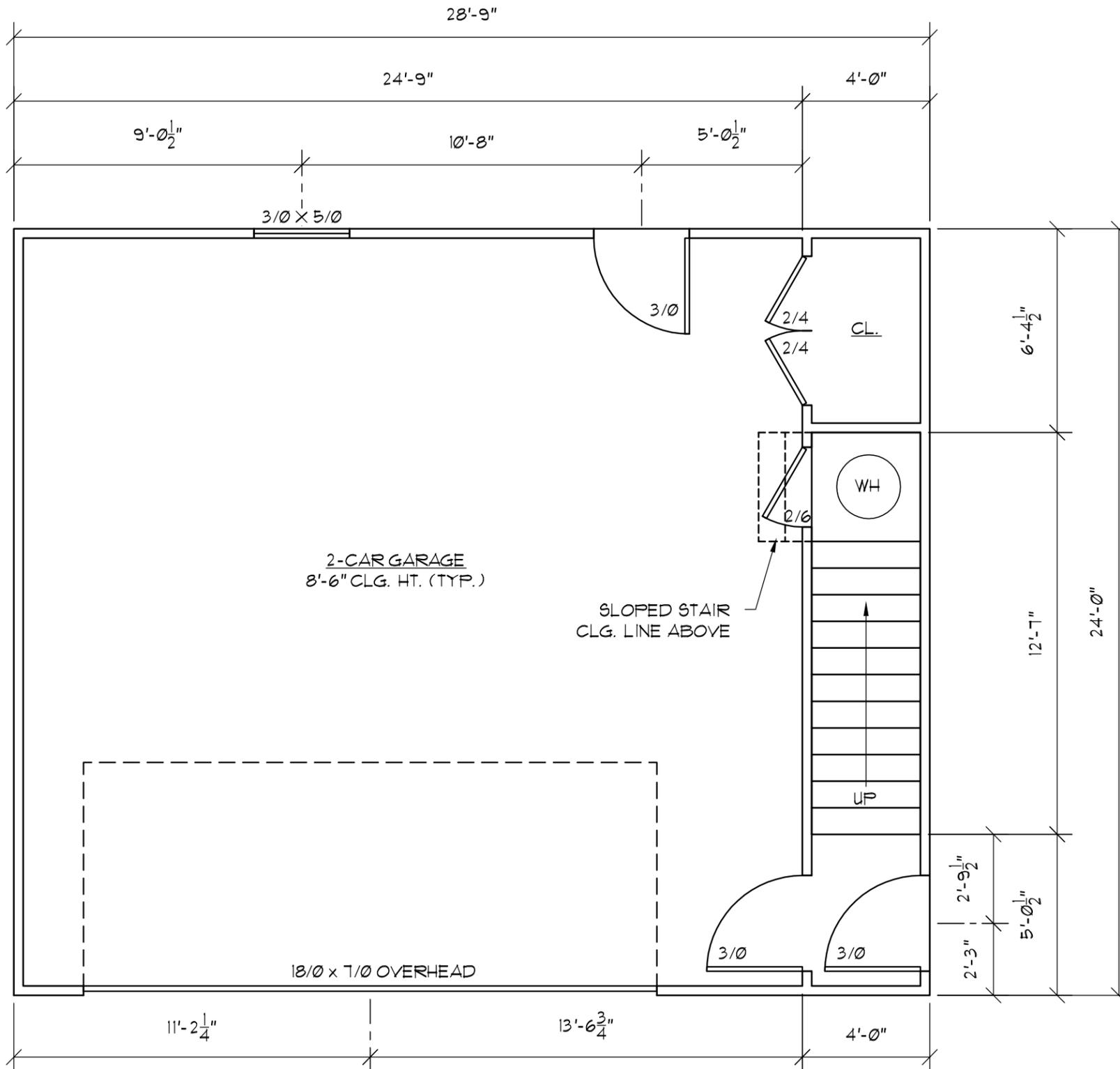
5<sup>TH</sup> AVENUE NORTH (50')



**LOT SURVEY and PLOT PLAN**

**NOTES:**

1. This lot is not included in an area designated "special flood hazard" on Federal flood



CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
2. DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
3. ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
4. ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
5. TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
6. INTERIOR DOORS AND CASSED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
7. CABINETS, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.

DETACHED ACCESSORY DWELLING UNIT  
 1821 5TH AVE. N  
 NASHVILLE, TN 37208

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS

PLOT TO FULL SCALE ON 11" X 17" PAPER

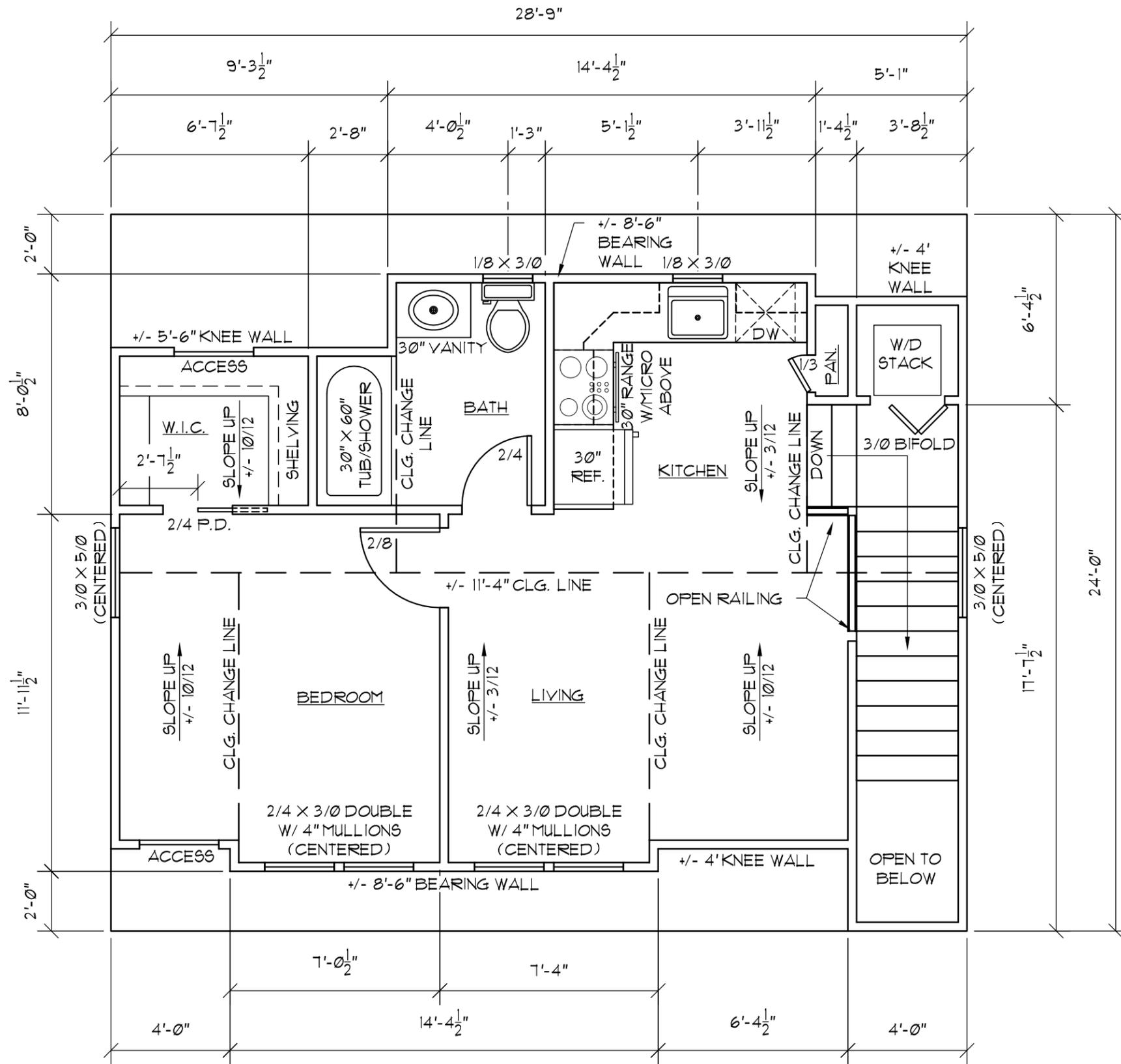
SCALE: 1/4" = 1'-0"

A101

FIRST FLOOR PLAN

01 FIRST FLOOR PLAN  
691 SQ. FT.

Scale: 1/4" = 1'-0"



CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
2. DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
3. ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
4. ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
5. TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
6. INTERIOR DOORS AND CASSED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
7. CABINERY, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.

01 SECOND FLOOR PLAN  
483 SQ. FT.

Scale: 1/4"=1'-0"

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS

PLOT TO FULL SCALE ON 11" X 17" PAPER

SCALE: 1/4"=1'-0"

A102

SECOND FLOOR PLAN

DETACHED ACCESSORY DWELLING UNIT  
 1821 5TH AVE. N  
 NASHVILLE, TN 37208

- ◆ FINISH CLG./B.O. RIDGE  
+/- 21'-0" (11'-4")
- ◆ ROOF BEARING  
+/- 18'-2" (8'-6")
- ◆ TOP OF R.O.  
17'-2" (7'-6")
- ◆ ROOF BEARING  
+/- 11'-4 1/2"
- ◆ FINISH FLOOR  
9'-8" (0'-0")
- ◆ FINISH CLG.  
8'-6"
- ◆ TOP OF R.O.  
7'-0"
- ◆ FINISH FLOOR  
0'-0"



SHINGLES TO MATCH  
EXISTING RESIDENCE

CEDAR SHINGLE SIDING TO  
MATCH EXISTING RESIDENCE

GUTTER & EAVE DEPTH, PROFILE  
AND DETAILS TO MATCH EXISTING

FIBER CEMENT LAP SIDING -  
SMOOTH FACE AND 5" MAX.  
EXPOSURE (CORNER BOARDS,  
DOOR/WINDOW CASINGS AND  
COLOR TO MATCH EXISTING)

NOTE: FIELD VERIFY  
GRADE CONDITIONS

01 FRONT ELEVATION (SOUTHWEST)

Scale: 1/4"=1'-0"

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION  
DRAWINGS

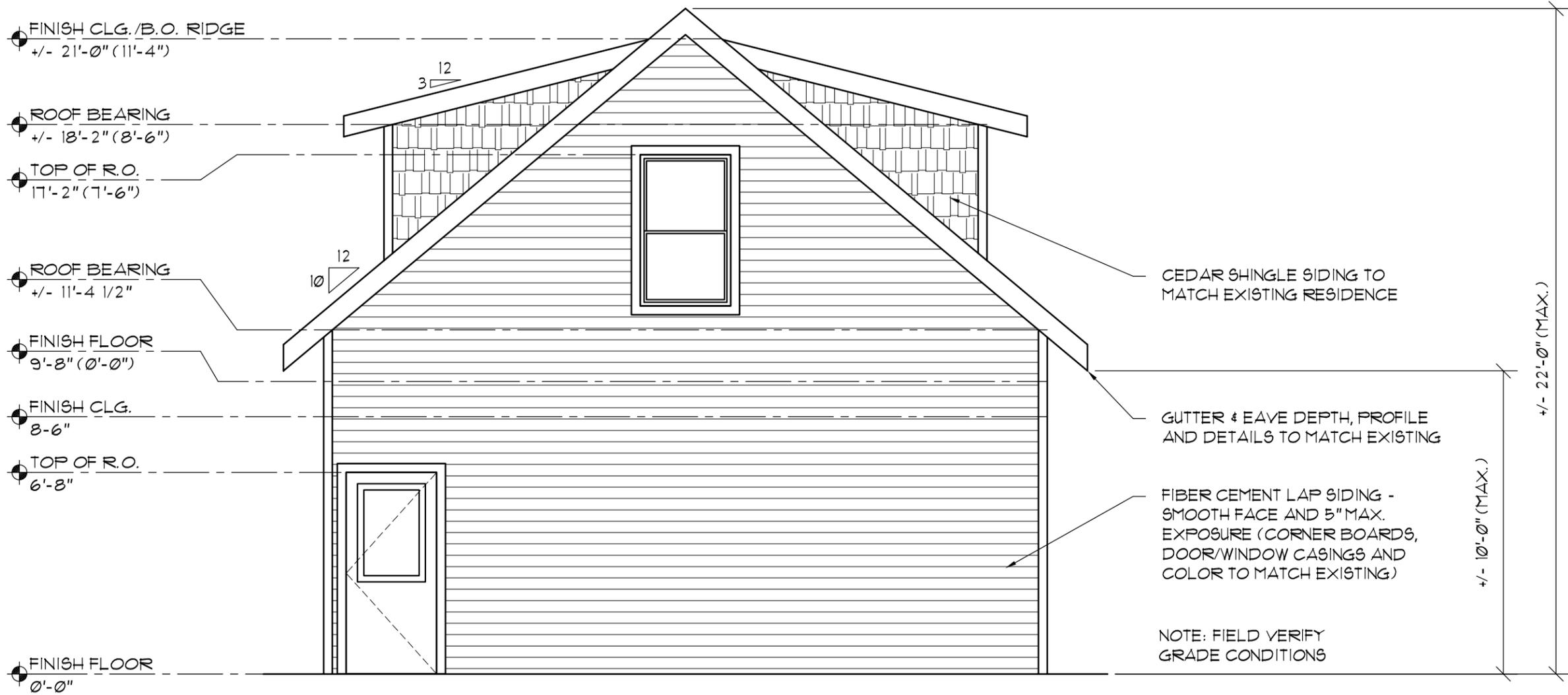
PLOT TO FULL SCALE  
ON 11" X 17" PAPER

SCALE: 1/4"=1'-0"

A103

FRONT ELEVATION

DETACHED ACCESSORY DWELLING UNIT  
 1821 5TH AVE. N  
 NASHVILLE, TN 37208



01 RIGHT ELEVATION (SOUTHEAST)

Scale: 1/4"=1'-0"

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS

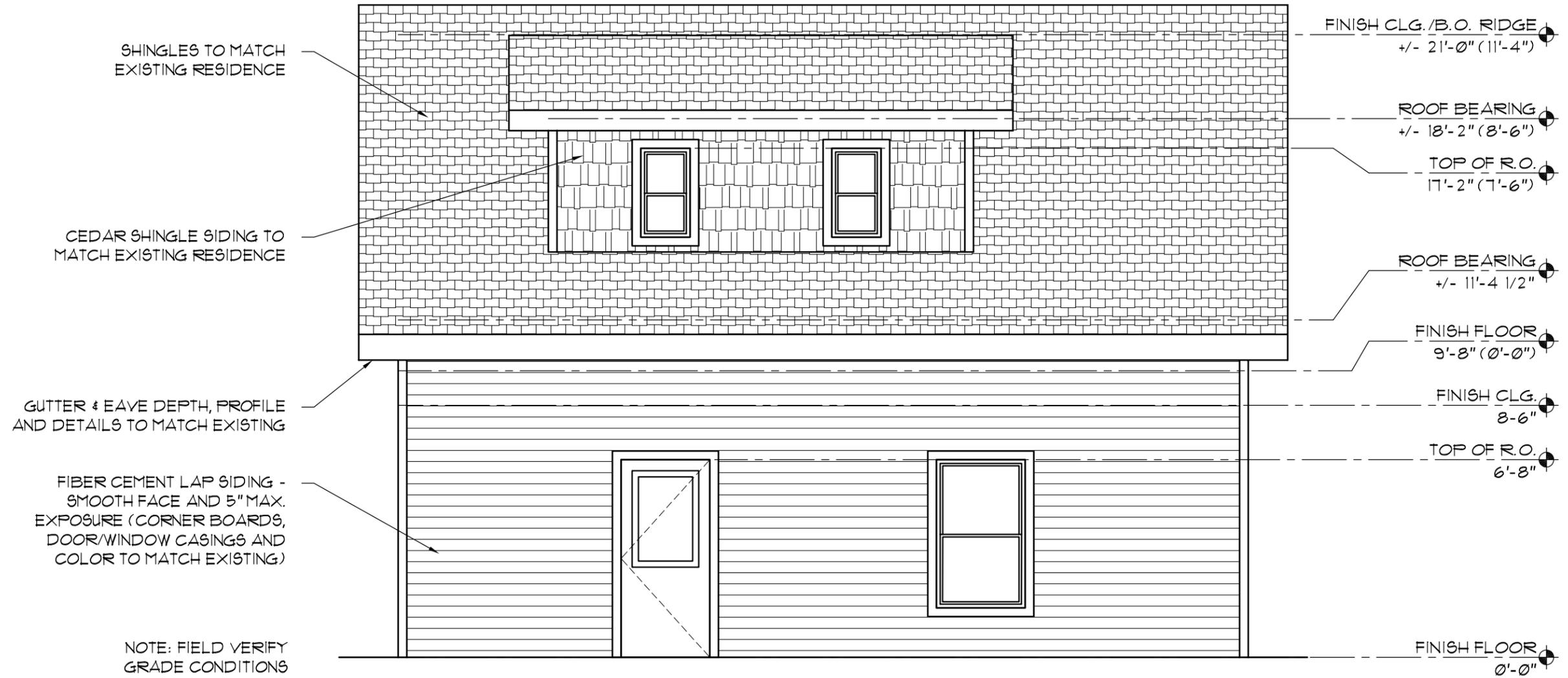
PLOT TO FULL SCALE ON 11" X 17" PAPER

SCALE: 1/4"=1'-0"

A104

RIGHT ELEVATION

DETACHED ACCESSORY DWELLING UNIT  
 1821 5TH AVE. N  
 NASHVILLE, TN 37208



01 REAR ELEVATION (NORTHEAST)

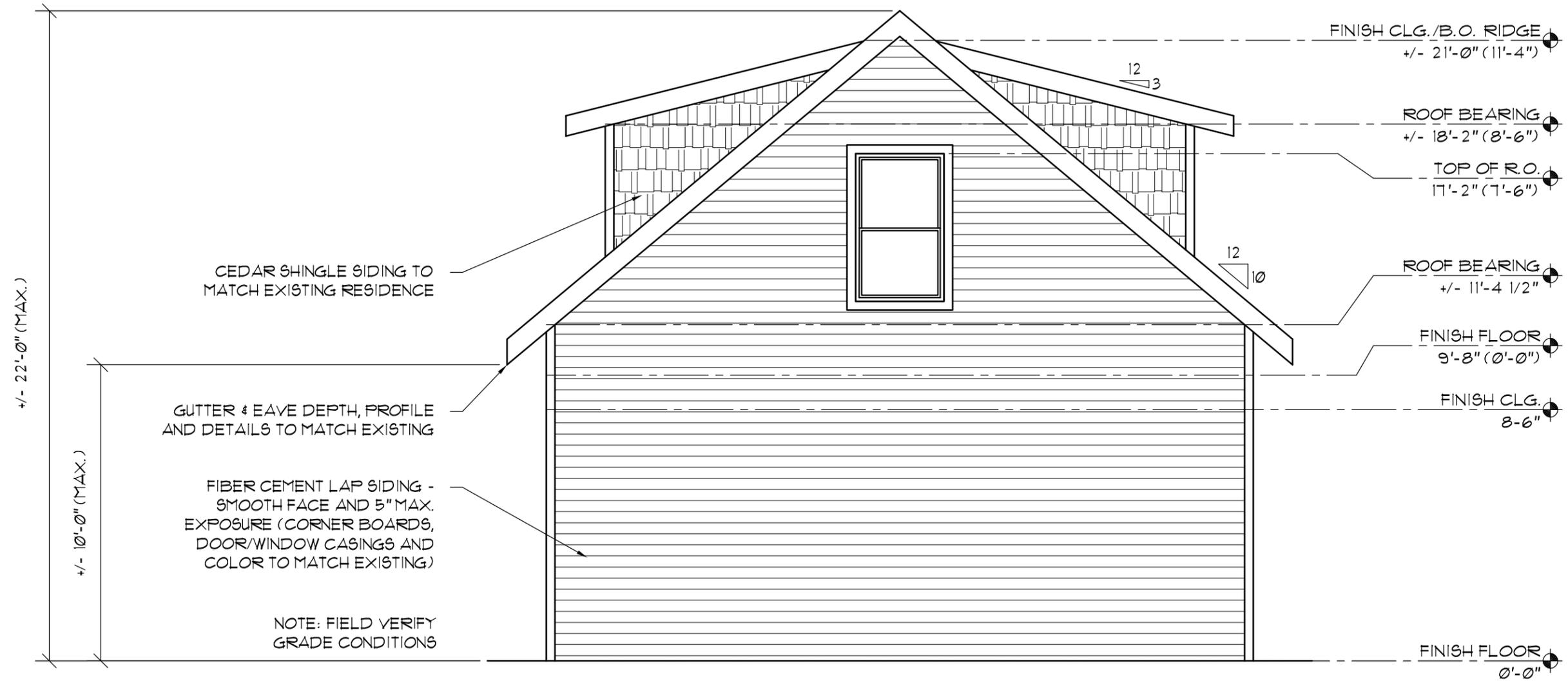
Scale: 1/4"=1'-0"

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS  
 PLOT TO FULL SCALE ON 11" X 17" PAPER  
 SCALE: 1/4"=1'-0"  
 A105  
 REAR ELEVATION

DETACHED ACCESSORY DWELLING UNIT  
 1821 5TH AVE. N  
 NASHVILLE, TN 37208



CEDAR SHINGLE SIDING TO MATCH EXISTING RESIDENCE

GUTTER & EAVE DEPTH, PROFILE AND DETAILS TO MATCH EXISTING

FIBER CEMENT LAP SIDING - SMOOTH FACE AND 5" MAX. EXPOSURE (CORNER BOARDS, DOOR/WINDOW CASINGS AND COLOR TO MATCH EXISTING)

NOTE: FIELD VERIFY GRADE CONDITIONS

FINISH CLG./B.O. RIDGE  
 +/- 21'-0" (11'-4")

ROOF BEARING  
 +/- 18'-2" (8'-6")

TOP OF R.O.  
 17'-2" (7'-6")

ROOF BEARING  
 +/- 11'-4 1/2"

FINISH FLOOR  
 9'-8" (0'-0")

FINISH CLG.  
 8'-6"

FINISH FLOOR  
 0'-0"

+/- 22'-0" (MAX.)

+/- 10'-0" (MAX.)

01 LEFT ELEVATION (NORTHWEST)

Scale: 1/4"=1'-0"

ISSUE DATE: 06/28/16

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS

PLOT TO FULL SCALE ON 11" X 17" PAPER

SCALE: 1/4"=1'-0"

A106

LEFT ELEVATION